

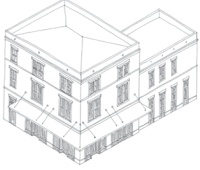

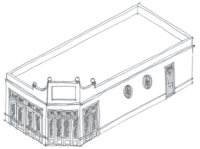
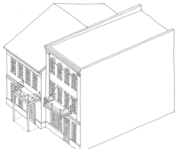

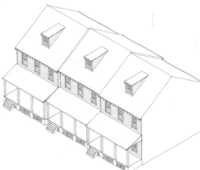
Section 4.8 Building Types Compatibility

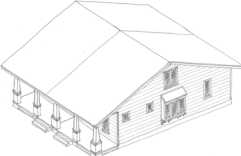


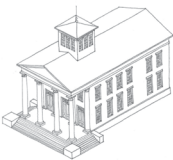
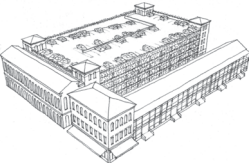
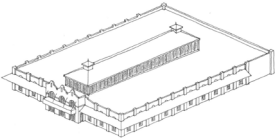
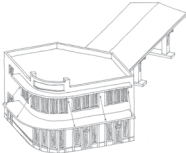
4.8.1 Introduction

The design standards for building types are applicable for all development within a transect. Pictures represented with the building types are examples of type only and not intended to represent architectural categories and styles in the WBD.

Civic buildings, and the Classical Civic Architectural style will be limited to buildings located in the Civic Center.

4.8.2 Building Types

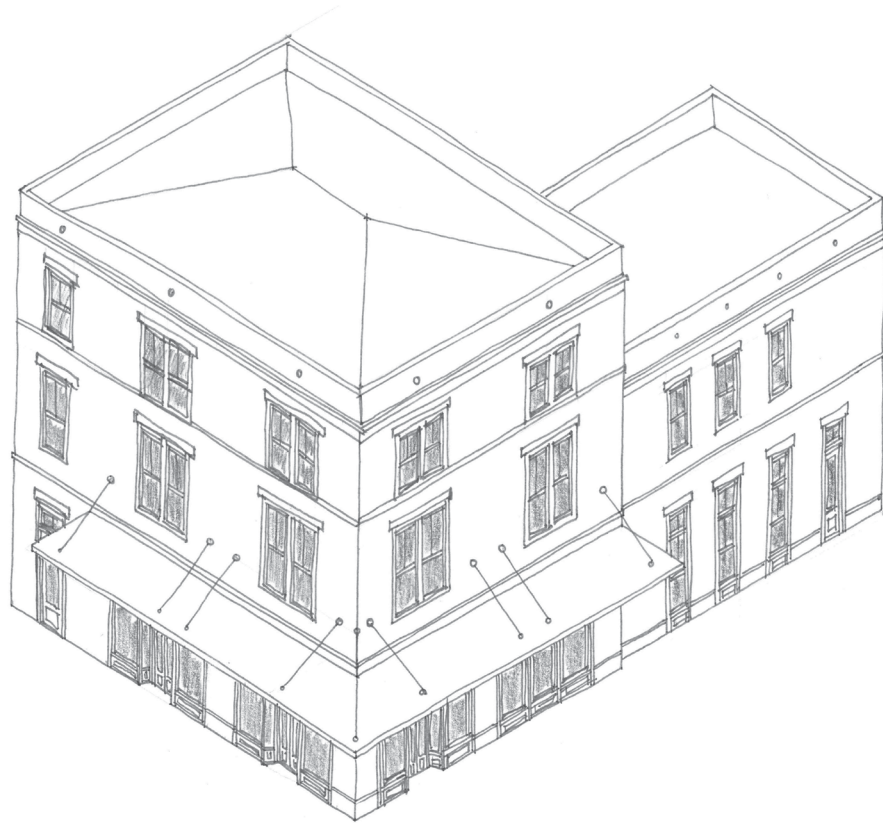
BUILDING TYPES		T-1.5	T-2	T-2.5	T-3	T-3.5	T-4	T-4.5	T-5
	Main Street Building	-	-	-	-	P	P	P	P
	Pedestal Building	-	-	-	-	-	P	P	P
	Corner Store	-	-	-	P	P	P	P	P
	Live-Work Unit	-	-	-	P	P	P	P	P
	Multi-family Units more than 4	-	-	-	-	P	P	P	P
	Single Family Attached (Townhouse/Rowhouse)	-	-	-	P	P	P	P	P

BUILDING TYPES		T-1.5	T-2	T-2.5	T-3	T-3.5	T-4	T-4.5	T-5
	Multi-family 4 or Less Units (Duplex, Triplex, Quadplex)	-	-	-	P	P	P	P	P
	Single Family Detached House	P	P	P	P	P	-	-	-
	Accessory Dwelling Unit	P	P	P	P	P	P	P	P
	Civic Building	-	-	-	P	P	P	P	P
	Liner Building	-	-	-	-	-	P	P	P
	Large Footprint Building	-	-	-	-	-	P	P	P
	Gas Station/Drive Through Facilities	-	-	-	-	P*	P*	P*	P*

* See the uses table to determine what drive-through facilities are allowed in each transect.

4.8.2.1 Main Street Building

- a. General Description: A building type that is mixed-use in nature and features shopfronts along the sidewalk at the street level, with office or residential spaces in the upper floors.
- b. Typical Height: 2 - 4 stories
- c. Typical Uses: retail or office at street level, office or residential in upper levels
- d. Appropriate Architectural Styles: Historic Mercantile, Nassau Vernacular, Classical Civic, Vintage Florida Railroad, Mid-Century Florida
- e. Required Features:
 - i. Shopfronts are required along the sidewalk.
 - ii. Parking shall be located in the rear of the building, out of view from adjacent streets.



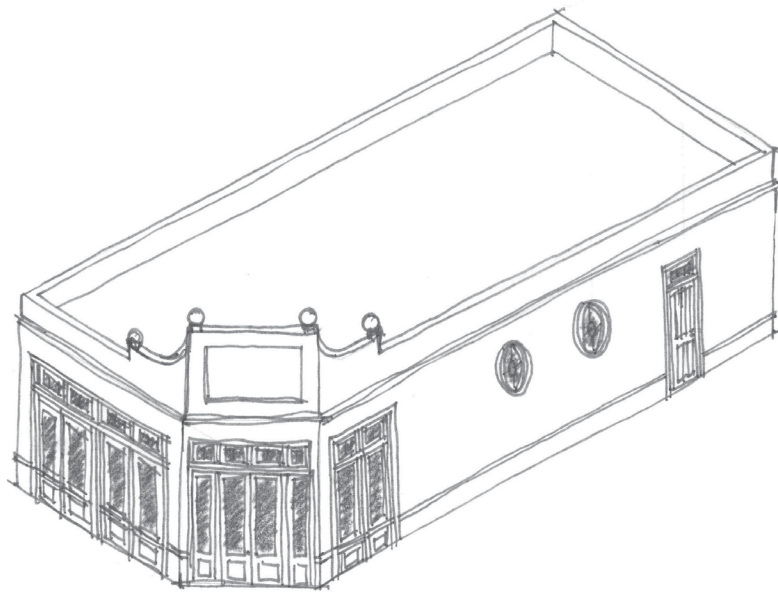
4.8.2.2 Pedestal Building

- a. General Description: A building type that is mixed-use in nature and features shopfronts along the sidewalk at the street level, with office or residential spaces in the upper floors. Upper floors are set back from the primary frontage.
- b. Typical Height: 4 - 6 stories
- c. Typical Uses: retail or office at street level, office or residential in upper levels
- d. Appropriate Architectural Styles: Historic Mercantile, Nassau Vernacular, Classical Civic, Vintage Florida Railroad, Mid-Century Florida
- e. Required Features:
 - i. Shopfronts are required along the sidewalk.
 - ii. Parking shall be located in the rear of the building, out of view from adjacent streets.



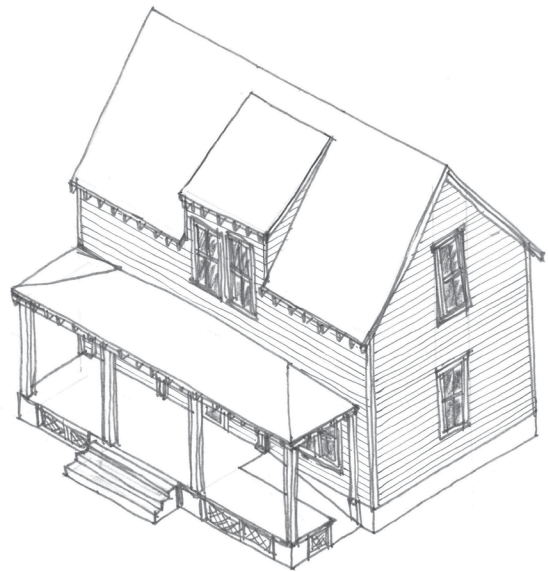
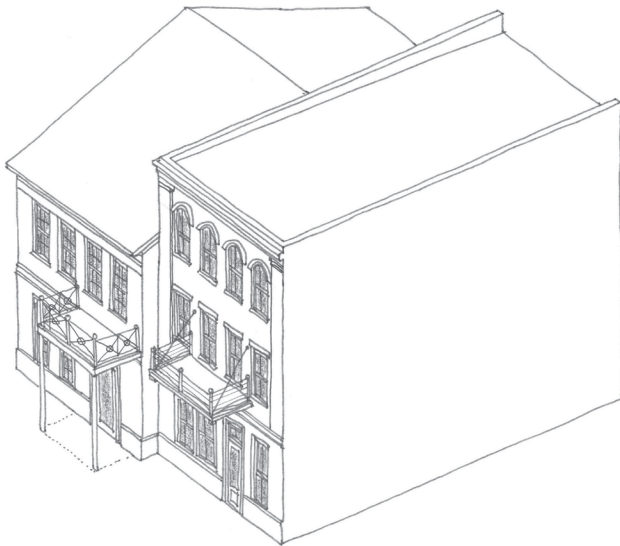
4.8.2.3 Corner Store

- a. General Description: A small retail building which sits on a corner building lot with shopfronts along the sidewalk at the street level. If more than one story, this building type may be mixed-use with either a residence or office space on the upper floor.
- b. Typical Height: 1 - 2 stories
- c. Typical Uses: retail at street level; office or residential in upper levels
- d. Appropriate Architectural Styles: Historic Mercantile, Nassau Vernacular, Classical Civic, Vintage Florida Railroad, Mid-Century Florida
- e. Required Features:
 - i. Shopfronts are required at the corner and along at least one adjacent street frontage.
 - ii. Parking shall be located in the rear of the building, out of view from adjacent streets.



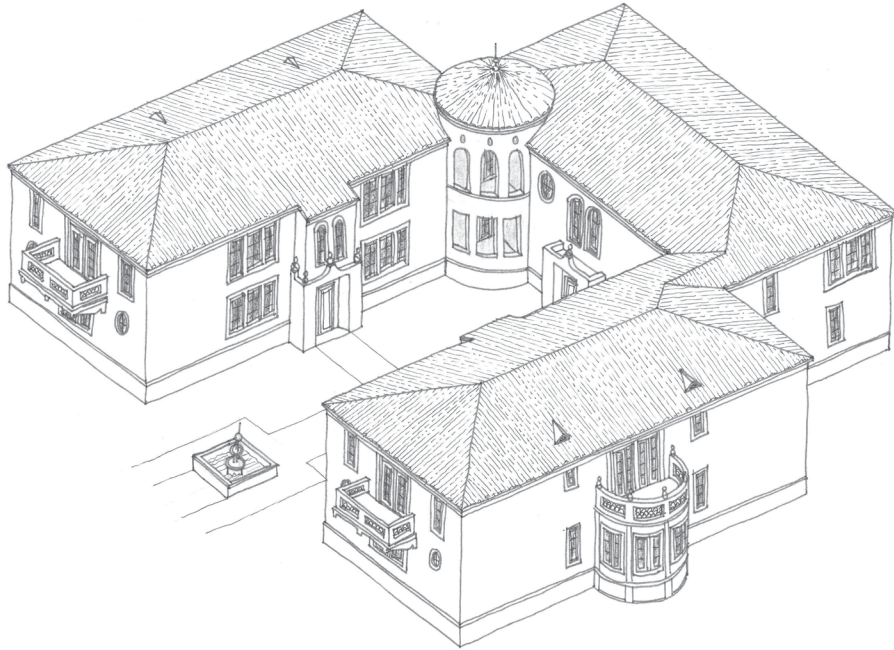
4.8.2.4 Live-Work Unit (Townhouse or Single Family Detached)

- a. General Description: An attached building type which provides flexible space at the street level for retail or office, with a complete living unit above. Each Live-Work Townhouse sits on a single building lot.
- b. Typical Height: 2 - 3 stories
- c. Typical Uses: flexible retail and/or office space at street level; residential in upper levels
- d. Appropriate Architectural Styles: Nassau Vernacular, Vintage Florida Railroad, Mid-Century Florida



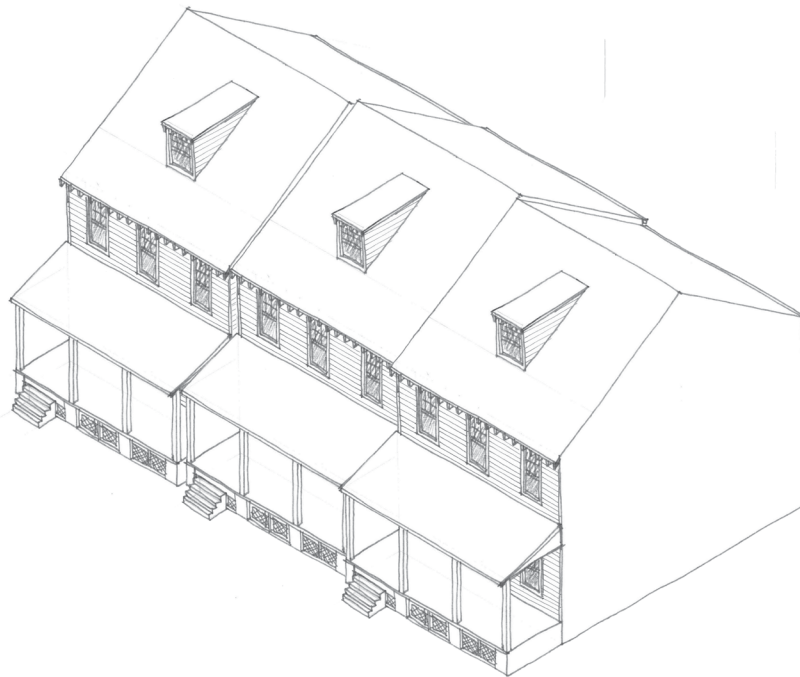
4.8.2.5 Multi-family Units Greater than 4

