

Section 4.5 Site Plan Standards

4.5.1 Introduction

Site plan standards, as listed in this section, shall apply to all new development and redevelopment in the William Burgess District (WBD), whether being developed according to an existing zoning and FLUM designation, or the Transect zone and FLUM designation.

- Where this plan fails to address a particular standard, the Land Development Code (LDC) shall control.
- In the event of a conflict between this plan and the LDC, the WB CCB shall control.
- This section provides guidance and standards as to the design and geometric arrangement of development sites in order for all development to be consistent with the objectives of the WBD.
- In addition to the above, properties within an existing PUD, the ENCPA and/or the SR200/A1A Access Management Overlay District, reference Section 4.1.2 WB CCB.
- All development shall meet Americans with Disabilities Accessibility (ADA) standards

4.5.2 General Design Standards

General design standards apply to all development and redevelopment of land within the District, whether being developed under existing zoning and FLUM, or as a transect zone and FLUM designation.

4.5.2.1 Building Orientation

- Buildings shall be oriented so as to enhance the appearance of the streetscape. It is the intent to create interactive and engaging street level facades. The street, perimeter landscape areas, and sidewalk zone shall be engaged by the building and utilized as meaningful public space. This requirement shall be met by incorporating the following techniques into project design:
 - The building's primary entrance(s) shall face the public street(s) and be oriented to the sidewalk zone, as required in Sec. 4.13.3 WB CCB.
 - Buildings located at street intersections shall be designed to address the intersection and engage the street in an interactive manner. The primary entrance shall be at the corner or, entrances shall be provided on each frontage with at least one entrance being the primary entrance.
 - In the event that access is provided by two (2) or more streets, but not at an intersection of streets, the building's primary facade shall face the street determined by the PEO Director to be the major street.
 - Buildings shall be configured so there is an obvious and interactive relationship between the public and private realms in order to create an active and pedestrian friendly streetscape.
 - Building orientation shall be such that service areas are placed out of view from the street and adjacent properties. Blank walls or service areas are not allowed at frontages.
 - Automobile-oriented uses such as, but not limited to, banks with drive through tellers/ATMs, carwashes, automobile service stations/gas stations, drive through restaurants, and similar, shall be oriented in a manner such that the vehicular drive through areas/gas pumps/bay entrances and other similar site components are located to the side or rear of the building and not between the building and the street.



4.5.2.2 Setbacks

- a. In order to create an environment which is consistent with the objectives of the WBD, the following front yard and side street (corner lot) setbacks shall be applied for existing zoning classes only setbacks for transects can be found on pages 61-76.

ZONING CLASSIFICATION	FRONT YARD SETBACK				SIDE STREET SETBACK	
	OR	No Change - Ref. 22.04 LDC				
RS-1 , RS-2, RM	Minimum		Maximum		Minimum	Maximum
	10' Porch/Similar Architectural Feature 15' Primary Structure 20' Garage		20' Primary Structure		10'	20'
RJ, RG-1, RG-2	Single Family Detached		Multi-Family/Single Family Attached		Minimum	Maximum
	Minimum	Maximum	Minimum	Maximum	10'	20'
	10' Porch 15' Primary Structure 20' Garage	20' Primary Structure	5' Porch 10' Primary Structure 20' Garage	15' Primary Structure		
CN, CG, CHT, CI, CJ, CPO	Minimum		Maximum		Minimum	Maximum
	0'		15'		10'	20'
IW, IH	No Change - Ref. 20.06 LDC & 21.06 LDC					

Table 4.3 WBD Zoning Setbacks

- b. Front loaded garages shall be recessed from the primary facade of the primary structure or the lead vertical support of a front porch or similar architectural feature at least five (5) feet. Detached garages are encouraged.
- c. Side and Rear Yard setbacks for the existing zoning district, as defined in the Nassau County Land Development Code, shall be used.
- d. Front porches or similar architecture feature such as a covered stoop or trellis, shall be required for all single family residential structures.