- a. General Description: Apartment building. These apartment buildings can be standard with the primary frontage on a road, or a courtyard style which wraps around a central common courtyard that opens to the street.
- b. Typical Height: 1 - 6 stories
- c. Typical Uses: residential
- d. Appropriate Architectural Styles: Historic Mercantile, Nassau Vernacular, Classical Civic, Vintage Florida Railroad, Mid-Century Florida
- e. It is encouraged to have centralized parking (See Liner Building)



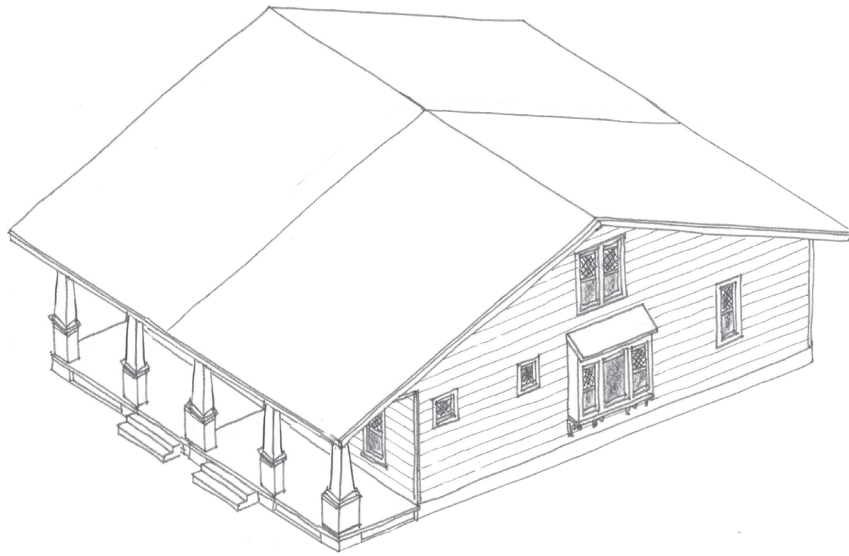
4.8.2.6 Single Family Attached (Townhome/Rowhouse)

- a. General Description: A single family attached residence which occupies a single building lot.
- b. Typical Height: 1 - 3 stories
- c. Typical Lot Frontage Width: 14 feet - 25 feet
- d. Minimum Lot Size: 1,200 sqft (interior), 1,800 (exterior)
- e. Typical Uses: residential
- f. Appropriate Architectural Styles: Nassau Vernacular, Vintage Florida Railroad, Mid-Century Florida
- g. Required Features:
 - i. The main pedestrian entrance to each unit shall be access directly from a frontage type that faces the primary street.
 - ii. Buildings on corner lots are encouraged to provide an appropriate frontage type on both the front street and side street facades. Wrap-around types are permitted.



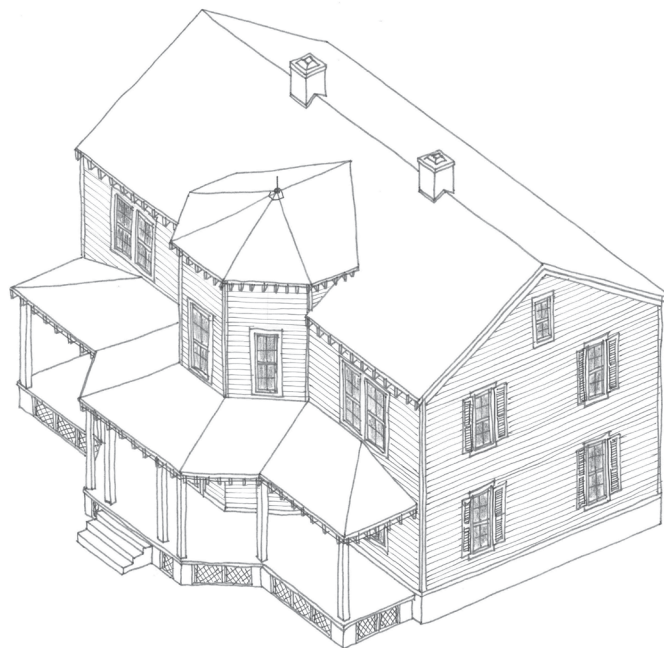
4.8.2.7 Multi-family 4 or less (Duplex, Triplex, Quadplex)

- a. General Description: Two to four single family semi-detached dwelling units which occupy a single building lot.
- b. Typical Height: 1 - 3 stories
- c. Typical Uses: residential
- d. Minimum Lot Size: 1,200 sqft (interior), 1,800 (exterior)
- e. Appropriate Architectural Styles: Historic Mercantile, Nassau Vernacular, Classical Civic, Vintage Florida Railroad, Mid-Century Florida



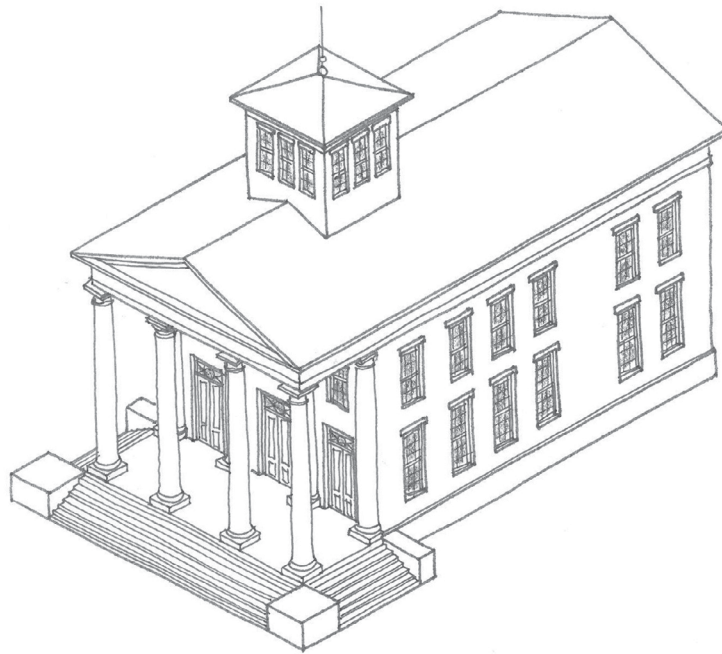
4.8.2.8 Single Family Detached and Accessory Dwelling Units

- a. General Description: A single family detached residence which occupies a single building lot.
- b. Typical Height: 1 - 3 stories
- c. Typical Lot Frontage Width: 40 feet - 100 feet
- d. Minimum Lot Size: 4,000 sqft
- e. Typical Uses: residential
- f. Appropriate Architectural Styles: Nassau Vernacular, Vintage Florida Railroad, Mid-Century Florida
- g. The main pedestrian entrance to each unit shall be access directly from a frontage type that faces the primary street.
- h. Buildings on corner lots are encouraged to provide an appropriate frontage type on both the front street and side street facades. Wrap-around types are permitted.
- i. Parking and service standards:
 - i. Required parking may be accommodated on the surface, in a carport, or in a garage.
 - ii. Garages that face the primary frontage shall be set back at least 5 feet from the front face of the primary structure.
- j. Accessory Dwelling Unit:
 - i. General Description: A subordinate living unit detached from a single family dwelling that provides basic requirements for independent living. An Accessory Dwelling Unit may be a stand-alone structure, or located above a garage or workshop behind the primary residence.
 - ii. Typical Height: 1 - 2 stories
 - iii. Typical Lot Frontage Width: n/a
 - iv. Typical Uses: residential
 - v. Appropriate Architectural Styles: Same Architectural Style as Primary Structure
 - vi. Required Features:
 1. Accessory Dwelling Units shall meet the requirements of the Nassau County Land Development Code.



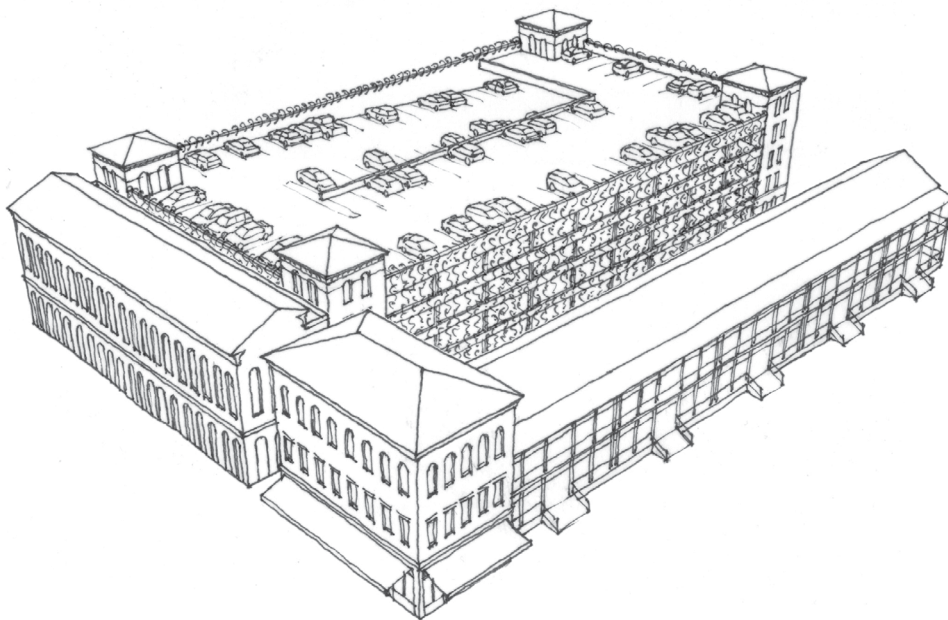
4.8.2.9 Civic Building

- a. General Description: A building type operated for the use of the public, such as a school, municipal building or church.
- b. Typical Height: varies
- c. Typical Lot Frontage Width: varies
- d. Typical Uses: varies
- e. Appropriate Architectural Styles: Classical Civic
- f. Features: Civic Buildings should be sited prominently, such as on a lot that terminates a view, anchoring a public space, or at a corner location.



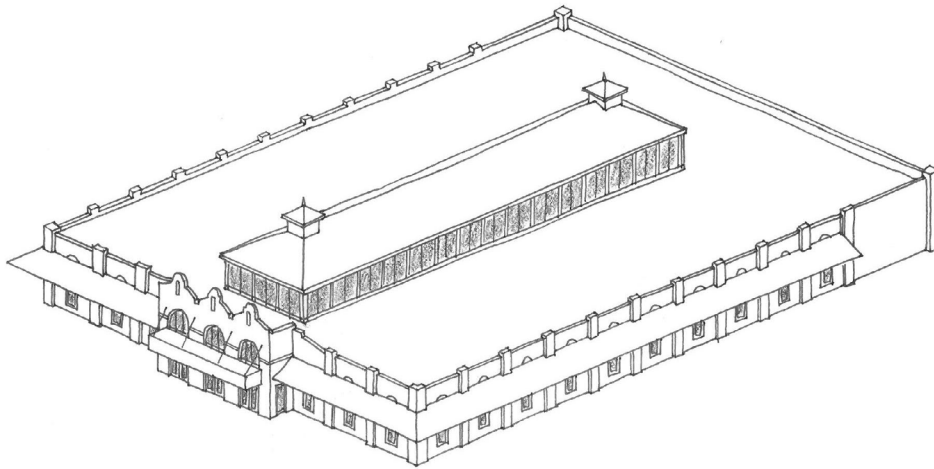
4.8.2.10 Liner Building

- a. General Description: A building specifically designed to mask a parking structure or parking lot from the street, containing habitable space on all levels of a minimum 15 feet in depth. A Liner Building may be mixed-use.
- b. Typical Height: 2 - 6 stories
- c. Typical Uses: retail, office or residential at street level; office or residential in upper levels
- d. Appropriate Architectural Styles: Historic Mercantile, Nassau Vernacular, Classical Civic, Vintage Florida Railroad, Mid-Century Florida
- e. Required Features: Liner buildings shall mask the entire height of the garage if facing the Primary Street. Because parking structure's floor-to-ceiling heights may be shorter than liner building's floor-to-ceiling heights, a liner building may be tall enough to mask a parking structure even if it has fewer stories than the parking structure. If facing a side street then the liner building is required to mask the first two stories of the parking structure, although it is ideal if all stories are masked from view.



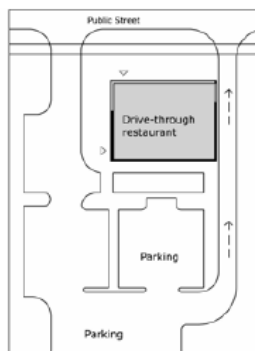
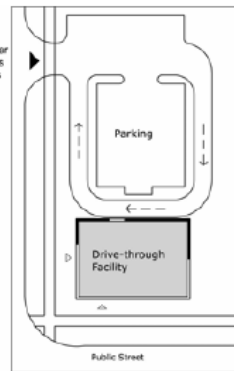
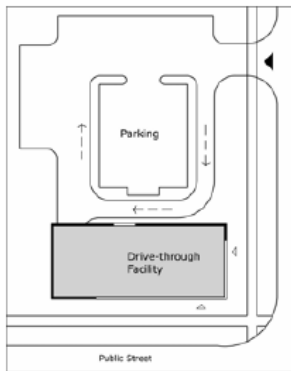
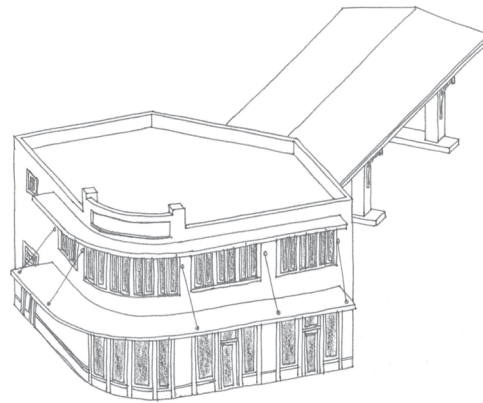
4.8.2.11 Large Footprint Building

- a. General Description: A building type that allows a large building envelope devoted to a single use, such as a market. Large Footprint Buildings are required to provide habitable frontages along facades that face streets or public spaces.
- b. Typical Height: 1- 2 stories
- c. Typical Uses: retail, office or light industrial space
- d. Appropriate Architectural Styles: Historic Mercantile, Nassau Vernacular, Vintage Florida Railroad, Mid-Century Florida
- e. Required Features:
 - i. Shopfronts are required along the buildings street frontage.
 - ii. The sidewalks adjacent to shopfronts are encouraged to be covered by either awnings, galleries, arcades, or marquees.
 - iii. Parking shall be located in the rear of the building, out of view from adjacent streets.
 - iv. When a large footprint building is constructed at a corner site, the main entrance should be from the corner or near to the corner, directly visible from public thoroughfares.
 - v. Often a cupola, tower, or other vertical feature contains marks the corner and/or the main entrance. Signs should be integrated with the architecture of the building.



4.8.2.12 Gas Stations and Drive-Through Facilities

- a. General Description: A building type which provides for necessary services without sacrificing the walkability of surrounding street frontages. Gas pumps and drive-throughs are to be located behind or to the side of a building with required shopfronts along the sidewalk at the street level.
- b. Typical Height: 1 - 2 stories
- c. Typical Uses: non-commercial at street level (restaurant, retail, bank, or similar); office in upper level
- d. Appropriate Architectural Styles: Historic Mercantile, Nassau Vernacular, Vintage Florida Railroad, Mid-Century Florida
- e. Required Features:
 - i. Shopfronts are required to be designed at the pedestrian level, and shall front on a public right-of-way.
 - ii. Parking and drive aisles shall be located to the side and rear of the building, out of view from adjacent streets.
 - iii. Where parking and drive aisles are visible from adjacent streets, garden walls or other fencing and vegetation shall be located along the sidewalks.
 - iv. On-site circulation shall be designed to minimize the conflicts between pedestrians and vehicles.



Section 4.9 Transportation

4.9.1 Introduction

Section 4.9 applies to all new development, and redevelopment, whether developed under existing zoning, or as a transect zone including existing PUDs and properties within a Special District. It is the intent of this section to create a safe, convenient, and efficient network for all users, mitigate transportation impacts, and minimize conflicts with all users and activity. For the purpose of the WBD, a thoroughfare is any right-of-way, as defined in Article 32 LDC, and is not tied to a specific functional classification. Thoroughfare types are found in Section 4.9.7.

As new development and redevelopment occurs, the developer shall make improvements to thoroughfare abutting the project, and accessed by the project, to bring them into conformance with the standards herein and the Nassau County Roadway and Drainage Standards.

4.9.2 Streets General

An interconnected thoroughfare network designed to move people safely and efficiently is essential to creating a sustainable and livable community. An interconnected thoroughfare network is more convenient for all roadway users, encourages active transportation, and creates a healthier community. This section describes the thoroughfare assignments within the William Burgess District, as depicted in Figure 4.6 on page 135. As thoroughfares are built or rebuilt, they shall conform to the thoroughfare assignments listed in this section. If no particular thoroughfare type is assigned to a road, the developer can select from the list of provided thoroughfares, subject to approval by the Nassau County Development Review Committee.

- Multi-modal transportation shall be a priority within the WBD in order to create a safe and walkable community. Thoroughfares are intended to be used by all users to access retail, service, housing, and entertainment opportunities.
- All new development and redevelopment shall have direct paved access to a county maintained thoroughfare, or other thoroughfare dedicated to public use. If the county maintained thoroughfare is not paved, the developer shall pave the county thoroughfare, to connect with a paved thoroughfare dedicated to public use. If the thoroughfare is paved, but in substandard condition, the developer shall be required to bring the thoroughfare up to the standards set forth in this plan.
- All new and rebuilt thoroughfares must include multi-use trails on both sides of the road to provide for the safe travel of pedestrians and people on bicycles and to be a component of an integral multi-modal transportation network.
- Crosswalks shall be provided at all intersections, and shall be marked in accordance with County standards. When a mid-block crossing is to be utilized, safety mechanisms for crossing shall be provided.
- Thoroughfares shall be designed with its desired design speed and adjacent land uses.
- All thoroughfares shall connect to other thoroughfares, forming a connected network. Internal thoroughfares shall connect to those on adjacent sites. See section 4.9.3 regarding cross-access requirements.
- Closed cul-de-sacs and loop road cul-de-sacs are preferred to a typical cul-de-sac, however, with practical consideration, as determined by the Development Review Committee, to factors such as environmental, preservation, and engineering factors.
- Whenever a cul-de-sac is created, at least one pedestrian access easement shall be provided, to the extent practical, between each cul-de-sac head or road turnaround and the multi-use trail system of the closest adjacent road or pedestrian pathway. The pedestrian access easement shall be a minimum of 15 feet and contain a 10 foot multi-use trail.

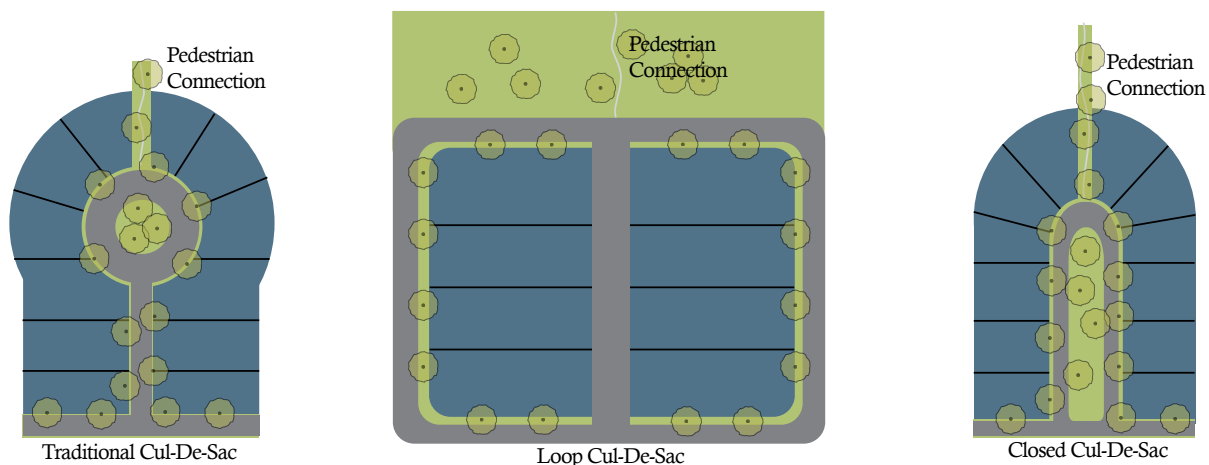


Figure 4.5 Cul-de-sac Typology

- h. Multi-use trails shall be integrated into all new development and redevelopment including, but not limited to, residential subdivisions, master planned communities, civic/institutional facilities, village centers, retail/service centers and recreation facilities.
- i. As approved by the Nassau County Engineer, and Nassau County Fire/Rescue, streets may be constructed at widths beneath the minimum standard defined in the Road Way and Drainage Standards of Nassau County to promote form and walkability.

4.9.3 Access Standards

- a. All thoroughfares identified on the thoroughfare network figure (4.6) shall be interconnected and provide for all user connectivity.
- b. All cross-access locations shall be in a reasonable location for functionality.
- c. All new development and redevelopment, regardless of type and intensity, shall be designed to allow for vehicular, bicycle, and pedestrian cross access to adjacent uses and properties. The cross access stub-out shall be constructed to the property boundary with the initial site development or for multi-phased projects, the appropriate phase of the project, as determined by the Development Review Committee. During the design process, the county will strongly encourage coordination between adjacent property owners as to the location of cross-access.
- d. If an adjacent property has already constructed the cross-access to the property line, then the development project shall complete the connection, providing for cross-connectivity.
- e. Where an alley is present, parking shall be accessed through the alley.
- f. The cross-access easement shall be in the form acceptable to the County Attorney and recorded in Public Records prior to the issuance of the 1st certificate of occupancy for the development project.
- g. For corner lots without alley-access, parking shall be accessed from the side or adjacent street.
- h. The number of curb cuts should be limited to reinforce the continuity of the public realm. The following are curb cut limitations for thoroughfare classifications (see Section 4.9.5 for Thoroughfare Classification definitions and cross-sections):
 - i. For Boulevards, there shall not be more than one curb cut per 500 linear feet. Instead, access shall be provided via driveway from the parent tract, by alleys, or by rearage roads. On corner lots, access shall be from the side street.
 - ii. For Main Streets, there shall not be more than one curb cut per 300 linear feet. Instead, access shall be provided via driveway from the parent tract, by alleys, or by rearage roads.
 - iii. For Streets, there shall not be more than one curb cut per 200 linear feet. As streets are used within subdivisions, each single family home may have a driveway.
 - iv. For Roads, there shall not be more than one curb cut per 200 linear feet when accessing commercial parcels. For residential uses, one driveway is permitted per parcel of land. It is encouraged that residential units are access by rear roads/alleys.
- i. Variances shall not be available for the provisions of section 4.9.3.

4.9.4 Mobility Network

- a. The thoroughfare network, Figure 4.7, shows the conceptual roadway network in the WBD. While the network roads' exact locations may deviate from what is shown, the intent of creating a comprehensive connected network shall be maintained.
- b. All conceptual thoroughfares, identified as WBD Mobility Roads in black, within the WBD Mobility Network, as depicted on Figure 4.7, are intended to be dedicated to the public and maintained by Nassau County. Right-of-way dedication and construction of Mobility Network facilities may be eligible for Mobility Fee credits subject to the adopted Nassau County Mobility Fee Ordinance, as amended.
- c. All other thoroughfares within the WBD depicted in blue on Figure 4.7 shall be dedicated to the public use and may or may not be maintained by Nassau County.
- d. All conceptual thoroughfares depicted on Figure 4.7 shall not be gated.

4.9.5 Development and Redevelopment Submittal Requirements

- a. A streetscape plan is required for all development and redevelopment projects in the WBD. This plan shall take into account context sensitive designs for the roadways for all users.
 - i. Context sensitive streets may include: pavement markings and signs, traffic calming measures, inset parking, reduced lane widths, roundabouts and other physical measures, sidewalks and pedestrian safety improvements such as medians, curb extensions and crosswalks, Americans with Disabilities (ADA) accessible curb ramps and accessible pedestrian signal/intersections, transit shelters, signage and improved pedestrian and bicycle access to transit stops and stations, bike lanes, shared use lanes, multi-use paths, bicycle parking facilities, wayfinding signage, street trees, landscaping, planters, street lighting, street furniture, sidewalk vendors and cafes where appropriate, mechanisms which enforce speeds, incorporates adjacent land use and zoning, and includes adequate drainage facilities and the use of low impact design.
 - ii. All thoroughfare design shall comply with the sidewalk zone, as described in Section 4.13.3 of this plan.

- iii. Commonly used design guides shall be utilized when considering the design of a street. These guides may include, but are not limited to: *National Association of City Transportation Officials (NACTO) "Urban Street Design Guide"*, *American Association of State and Highway Transportation Officials, Institute of Transportation Engineers (ITE) "Implementing Context Sensitive Design Handbook"*, *the Manual on Uniform Traffic Control Devices (MUTCD)*, *The Florida Green Book*, or similar.
- iv. All improvements shall be approved by the County Departments.
- b. A traffic study shall be required for new development and redevelopment projects which generate over 250 trips per day, based on the most recent Institute of Transportation Engineers (ITE) Trip Generation Manual, or any alternative approved by the Engineering Department, in the WBD.
 - i. This traffic study shall analyze the intersections and thoroughfares associated with the project as well as major intersections within 5 miles of the proposed project.
 - ii. The county reserves the right to have a third party review the traffic study at the owner's/developer's expense.
 - iii. The traffic study shall be consistent with County Traffic Study requirements.
 - iv. All operational improvements, triggered by the project, shall be installed by the developer at the time it is required.

4.9.6 Movement Types

The design speed of the thoroughfares (the maximum speed at which a motorist feels safe and comfortable traveling) is directly related to pedestrian and bicycle safety. As such, streets should be designed with pedestrians and people on bicycles in mind, and the design speeds must reflect that. Movement types for the thoroughfares are listed below:

- a. Free Movement: Drivers can generally expect to travel without delay at the appropriate design speed. Thoroughfare design supports safe pedestrian movement at the higher design speed. This movement type is appropriate for thoroughfares designed to traverse longer distances or connect to higher intensity locations. Design speed is 30-35 mph.
- b. Slow Movement: Drivers can proceed carefully with an occasional stop to allow a pedestrian to cross or another car to park. The character of the thoroughfare should make drivers uncomfortable exceeding the design speed due to the presence of parked cars, sense of enclosure from buildings and street trees, people on bicycles using designated lanes, tight turning radii, and other design elements. Design speed is 20-25 mph.
- c. Yield Movement: Drivers must proceed slowly, with extreme care, and must yield to approaching traffic when vehicles are parked on the side of the thoroughfare creating essentially one through lane. In addition to Yield movement use on normal thoroughfares, this movement is used for alleys and rearage roads. For these applications, the primary purpose is access to rear loaded driveways/access for residential and commercial property. Parking in alleys and rearage roads should only occur in driveways or parking structures to allow access for trash collection, service trucks and emergency access. Design speed is less than 20 mph.