4.5.2.3 Block Lengths

- a. Block faces shall be measured from the outer boundaries of the lots or parcels comprising the block along the margins of continuous physical features such as wetlands, rivers, water bodies, railroads that may form the face of a block. **Transect specific block standards are listed in Section 4.5.4.1 of this code.**

ZONING DISTRICT	BLOCK FACE LENGTH
OR	None
RS-1, RS-2, RM	1,200 feet
All Other	600 feet

Table 4.4 Block Face Lengths

- b. Block perimeter shall be the sum of all block faces that enclose the block.
- c. A block face exceeding 500 feet shall have a mid-block pedestrian pathway, minimum of twenty (20) feet, to provide pedestrian connectivity between blocks.
- d. Blocks composed entirely of water bodies, wetlands, parks, Civic uses shall have no maximum length, width or perimeter requirement.
- e. Block lengths and depths may be increased or decreased, as approved by the Nassau County Department of Planning and Economic Opportunity Director, based on the following criteria:
- To preserve ecologically sensitive areas.
 - Where there are civic spaces, mid-block pedestrian crossings, or other non-vehicular connections used to interrupt a continuous streetscape.
 - The terminus of the block is clearly shown as either a civic space or water body, which is incorporated into the

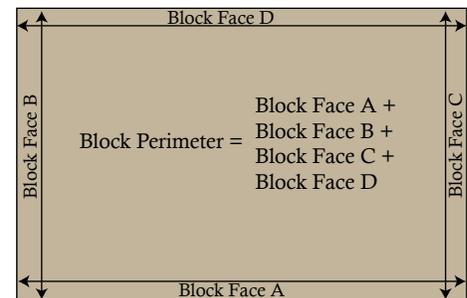


Figure 4.3 Block Perimeter

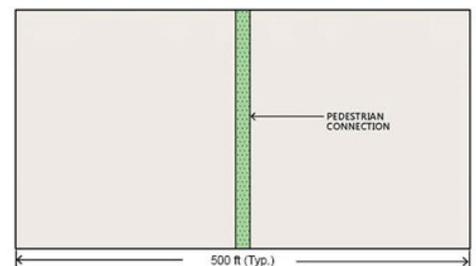


Figure 4.4 Mid-block Pedestrian Path

social structure of the community and includes public amenities.

4.5.2.4 Dumpsters, Mechanical Equipment, and Service Areas

- a. All dumpsters and service areas (including loading zones) shall be at the rear or side of a building and shall screened through the use of a wall, which is 100 % opaque, in conjunction with landscaping. Minimum landscaping shall include one shrub for every two (2) feet. The shrubs shall be maintained at a minimum of four (4) feet in height. One (1) canopy tree or understory tree per ten (10) linear feet of wall or fence unless said fence or wall is less than eight (8) feet in length shall be provided.
- b. Mechanical equipment shall be at the side or rear of the building and screened from all rights-of-ways, or placed on a flat roof, screened by a parapet or similar architectural feature to shield it from public views.
- c. Back flow preventer(s) shall be to the side or rear of a building. If required to be in the front yard, it shall be screened with shrubs maintaining an opacity of 80%.

4.5.2.5 Fences

- a. Front Yards, as defined in Article 32, LDC. Fences located within a front yard shall not exceed four (4) feet in height. All front yard fences must be at least 50% transparent. Chain link fences are prohibited.
- b. Side and Rear Yards, as defined in Article 32, LDC. Side and rear yard fences shall not exceed six (6) feet in height, except for non-residential uses and the fence is approved by the Development Review Committee, and is demonstrated by the applicant to be necessary to support operations.
- c. All retention and detention facilities shall either be sloped as to not require fencing or, be bulkheaded (or similar) and include stylistic fencing, such as picket wood, road iron, or similar and the facility is incorporated into the site design as an amenity.