4.9.7 Thoroughfares
4.9.7.1 Thoroughfare
Assignments

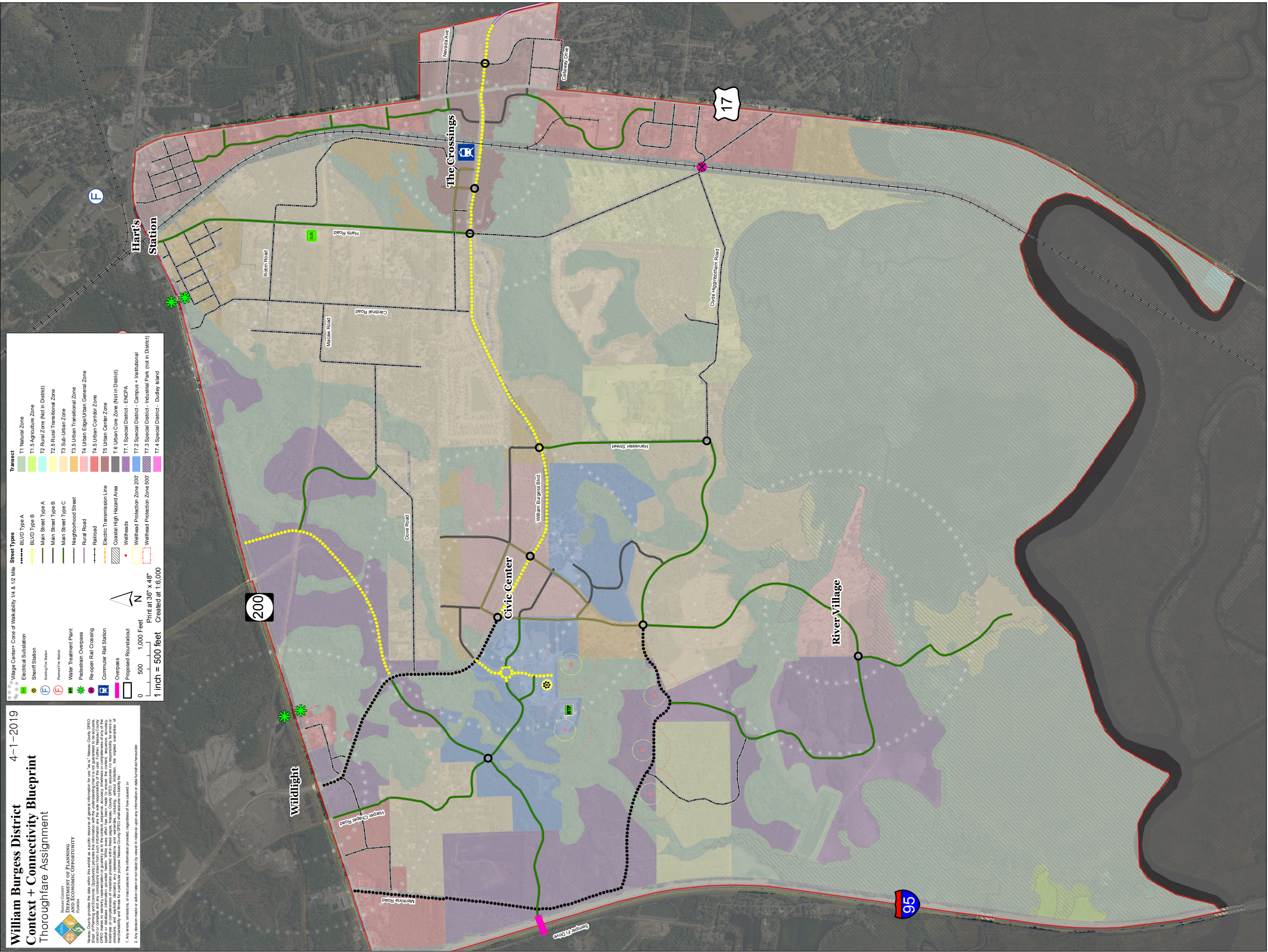


Figure 4.6 Thoroughfare Assignment



4.9.7.2 Thoroughfare Classifications

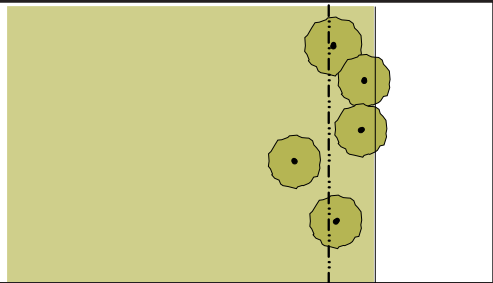
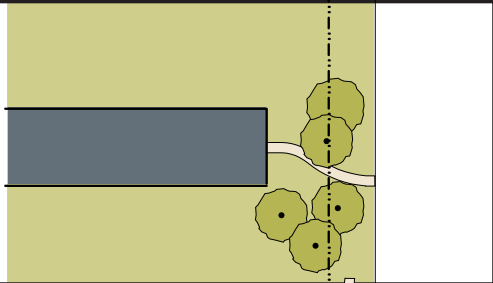
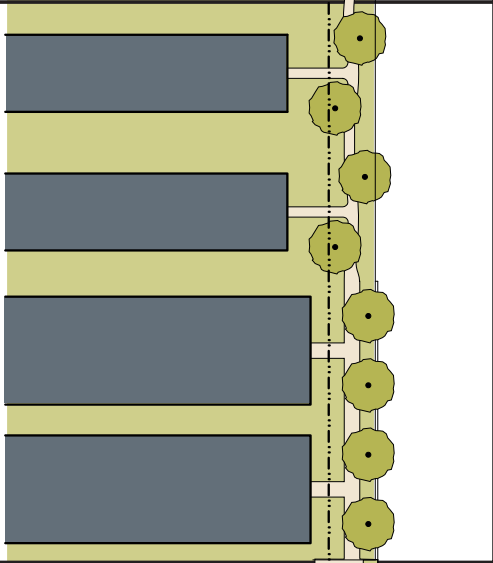
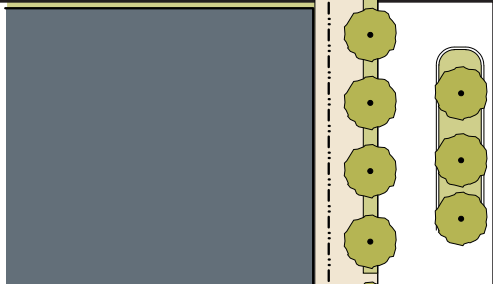
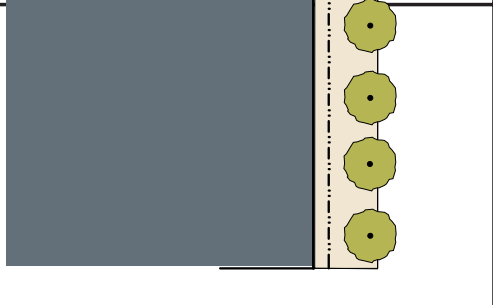
<p>a. (HW) for Highway: This Frontage has open swales drained by percolation, multi-use trails, and no parking. The landscaping consists of the natural condition or multiple species arrayed in naturalistic clusters. Buildings are buffered by distance or berms. Highways are in rural areas.</p>	
<p>b. (RD) For Road: This frontage has open swales drained by percolation and multi-use trails along one or both sides. The landscaping consists of multiple species arrayed in naturalistic clusters. Roads are in rural areas.</p>	
<p>c. (ST) For Street: This Frontage has raised curbs drained by inlets and multi-use trails separated from the vehicular lanes by individual or continuous planting strips, with parking available on one or both sides, and shared lanes. The landscaping consists of street trees of a single or alternating species aligned regularly spaced. These are common in residential areas.</p>	
<p>e. (BV) For Boulevard: This Frontage has raised curbs drained by inlets and wide multi-use trails separated from the vehicular lanes by a narrow continuous planting strip which may accomodate parking on both sides. The landscaping consists of a single tree species aligned along the roadway at 30' o.c. These roadways are in more urban areas.</p>	
<p>f.(MS) For Main Street: This Frontage has raised curbs drained by inlets and very wide multi-use trails along both sides separated from the vehicular lanes by separate tree wells and may have parking on both sides. The landscaping consists of a single tree species aligned with regular spacing, but clears the storefront entrances. These roadways are in more urban areas. When used connecting residential developments, planting strips can be used instead of tree wells.</p>	

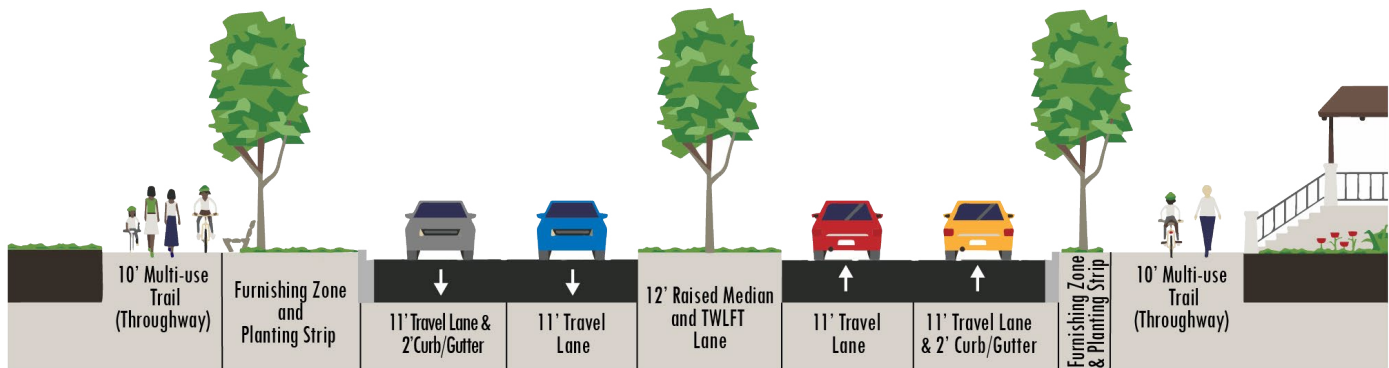
Table 4.42 Thoroughfare Descriptions

4.9.7.3 Thoroughfare Subtypes and Typical Cross-Sections

The William Burgess District includes Boulevard, Main Street, Street and Roads, which have sub-classifications appropriate with their adjacent land use. The sub-classifications are listed below:

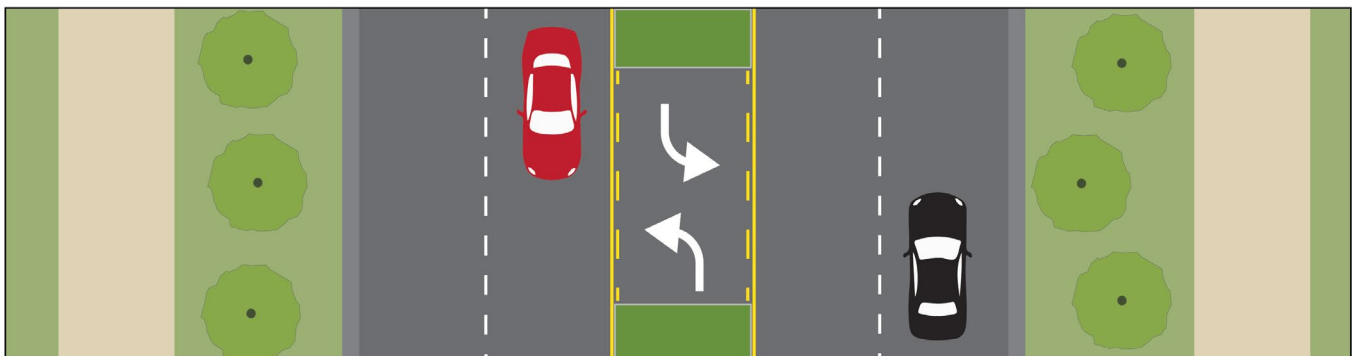
- a. Boulevard - A boulevard is a roadway type intended for free-flow movement. It has multi-use trails, and may include on-street parking. There is a raised median, which acts as a center turn-lane when required, and as a pedestrian refuge island at mid-block crossings. The thoroughfare has a curb and gutter, and has street trees spaced at regular intervals.
 - i. Type A Boulevard: is four lanes, two in each direction, and a raised median/center turn lane. 10' minimum multi-use trails, constructed in accordance with this code, shall be on each side of the road. Parking lanes are not permitted. Design speed shall be 30-35 mph.
 - ii. Type B Boulevard: has one through travel lane in each direction, with a raised median/two-way left-turn lane, 8' on-street parking lanes when adjacent to public parks, and non-residential uses. 10' minimum multi-use trails, constructed in accordance with this code, shall be on each side of the road. Parking lanes are permitted. Design speed shall be 30-35 mph.
- b. Main Street - A main street is a thoroughfare type designed to move vehicles slowly through non-residential areas, or is a main access road connecting residential developments.
 - i. Main Street Type A: this street type includes two travel lanes and angle in parking. The parking is designed to reduce the need of on-site parking for surrounding commercial and residential development. The roads are designed for slower speeds due to the parking, and adjacent land uses. 10' minimum multi-use trails shall be constructed, in accordance with this code, on each side of the road. Design speed shall be 20-25 mph.
 - ii. Main Street Type B: this street type includes two travel lanes and parallel parking. The parking is designed to reduce the need of on-site parking for surrounding commercial and residential development. The roads are designed for slower speeds due to the parking, and adjacent land uses. 10' minimum multi-use trails shall be constructed, in accordance with this code, on each side of the road. Design speed shall be 20-25 mph.
 - iii. Main Street Type C: this is a main access road connecting residential areas and other developments. There is one 10' lane in each direction. Turn lanes can be added when deemed appropriate by the County Engineer. 10' multi-use trails shall be constructed, in accordance with this code, on each side of the road. Design speed shall be 20-25 mph. The Development Review Committee can approve one lane of dedicated, on-street parking.
- c. Street
 - i. Street Neighborhood Type A: this is minor road internal to subdivisions. There is one 10' lane in each direction. 6' sidewalks shall be installed on each side of the road. Sidewalks on each side of the road may be substituted for a multi-use trail if approved by the Director of Planning and Economic Opportunity. The Development Review Committee can approve one lane of dedicated, on-street parking. Multi-use trails are encouraged.
 - ii. Alley - An alley is a rear access road designed to provide access to a back-yard garage or accessory dwelling unit. The pavement width shall not be more than 18'.
- d. Road
 - i. Rural Road Type A: This road type is designed for areas without commercial or residential uses, but rather as free-flow. Swales are used for drainage. Due to the constrained right-of-way, an 8' multi-use path shall be constructed on one side of the road.
 - ii. Rural Road Type B: This road type is designed for areas without commercial or residential uses, but rather as free-flow movement. Swales are used for drainage. A 10' multi-use path shall be constructed on one side of the road.