4.5.2.6 Pedestrian Connectivity

- a. A pedestrian circulation plan shall be provided that demonstrates both internal pedestrian access and connectivity to adjacent developments and rights-of-way.
- b. A pedestrian circulation plan shall provide linkages to existing or planned sidewalks or multi-use trails.
- c. All sidewalks shall be a minimum of 6' wide.
- d. All multi-use trails shall be a minimum of 10' wide and meet the standards described in Section 4.9.7.3.X.

4.5.2.7 Parking Areas

- a. Parking Areas General
 - i. On-street parking shall be inset with bulb-outs used to define the street, provide for vegetation and low impact development stormwater facilities, encourage slower vehicular speeds, and provide locations for mid-block pedestrian crosswalks.
 - ii. Parking standards, as defined in Article 31 LDC shall be used.
- b. Non-residential, Mixed-Use, Multi-Family
 - i. On-site parking shall not exceed 110% of the minimum requirement defined in Article 31 LDC.
 - ii. To discourage on-site parking, minimum parking requirements can be further reduced through the provision of on-street parking and shared parking facilities and/or shared parking agreements. Reference Supplemental Parking Standards for Amelia Island in the Nassau County LDC.
 - iii. All on-site parking shall be located behind or beside the primary structure and screened from the street. Parking shall not be located between the street and the primary building. Parking lots shall not be located in any required yard (setback).
 - iv. In addition to 4.5.2.7(b)(iv), parking areas shall be separated and screened from public streets, sidewalks or rights-of-way using a landscaped area at least five (5) feet wide that includes a 3' high wall and 2' tall shrubs to screen public parking lots and service areas. Walls over 3' in height shall be at least 50% transparent. Chain link fences are prohibited.
 - v. Parking lots shall be accessed from a side street or rearage road. When a side street is not accessible, one driveway entrance may be allowed on the primary road, provided that all access management standards are met (see Sec. 4.9), and the new access provides a rearage road to the parcels surrounding it. See connectivity standards for additional detail. It is the intent of Nassau County to limit, to the maximum extent possible, individual driveways and require access to individual parcels via rearage roads.
 - vi. Parking areas shall include a minimum of eight (8) foot wide pedestrian walkway. The pavements of such walkways shall be differentiated from parking area pavement through a change in surface texture, material, style, and/or color.
 - vii. Parking areas shall be interconnected, or designed to interconnect in the future. Where a parking lot is connected, or designed to connect, an easement for ingress and egress to adjacent lots shall be recorded by the property owner in the Nassau County Official Records Book.
- c. Parking Areas - Single Family Residential
 - i. Required parking may be accommodated on the surface, in a carport, or in a garage.
 - ii. Parking shall not be allowed in a required front or side yard, except on the driveway.

- iii. Designated on-street parking is encouraged.
- d. Bicycle Parking
 - i. Bicycle parking shall be required for all non-residential and mixed-use developments in the WBD.
 - ii. All bicycle parking shall be placed in a usable location, and shall not block pedestrian throughways.
 - iii. Bicycle parking shall be provided at a minimum ratio of one (1) space per 2,000 square feet of non-residential use.

4.5.2.8 Utilities

- a. All development except for new and replacement single family homes on an individual building site existing as of July 8, 2019 shall connect to public water and public sanitary sewer when determined available by the Nassau County Department of Health. This provision does not pertain to new building sites created through a Parent Tract Split, Open Rural Homestead Exemption, or Family Hardship Development.
- b. Overhead utility lines shall be located or relocated underground.
 - i. Any extension of electric, cable, telephone or other utility typically located above ground shall be placed underground. This provision does not apply to new and replacement single family homes on an individual building site existing as of July 8, 2019 nor to new building sites created through a Parent Tract Split, Open Rural Homestead Exemption, or Family Hardship Development.
 - ii. Any redevelopment of a roadway as required to serve new development or redevelopment shall be the trigger to place existing overhead utilities within or adjacent to the ROW underground. As it relates to this provision, redevelopment of a roadway includes any widening, lane addition, median addition, round-a-bout construction, addition of on-street parking, conversion from a rural roadway cross-section to an urban roadway cross-section, conversion from a dirt road to a paved road. Resurfacing shall not constitute roadway redevelopment.
 - iii. Nassau County may, at the sole discretion of the BOCC, establish a program to collect payment of monies in lieu of individual property owners placing portions of utilities underground on a parcel by parcel basis, along US-17 and SR-200. If a program is created, the fee in lieu payment shall be equal to the cost of Nassau County to place the utilities underground.
 - iv. These provisions shall not apply to high voltage electric transmission lines. When conflict exists as to identifying high voltage electric transmission lines, the determination of Nassau County shall control.