I. Boulevard Type A

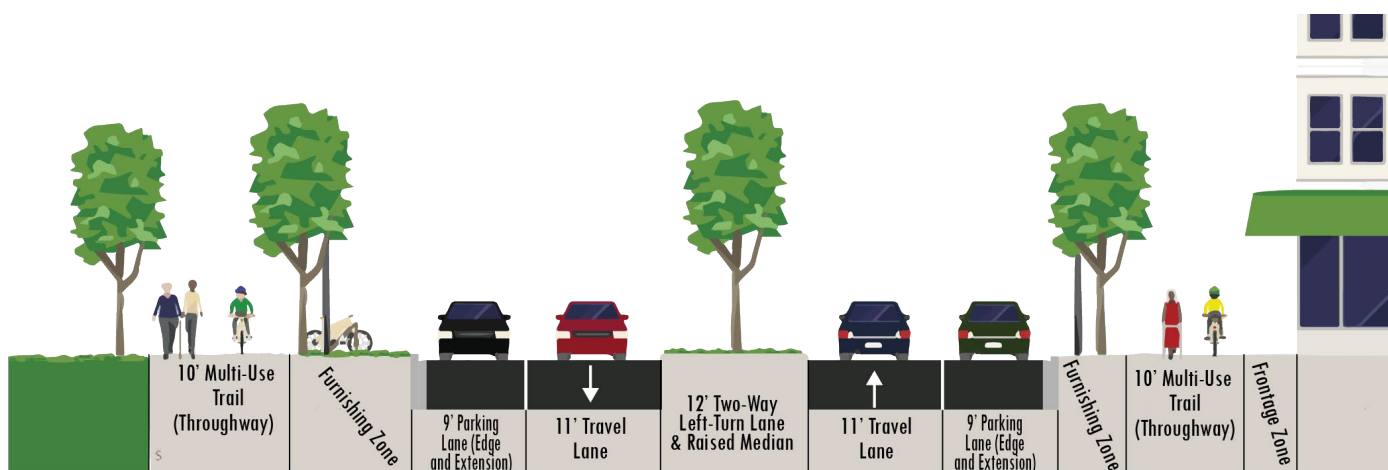


THOROUGHFARE TYPE	Boulevard
RIGHT-OF-WAY WIDTH	115 feet
PAVEMENT WIDTH	64 feet
MOVEMENT	Free movement
VEHICULAR DESIGN SPEED	35 MPH
TRAFFIC LANES	4 Lanes
PARKING LANES	N/A
WALKWAY TYPE	10' Multi-use Trails on Each Side
PLANTER TYPE	Planting Strip or Tree Wells
CURB TYPE	Curb and Gutter
LANDSCAPE TYPE	Trees at 30' o.c. Average
TRANSPORTATION PROVISION	Shared Lane
FRONTAGE TYPE (WHEN IN TRANSECT)	Terrace, Forecourt, Stoop, Shopfront

When the boulevard is adjacent to more intense uses, such as multi-family/single family attached, mixed-use, and non-residential uses, tree wells shall be used, spaced 30' o.c., or a 6' continuous planting strip with trees 30' o.c. shall be used in the furnishing zone. Trees shall be a species listed in Table 37-1 LDC. If the thoroughfare is adjacent to less intense uses, such as public parks, wetlands, or single-family detached uses, there shall be a planting strip on each side of the road, within the furnishing zone, meeting the landscape requirements found in Section 37.02.D.2 LDC.

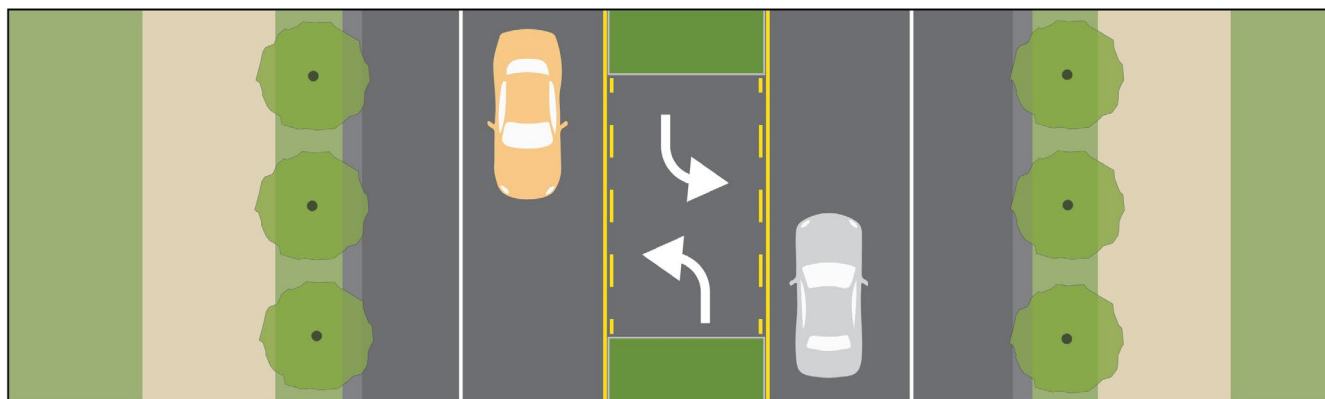


II. Boulevard Type B

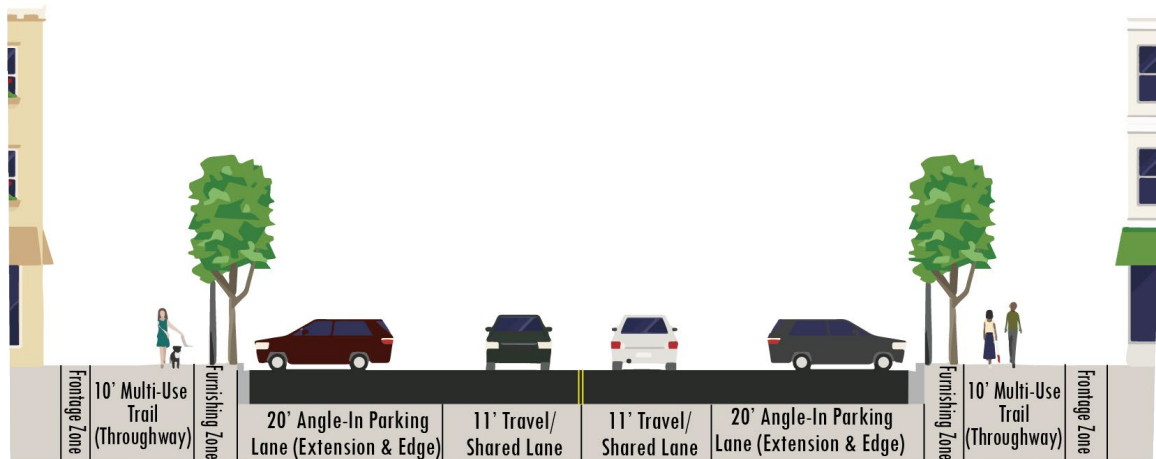


THOROUGHFARE TYPE	Boulevard
RIGHT-OF-WAY WIDTH	100 feet
PAVEMENT WIDTH	53 feet
MOVEMENT	Free movement
VEHICULAR DESIGN SPEED	35 MPH
TRAFFIC LANES	2 Lanes
PARKING LANES	One on Each Side
WALKWAY TYPE	10' Multi-use Trails on Each Side
PLANTER TYPE	Planting Strip or Tree Wells
CURB TYPE	Curb and Gutter
LANDSCAPE TYPE	Trees at 30' o.c. Average
TRANSPORTATION PROVISION	Shared Lane
FRONTAGE TYPE (WHEN IN TRANSECT)	Terrace, Forecourt, Stoop, Shopfront, Gallery, Arcade

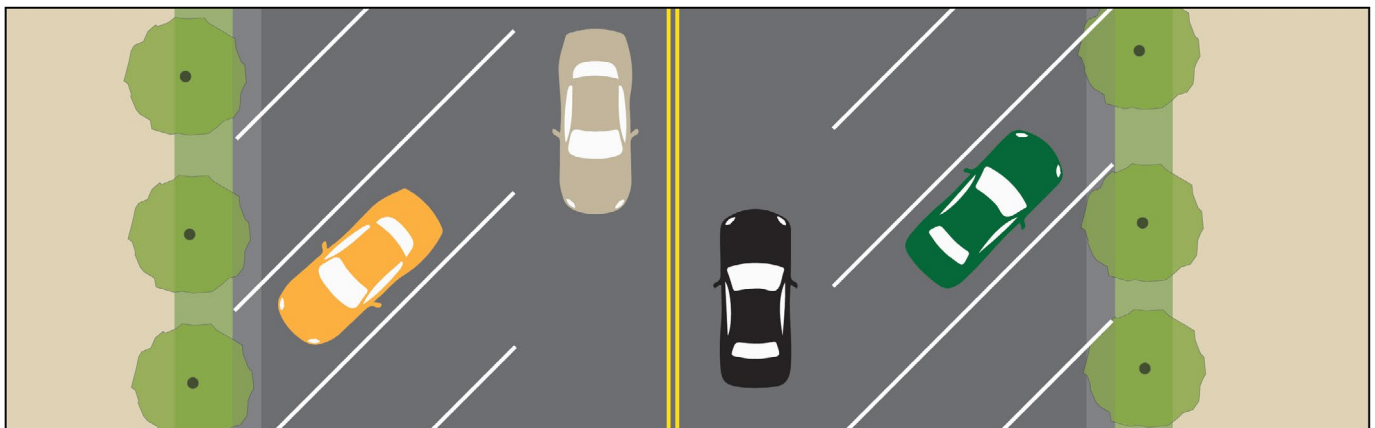
When the boulevard is adjacent to more intense uses, such as multi-family/single family attached, mixed-use, and non-residential uses, tree wells shall be used, spaced 30' o.c., or a 6' continuous planting strip with trees 30' o.c. shall be used in the furnishing zone. Trees shall be a species listed in Table 37-1 LDC. If the thoroughfare is adjacent to less intense uses, such as public parks, wetlands, or single-family detached uses, there shall be a planting strip on each side of the road, within the furnishing zone, meeting the landscape requirements found in Section 37.02.D.2 LDC.



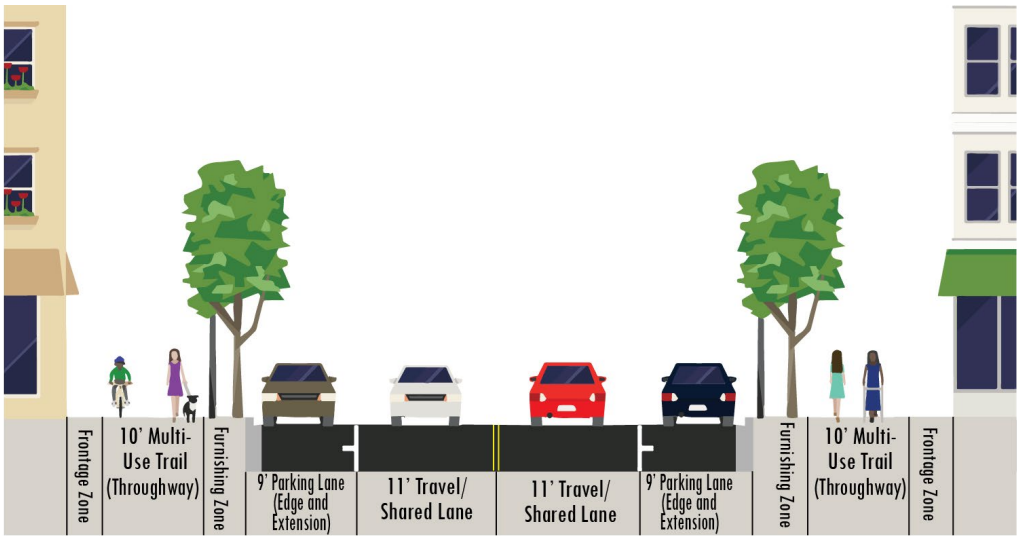
III. Main Street Type A



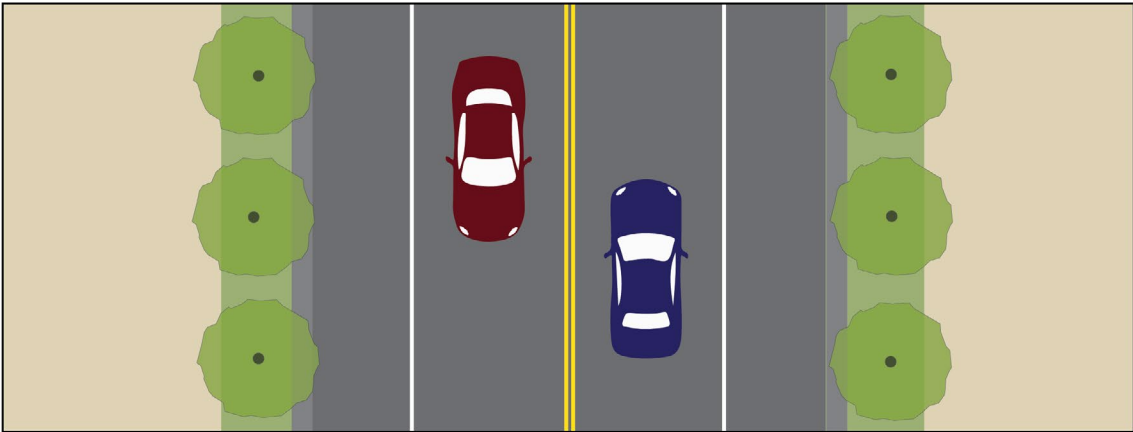
THOROUGHFARE TYPE	Main Street
RIGHT-OF-WAY WIDTH	95 feet
PAVEMENT WIDTH	66-70 feet
MOVEMENT	Slow
VEHICULAR DESIGN SPEED	25 MPH
TRAFFIC LANES	2 Lanes
PARKING LANES	Angle-In Parking
WALKWAY TYPE	10' Multi-use Trails on Each Side
PLANTER TYPE	Tree Wells or 4' Continuous Planting Strip
CURB TYPE	Curb and Gutter
LANDSCAPE TYPE	Trees at 30' o.c. Average - tree species from Table 37-1 LDC
TRANSPORTATION PROVISION	Shared Lane
FRONTAGE TYPE (WHEN IN TRANSECT)	Terrace, Forecourt, Stoop, Shopfront, Gallery



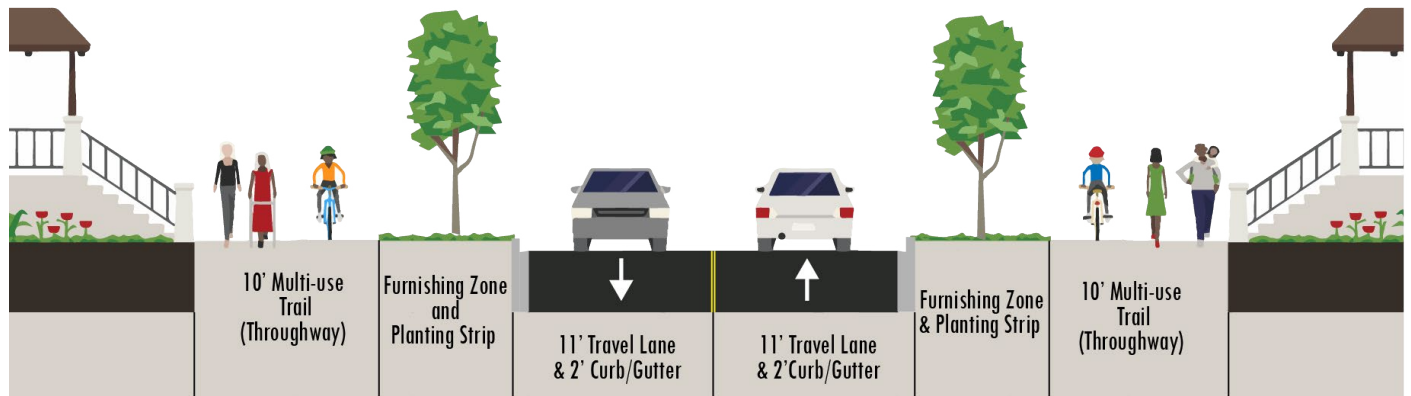
IV. Main Street Type B



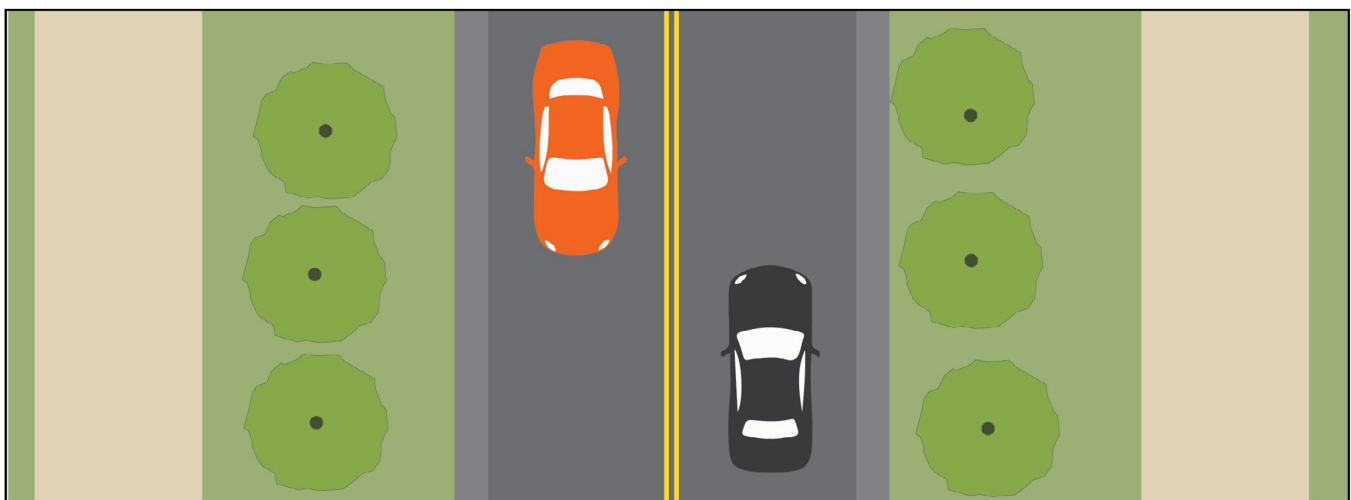
THOROUGHFARE TYPE	Main Street
RIGHT-OF-WAY WIDTH	80 feet
PAVEMENT WIDTH	42 feet
MOVEMENT	Slow
VEHICULAR DESIGN SPEED	25 MPH
TRAFFIC LANES	2 Lanes
PARKING LANES	Parallel on each side
WALKWAY TYPE	10' Multi-use Trails on Each Side
PLANTER TYPE	Tree Wells or 6' Continuous Planting Strip
CURB TYPE	Curb and Gutter
LANDSCAPE TYPE	Trees at 30' o.c. Average - tree species from Table 37-1 LDC
TRANSPORTATION PROVISION	Shared Lanes
FRONTAGE TYPE (WHEN IN TRANSECT)	Terrace, Forecourt, Stoop, Shopfront, Gallery



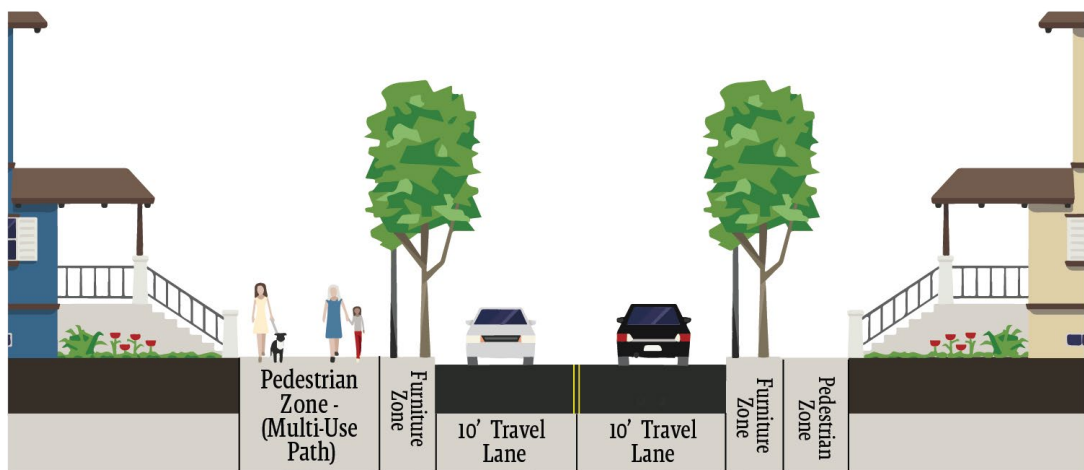
V. Main Street Type C



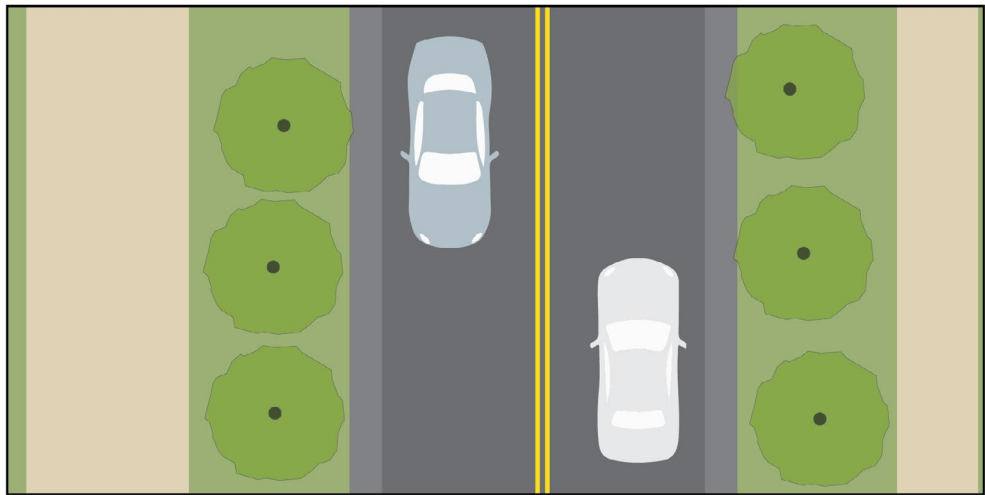
THOROUGHFARE TYPE	Main Street
RIGHT-OF-WAY WIDTH	70 feet
PAVEMENT WIDTH	34'
MOVEMENT	Free
VEHICULAR DESIGN SPEED	25 MPH
TRAFFIC LANES	2 Lanes
PARKING LANES	Occasionally
WALKWAY TYPE	10' Multi-use Trails on Each Side
PLANTER TYPE	Planting Strip (37.05.D.2 LDC)
CURB TYPE	Curb and Gutter
LANDSCAPE TYPE	Trees at 30' o.c. Average
TRANSPORTATION PROVISION	Shared lanes
FRONTAGE TYPE (WHEN IN TRANSECT)	Common Yard, Porch & Fence, Terrace
ALTERNATIVE	May add one lane of dedicated on-street parking to cross-section



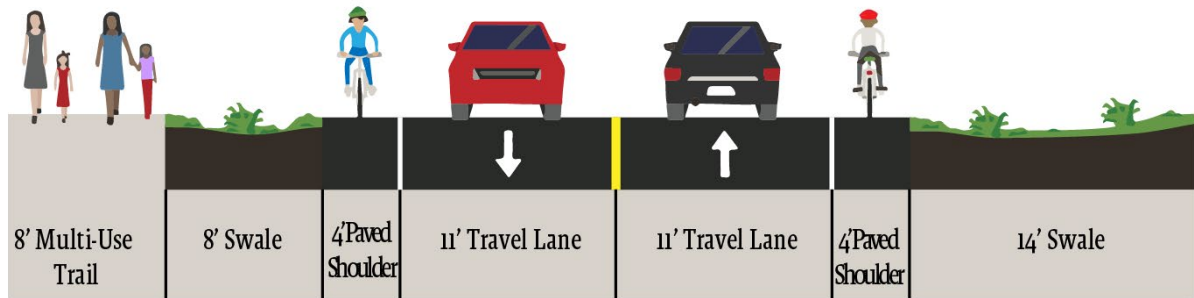
VI. Street Type A - Neighborhood



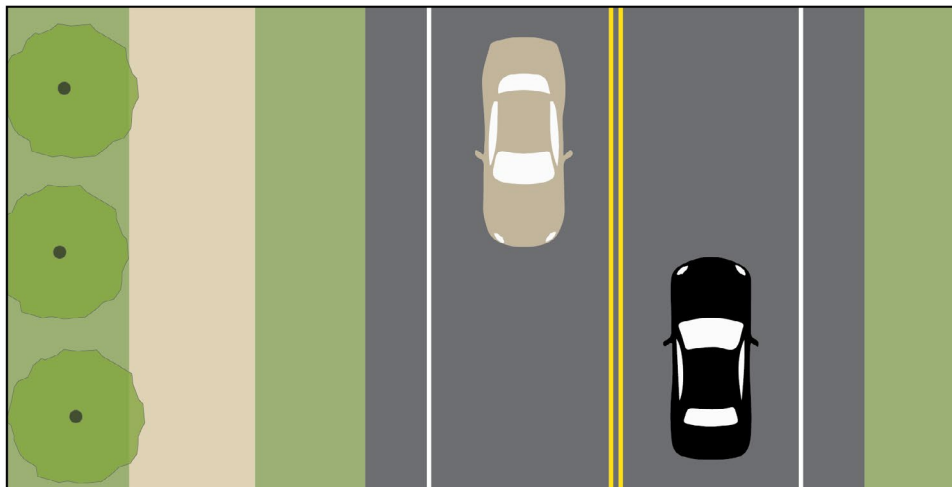
THOROUGHFARE TYPE	Street
RIGHT-OF-WAY WIDTH	60 feet
PAVEMENT WIDTH	20 feet
MOVEMENT	Yield
VEHICULAR DESIGN SPEED	20 MPH
TRAFFIC LANES	2 Lanes
PARKING LANES	N/A (One marked when approved by County Engineer)
WALKWAY TYPE	5' Sidewalk on One Side, 10' Multi-use Trail on One Side
PLANTER TYPE	Planting Strip (See Section 37.05.D.3)
CURB TYPE	Curb and Gutter
LANDSCAPE TYPE	Trees at 30' o.c. Average
TRANSPORTATION PROVISION	Shared Lanes
FRONTAGE TYPE (WHEN IN TRANSECT)	Common Yard, Porch & Fence, Terrace
ALTERNATIVE	May add one lane of dedicated on-street parking to cross-section