4.5.2.9 Other General Design Standards

Refer to the following sections for additional design standards for all development and redevelopment in the WBD:

- a. Section 4.6 General Architectural Standards
- b. Section 4.9 Transportation Standards
- c. Section 4.10 Recreation, Natural Areas, and Civic Spaces
- d. Section 4.11 Landscaping
- e. Section 4.12 Stormwater Management
- f. Section 4.13 Public Realm
- g. Section 4.14 Lighting and Signage

4.5.3 *Transect Specific Design Standards*

In addition to the General Design Standards, as described in Section 4.5.2, all properties which develop as a transect zone and FLUM designation shall address the following design standards.

4.5.3.1 *Building Height and Placement*

Building height and placement are essential to creating an interactive pedestrian realm. This section, and Table 4.5 below address building height. Building setbacks for each transect are in Section 4.5.4 of these regulations.

- a. Maximum building height is determined by the number of stories allowed in each transect.
 - i. T-1.5 through T-3 are rural and sub-urban in nature, and intended predominately for single family homes and agricultural buildings. The maximum building height allowed for a primary structure is three (3) stories.
 - ii. T-3.5 is the urban transitional zone is the buffer between the rural and sub-urban zones and the urban zones. Land uses are predominately multi-family and attached single family structures, with limited mixed-use buildings. Building heights shall not exceed three (3) stories.
 - iii. T-4 is the urban general zone with development patterns accommodating multi-family residential development, multi-use, and non-residential. Buildings in this zone shall not exceed four (4) stories.
 - iv. T-4.5 and T-5 are in the urban zone, and intended to have the greatest intensities and densities allowed in Nassau County. This mixture of development types allows for the greatest heights and least setbacks. Buildings in this zone shall not exceed six (6) stories.
- b. Building placement relates to how a building is located on an individual lot and where the yard is located, and is depicted in Table 4.6.
 - i. T-1.5 though T-3 are residential and agricultural in natural. Placement of the primary structure is typically set to the center of a property with open lawn surrounding the primary structure.
 - ii. T-3.5 development patterns allow for single family attached, multi-family, and rear/alley access single family detached, along with the limited non-residential uses. To encourage a more active pedestrian zone, placement of primary buildings are to be set closer to the public right-of-way. Developments in this zone should have an open lawn to the side and/or rear of the building to encourage more compact development. Open lawns between the structure and the street are still available but limited in expansiveness due to building placement.
 - iii. The T-4 zone is an urban zone, the buildings shall be set close to the public right-of-way, should be larger in scale, and development patterns shall be more compact in nature. Lawns in this zone are predominately to the side and/or rear of the development, or internal to a development. Front lawns are almost, if not completely, replaced with an intricate hardscape - 'sidewalk zone'.
 - iv. In the T-4.5 and T-5 transects, buildings shall be brought up to the public right-of-way line, and are to be larger in scale. Buildings shall be located to create an interactive pedestrian zone, and typically span the entire frontage of the building site. Lawns in these zones are typically to the side and/or rear of the development, or internal to a development.

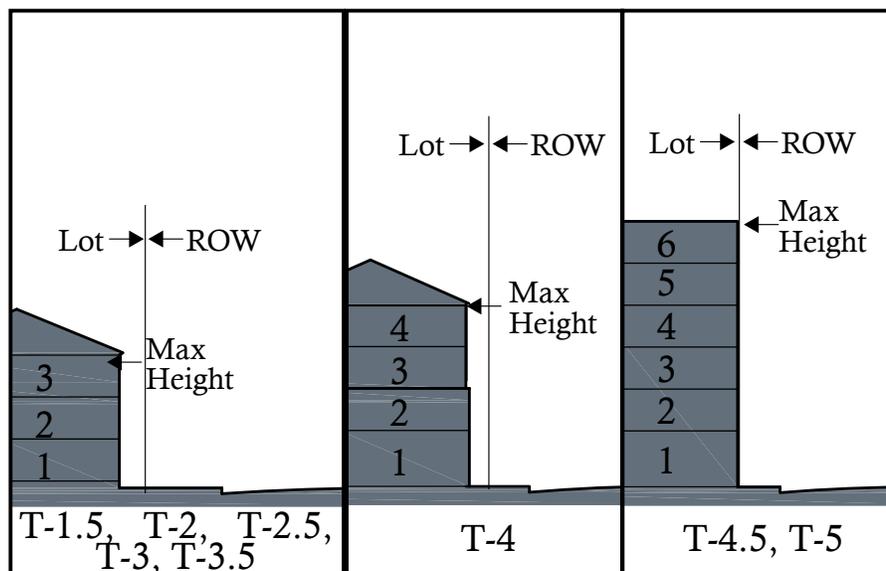


Table 4.5 Building Height

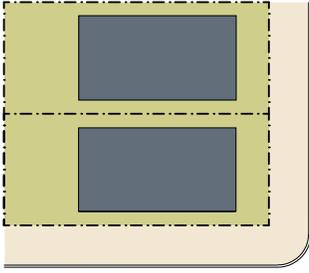
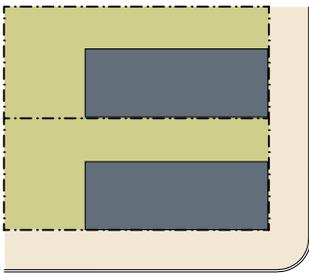
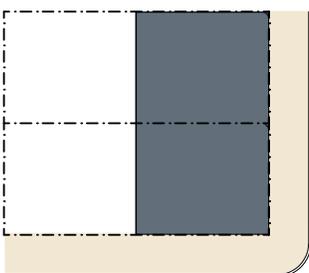
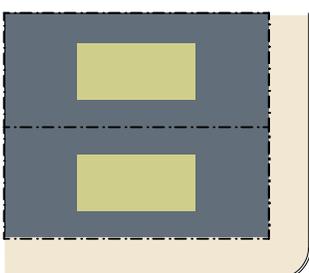
<p>a. Edgeyard: Specific Types - Single Family Detached House. A building that occupies the center of its Lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the Frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed accessory structure.</p>		<p>T-1.5 T-2 T-2.5 T-3 T-3.5</p>
<p>b. Sideyard: Specific Types - Single Family Detached, Single Family Attached, Live/Work Units, Multi-Family Units, Pedestal Building, Main Street Building. A building that occupies one side of the Lot with the Setback to the other side. A shallow Front Setback defines a more urban condition. If the adjacent building is similar with a blank side wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze. If a Sideyard House abuts a neighboring Sideyard House, the type is known as a twin or double House. Energy costs, and sometimes noise, are reduced by sharing a party wall in this placement.</p>		<p>T-3 T-3.5 T-4</p>
<p>c. Rearyard: Specific Types - Single Family Attached, Live/Work Units, Multi-Family Units. Liner Building, Large Footprint Building, Pedestal Building, Main Street Building, Corner Store. A building that occupies the full Frontage, leaving the rear of the Lot, as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is the Townhouse. For its Commercial form, the rear yard can accommodate substantial parking.</p>		<p>T-3.5 T-4 T-4.5 T-5</p>
<p>d. Courtyard: Specific Types - Muti-Family greater than 4 Units, or similar. A building that occupies the boundaries of its Lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools.</p>		<p>T-3.5 T-4 T-4.5 T-5</p>

Table 4.6 Building Placement

4.5.3.2 Private Frontages

A Private Frontage is the area between the front of the building and the public right-of-way, and is part of the public realm. The usage of the Private Frontage is determined by the transect. Table 4.7 depicts the section and plan for different types of Private Frontages, as well as the corresponding transect in which they can be used. All buildings along street frontages shall utilize a permitted frontage type found herein. Corner lots shall have two (2) frontages.