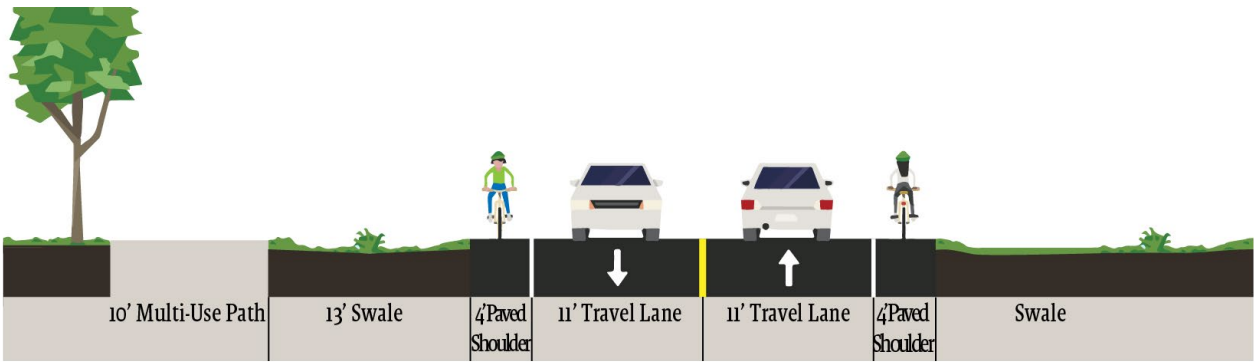
VII. Rural Road Type A



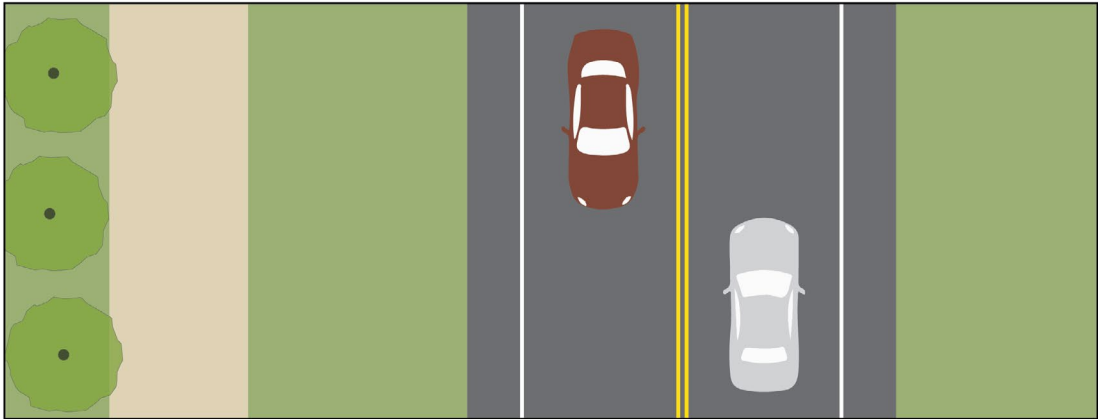
THOROUGHFARE TYPE	Road
RIGHT-OF-WAY WIDTH	60 feet
PAVEMENT WIDTH	26 feet
MOVEMENT	Free movement
VEHICULAR DESIGN SPEED	25 MPH
TRAFFIC LANES	2 Lanes
PARKING LANES	N/A
WALKWAY TYPE	8' Multi-use Trail on One Side
PLANTER TYPE	N/A
CURB TYPE	Swale
LANDSCAPE TYPE	Landscape Strip (Section 37.05.D.2 LDC)
TRANSPORTATION PROVISION	Shoulders
FRONTAGE TYPE (WHEN IN TRANSECT)	Common Yard



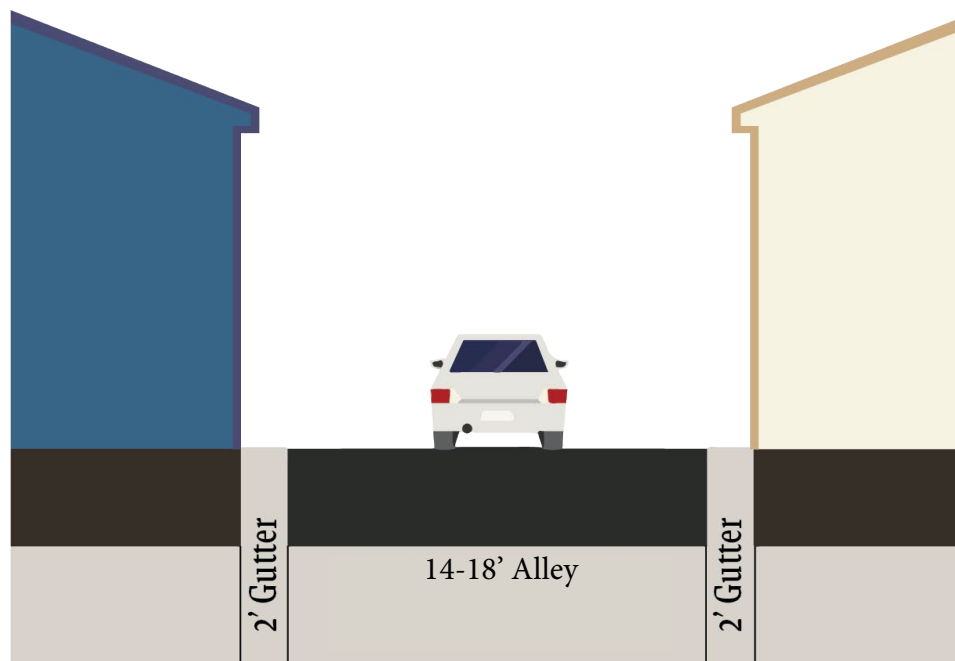
VIII. Rural Road Type B and C



THOROUGHFARE TYPE	Road
RIGHT-OF-WAY WIDTH	80 feet
PAVEMENT WIDTH	26 feet
MOVEMENT	Free movement
VEHICULAR DESIGN SPEED	25 MPH
TRAFFIC LANES	2 Lanes
PARKING LANES	N/A
WALKWAY TYPE	10' Multi-use Trail on One Side
PLANTER TYPE	N/A
CURB TYPE	Swale
LANDSCAPE TYPE	Landscape Strip (Section 37.05.D.2 LDC)
TRANSPORTATION PROVISION	Shoulders
FRONTAGE TYPE (WHEN IN TRANSECT)	Common Yard



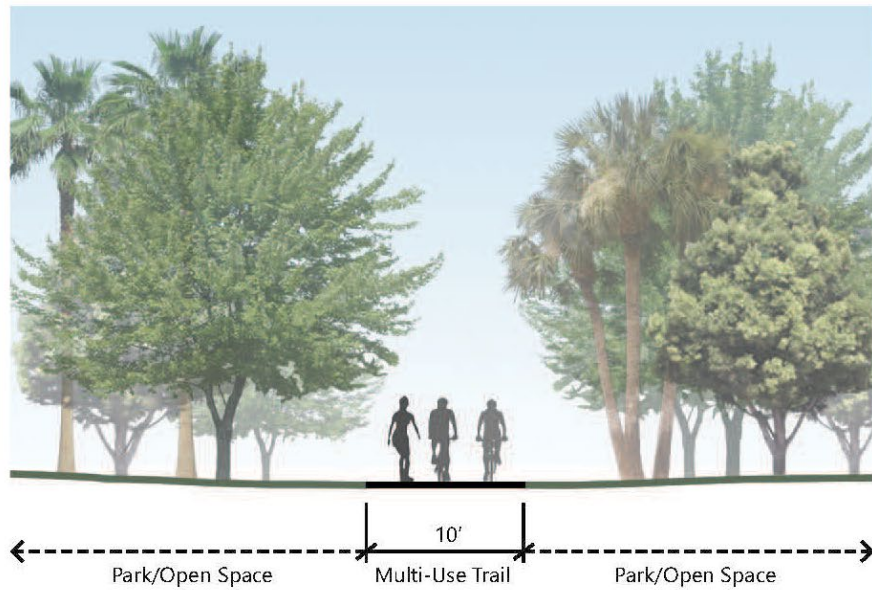
IX. Alley



THOROUGHFARE TYPE	Street
TRANSECT ZONE	T-3, T-3.5, T-4, T-4.5, T-5
RIGHT-OF-WAY WIDTH	22 feet
PAVEMENT WIDTH	14 feet - 18 feet
MOVEMENT	Yield Movement
VEHICULAR DESIGN SPEED	10 MPH
TRAFFIC LANES	N/A
PARKING LANES	N/A
WALKWAY TYPE	N/A
PLANTER TYPE	N/A
CURB TYPE	Curb and Gutter
LANDSCAPE TYPE	N/A
TRANSPORTATION PROVISION	N/A
FRONTAGE TYPE (WHEN IN TRANSECT)	N/A



X. Multi-Use Trail



- The conceptual Multi-use trail network shown on the green infrastructure plan shall be constructed with each new development proposal. Cross-access easements and physical connections shall be made. Where an adjacent property is vacant but the trail network is depicted to interconnect across property boundaries then the properties under construction shall stub-out the multi-use trail to the property boundary and provide a cross-access easement in a form acceptable to the County Attorney. When the adjacent property comes in for development approval, the site shall be so designed as to connect with the multi-use trail stub-out on the adjacent property and provide the requisite cross-access easement.
- All development located within the WBD shall be required to complete the portion of the multi-use trail running parallel and adjacent to, or within, the development property at the time of site development.
- All development located within the WBD shall be required to complete the portion of the multi-use trail within the development property at the time of site development.
- Any area identified as having a multi-use trail, as identified in Figure 4.8 The Green Infrastructure Map, or within the assigned thoroughfare cross-section, shall be required to complete the portion of the multi-use trail which is included within their development property.
- All new development and redevelopment located within the WBD shall provide for pedestrian cross connectivity throughout the WBD in the form of an extensive multi-use trail system designed to function as an integral component of a multi-modal transportation network.
- If a trail segment is identified as a Mobility Network Trail then the trail must be located within an easement or ROW granting public access/use in perpetuity.
- For the construction of Mobility Network Trails, the owner/developer may be eligible to receive mobility or impact fee credits, as applicable, pursuant to the Mobility Fee Ordinance or Comprehensive Impact Fee Ordinance as appropriate.



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Section 4.10 Parks, Natural Areas, and Civic/Social Spaces

4.10.1 Introduction

The provision of a robust network of both public and private parks, natural areas and civic and social spaces (including schools) is a primary objective of the WB CCB. It is the intent of Nassau County to create a network of parks (public and private), trails, natural areas, and civic/social spaces that are intentionally designed as an integral component of the community fabric that creates the WBD. It is envisioned that the network of parks, trails, natural areas and social/civic spaces will be intertwined and part of each development proposal no matter how large or small. The network will include both linear and non-linear systems. In short, it is the intent of Nassau County to collaborate with private property owners, other public agencies, and the development community to create a network where the whole is greater than the sum of its parts. This is only possible when parks, trails, natural areas and civic/social spaces are considered a foundational element from which site design follows.

Further, it is the expressed intent of Nassau County to ensure adequate lands for public and private parks and public schools are reserved based on the adopted standards of Nassau County. **It is the expressed intent of Nassau County to prevent property owners and development entities from subverting the requirement to provide lands for parks and public schools pursuant to the adopted standards of Nassau County by incrementally entitling developing lands.**

This section is divided into three subsections:

- a. Recreation: this section includes LOS standards for public regional and community parks, and private neighborhood parks and the facilities/amenities to be located within each park type.
- b. Civic and Social Spaces: this section relates to LOS standards for schools, and how additional social/civic spaces should be designed and included with all development and redevelopment.
- c. Natural Space: this section address the protection of the T-1 zone and the utilization of techniques to preserve and enhance the environment.

4.10.2 Recreation

Provision of Public Recreation and Facilities:

- a. All new development and redevelopment containing a residential component shall dedicate a proportionate share of land and construction of facilities consistent with the adopted Levels of Service (LOS) of Nassau County identified in the 2030 Comprehensive Plan.
 - i. The adopted Levels of Service for public recreation include both an Acreage LOS and a Facility LOS. Reference Section 3.2.1 WB CCB and Appendix F, G and H of the WB CCB.
 - ii. Construction of Neighborhood Parks shall meet the standards of the Neighborhood Park defined in Sec. 3.2.1 WB CCB and Appendix F, G and H of the WB CCB.
 - iii. Regional and Community Parks shall be consistent with the standards and principles defined in Sec. 3.2.1 WB CCB and Appendix F, G, and H of the WB CCB.
 - iv. In addition to the above, Section 3.2.1 of the WB CCB and Appendix F, G, and H contain additional data related to LOS, siting and design standards.
- b. Nassau County shall not approve a new Preliminary Binding Site Plan, Site Plan, Preliminary Development Plan, Site Engineering Plan, Subdivision Plat, Development/Developer Agreement, Development Order, or other development instrument/mechanism which places additional demand on the recreation system without addressing how, as part of the approval process, the new demand placed on the recreation system will be mitigated.
 - i. When reviewing a land area for impacts on the recreation system the land area shall be viewed in whole for impacts to the recreation system if the land area is:
 - Under common ownership, as defined by Nassau County, as of the effective date of this plan, May 13, 2019, and/or subsequent consolidations of lands under unified ownership, or;
 - Subject to a unified development plan, or;
 - Subject to a master development plan, or;
 - Under a shared/common marketing plan, or;
 - Subject to a development plan divided in to phases, whether approved or not approved by Nassau County.

The division of a land area into multiple tax parcels does not negate reviewing the land area in totality for its impacts.

- ii. In cases where a portion of a land area meeting the criteria in 4.10.2.b.i above that are not programmed and/or are not a part of the initial development proposal made to Nassau County by a property owner/developer, the LOS calculation for impacts to the recreation system for those un-programmed areas or areas not presented to

- Nassau County as part of the initial development proposal shall be based on the maximum residential development potential (residential density) as defined in Comprehensive Plan Policy FL.02.05 and the correlating transect associated with the subject land area as identified on the WBD Regulating Plan.
- iii. The applicant/owner/developer shall identify and reserve lands of sufficient size, composition and location so as to meet the adopted acreage LOS standards adopted by Nassau County in a Development/Developer Agreement or other instrument approved by the County Attorney.
 - iv. Nassau County shall not approve a development proposal of any type that contains a residential component where this provision has not been fully met either through dedication of land and construction of facilities or through a Fee-In-Lieu payment as defined in Section 4.10.2.c.
 - v. The term ‘Common Ownership’ in the WB CCB shall have the meaning to include any corporation, subsidiary, limited liability company, limited partnership, general liability partnership, limited liability partnership, or any other entity doing business in Nassau County with a common parent corporation, company or partnership, or, whose manager (s), managing agent(s), officer(s) is(are) the same person, group of persons, entity or group of entities.
- c. Fee-in-lieu of Provision of Recreation and Facilities: At such time Nassau County adopts a fee-in-lieu ordinance those regulations shall apply within the WBD. However, it is the intent of Nassau County in-light-of the rapid urbanization of Eastern Nassau County it shall be the primary goal of Nassau County to obtain park land and facility construction as opposed to accepting a fee-in-lieu. Acceptance of money in lieu of land dedication and facility construction is intended to be scrutinized and only executed when the dedication of land and construction of facilities has no ability to create new, or expand the greater network of, parks, natural areas, trails and civic spaces within the WBD.
- d. Impact Fee Credit: Credits against impact fees shall be controlled by the applicable impact fee ordinance.

4.10.3 Civic/Social Spaces

4.10.3.1 Public Schools

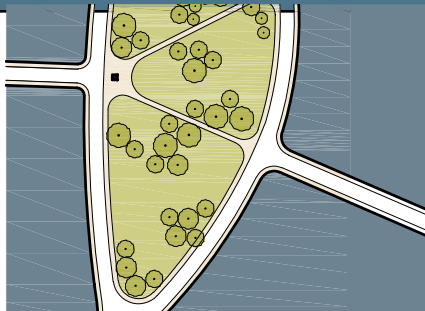
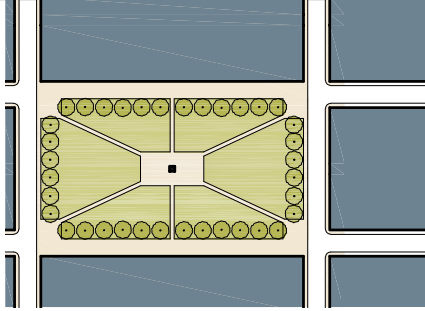
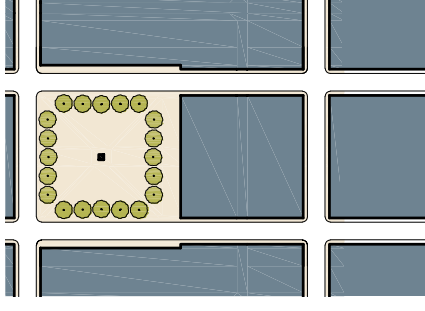
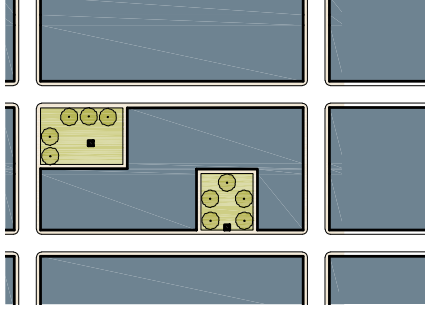
- a. All development containing a residential component shall coordinate with the Nassau County School Board (NCSB) and Board of County Commissioners (BOCC) to mitigate impacts to the public school system. This coordination shall take place in a manner consistent with Amended Interlocal Agreement For Public School Facility Planning.
- b. Additional data and detail can be found in Section 3.2.2 and in Appendicies E and K related to public school impacts.
- c. Nassau County shall not approve a new Preliminary Binding Site Plan, Site Plan, Preliminary Development Plan, Site Engineering Plan, Subdivision Plat, Development/Developer Agreement, Development Order, or other development instrument which places additional demand on the public school system without addressing how, as part of the approval process, the new demand placed on the public school system will be mitigated.
 - i. Unless found to be in contradiction to the Amended Interlocal Agreement For Public School Facility Planning, when reviewing a land area for impacts on the public school system the land area shall be viewed in whole for impacts to the public school system if the land area is:
 - Under common ownership, as defined by Nassau County, as of the effective date of this plan, May13, 2019, and/or subsequent consolidations of lands under unified ownership, or;
 - Subject to a unified development plan, or;
 - Subject to a master development plan, or;
 - Under a shared/common marketing plan, or;
 - Subject to a development plan divided in to phases, whether approved or not approved by Nassau County.

The division of a land area into multiple tax parcels does not negate reviewing the land area in totality for its impacts.
 - ii. In cases where a portion of a land area meeting the criteria in 4.10.3.1.c.i above that are not programmed and/or are not a part of the initial development proposal made to Nassau County, the LOS calculation for impacts to the public school system for those un-programed areas or areas not presented to Nassau County as part of the initial development proposal shall be based on the maximum residential development potential (residential density) as defined in Comprehensive Plan Policy FL.02.05 and the correlating transect associated with the subject land areas as identified on the WBD Regulating Plan.
 - iii. If warranted, as determined by the NCSB and BOCC, based on development scale, the applicant/owner/developer shall identify and reserve lands of sufficient size, composition and location so as to meet the minimum standards of the NCSB for siting a new school.
 - iv. Nassau County shall not approve a development proposal containing a residential element of any type where this provisions of this plan have not been fully met and written approval has been provided by the NCSB consistent with the Amended Interlocal Agreement For Public School Facility Planning. Where land dedication, facility construction or proportionate fair share payment is made the associated reservations shall be memorialized by Nassau County in a Development/Developer Agreement or other instrument approved by the County Attorney and NCSB.
 - v. The term ‘Common Ownership’ in the WB CCB shall have the meaning to include any corporation, subsidiary,

limited liability company, limited partnership, general liability partnership, limited liability partnership, or any other entity doing business in Nassau County with a common parent corporation, company or partnership, or, whose manager (s), managing agent(s), officer(s) is(are) the same person, group of persons, entity or group of entities.

4.10.3.2 Greens, Squares, Plazas, Playgrounds and Other Social Spaces

- a. For non-residential developments, public spaces and related amenities shall be provided to further engage the public and private realms. These spaces can be included within the extent of the development, or the sidewalk can be widened to provide amenities and activate public spaces.
- b. All non-residential development shall provide public spaces in the form of pocket parks, greens, courtyards, squares, plazas, or similar spaces designed to encourage social activity and provide for a sense of shared space. These public spaces shall be interconnected by orientation or pedestrian facilities. These public spaces are intended to be outside rooms that may be used for dining, entertainment, meetings space, pocket parks, community functions, and other similar activities which are open to the public.
- c. The public spaces shall be physically visible and accessible from the adjacent street or major internal pedestrian route, and shall include pedestrian-scale lighting.

CIVIC/SOCIAL SPACE DESCRIPTION	CIVIC/SOCIAL SPACE GRAPHIC	APPLICABLE TRANSECT
Green: A park, available for unstructured recreation. A Green may be spatially defined by landscaping rather than building Frontages. Its landscape shall consist of lawn and trees, naturalisti cally disposed. The minimum size shall be 1/2 acre and the maximum shall be 8 acres.		T-3 T-3.5 T-4 T-4.5 T-5 T-7
Square: A park available for unstructured recreation and Civic purposes. A Square is spatially defined by building Frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. The minimum size shall be 1/2 acre and the maximum shall be 5 acres.		T-3 T-3.5 T-4 T-4.5 T-5 T-7
Plaza: A park available for Civic purposes and Commercial activities. A Plaza shall be spatially defined by building Frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas should be located at the intersection of important streets. The minimum size shall be 1/2 acre and the maximum shall be 2 acres.		T-3 T-3.5 T-4 T-4.5 T-5 T-7
Playground: A park designed and equipped for the recreation of children. A playground should be fenced and may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a Block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.		T-1.5 T-2 T-2.5 T-3 T-3.5 T-4 T-4.5 T-5 T-7

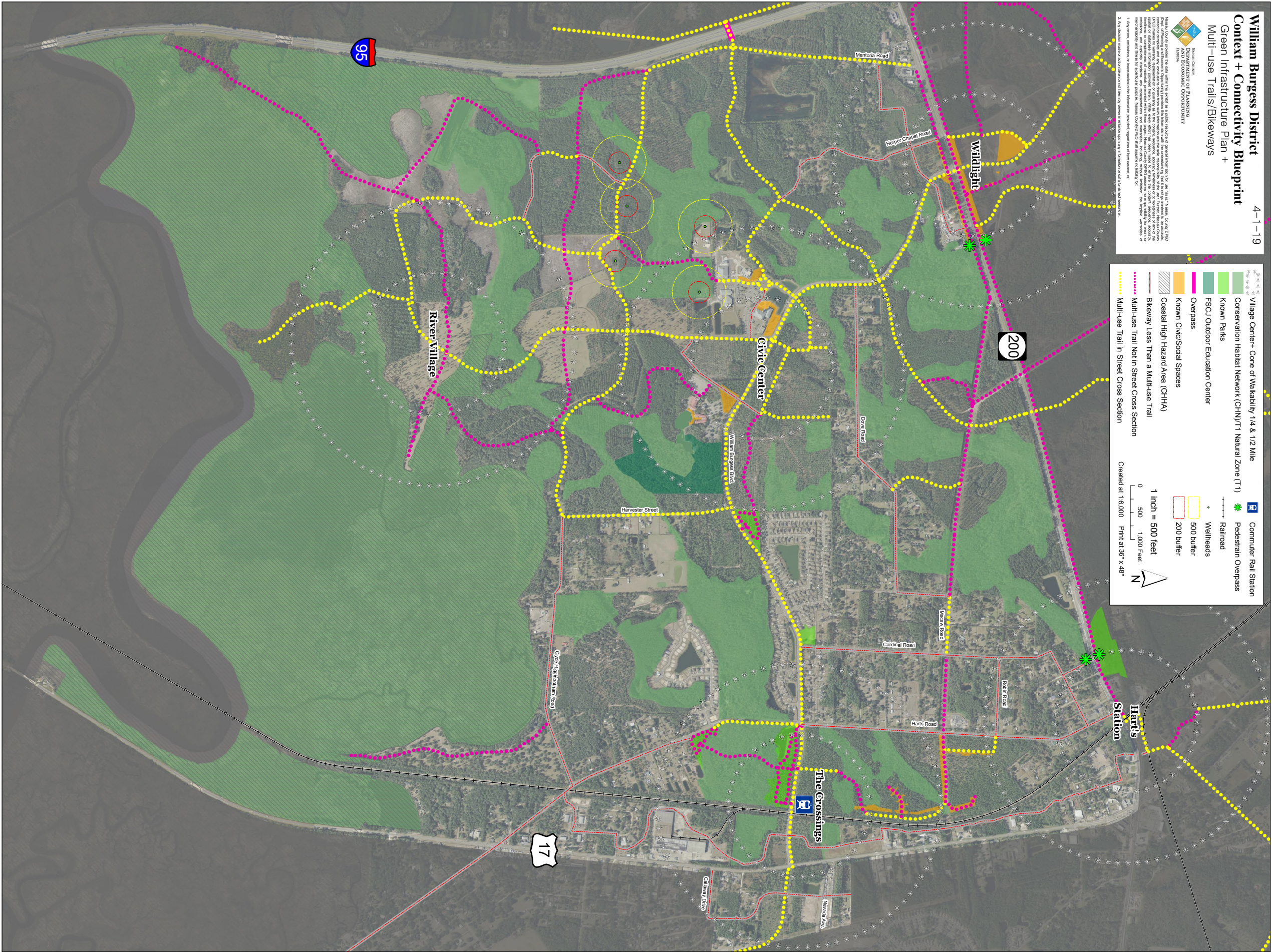


Figure 4.8 Green Infrastructure Map

4.10.4 *Natural Areas*

The T-1 zone is identified on the WBD regulating plan. The boundary of the T-1 zone is also referred to as the Conservation Habitat Network (CHN). The CHN is loosely defined by:

- a. ENCPA Conservation Habitat Network
- b. National Wetland Inventory
- c. Florida Land Use Cover and Classification System (FLUCCS)
- d. SJRWMD Land Use Classification
- e. Coastal High Hazard Area (CHHA)

All new development and redevelopment, regardless of type, shall protect the CHN through the application of a combination of the following tools:

- avoidance,
- use of cluster development techniques and conservation community principles,
- implementation of Low Impact Development principles,
- transfer of development rights,
- conservation easements,
- vegetated natural buffers, and
- other similar mechanisms intended to protect the long-term ecological functionality of the CHN and deter habitat fragmentation.

As cited in the introduction to this section, the CHN is intended to be a foundational element of site design. This approach to site design requires the design professional to look beyond the boundary of the project site and analyze the relationship to adjacent properties and natural systems. Design professionals, property owners and developers shall consider the WBD as a whole in programing and designing for a particular site. During the development review process the DRC will require evidence the newly proposed project has met this standard.

All new development and redevelopment shall direct development away from lands within the Conservation Habitat Network.

The final delineation of the CHN (T-1 zone) shall take place at the time a development proposal is made. The current delineation is an estimate based on the best available data. It is anticipated that with each development proposal the T-1 zone/CHN will be more precisely defined.

All new development and redevelopment shall provide connectivity between the CHN and other publicly and privately held conservation and recreation lands (public and private parks) and/or be arranged in such a manner that future connectivity can be made as properties in proximity are developed or redeveloped.

It is the intent of Nassau County to protectively address floodplain management and habitat fragmentation by legislatively mandating each site designer/owner to view their individual project within the context of the greater District and ensure natural functions and meaningful ecological corridors are provided.

The CHN/T-1 Zone shall not be used in whole or part as a means of satisfying recreation LOS standards for Regional, Community or Neighborhood Parks except whereas related to water based facilities such as boat ramps, kayak launches, river-front promenades and similar amenities.