	SECTION		PLAN		Transect	Image
	Lot Private Frontage	ROW Public Frontage	Lot Private Frontage	ROW Public Frontage		
<p>a. Common Yard: a planted frontage wherein the facade is set back substantially from the Right-of-Way. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep Setback provides a buffer from the higher speed Thoroughfares.</p>					T1.5 T2 T2.5 T3	
<p>b. Porch & Fence: a planted frontage wherein the facade is set back from the Right-of-Way Line with an attached porch permitted to encroach into setbacks. A fence at the Right-of-Way line maintains street spatial definition.</p>					T3 T3.5	
<p>c. Terrace or Lightwell: a Frontage wherein the facade is set back from the Right-of-Way Line by an elevated terrace or a sunken lightwell. This type buffers residential use from urban multi-use trails and removes the private yard from public encroachment. Terraces are suitable for conversion to outdoor cafes.</p>					T3.5 T4	
<p>d. Forecourt: a Frontage wherein a portion of the facade is close to the Right-of-Way Line and the central portion is set back. The Forecourt created is suitable for vehicular drop-offs. Large trees within the forecourts may overhang the multi-use trails.</p>					T3.5 T4 T4.5 T5	
<p>e. Stoop: a Frontage wherein the facade is aligned close to the Right-of-Way Line with the first story elevated from the multi-use trail sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor residential use.</p>					T4 T4.5 T5	
<p>f. Shopfront: a Frontage wherein the facade is aligned close to the Right-of-Way Line with the building entrance at multi-use trail grade. This type is conventional for retail use. It has a substantial glazing on the multi-use trail level and an awnings.</p>					T4 T4.5 T5	
<p>g. Gallery: a Frontage wherein the facade is aligned close to the Right-of-Way line with an attached cantilevered shed or a lightweight colonnade overlapping the multi-use trail. This type is conventional for Retail use.</p>					T4 T4.5 T5	
<p>h. Arcade: a colonnade supporting habitable space that overlaps the multi-use trail, while the facade at multi-use trail level remains at or behind the Right-of-Way Line. This type is conventional for retail use.</p>					T4 T4.5 T5	

Table 4.7 Private Frontages

4.5.3.3 Transect Parking Requirements

- a. Parking Areas - Non-residential
 - i. Within T-5 the minimum parking requirements are 50% of that defined in Article 31 LDC.
 - ii. Within T-3.5 through T-4.5, the minimum parking requirements are 75% of that defined in Article 31 LDC.
 - iii. To the extent possible, surface parking within T-3.5 through T-5 should be minimized to maintain the density/intensity standards and general form of the Transects.
 - iv. Shared parking agreements and on-street parking are encouraged to reduce the need of on-site parking. On-street parking located adjacent to a development site will be used to off-set on-site parking minimums.
 - v. In all Transects, the maximum number of parking spaces shall not exceed 110% of the minimum parking spaces required in Article 31 LDC.
 - vi. Structured parking is strongly encouraged in Village Centers and within the T-5 Zone

4.5.4.1 Block Lengths

TRANSECT	BLOCK FACE LENGTH
T-1.5 - T-2.5	None
T-3	1,000 feet
T-3.5 - T-5	500 feet

Table 4.8 Transect Block Face Length

- a. The maximum block perimeter shall be 1,800' with no individual block face being more than 600 feet in length.
- b. Block lengths and depths may be increased or decreased, as approved by the Nassau County Department of Planning and Economic Opportunity Director, based on the following criteria:
 - i. To preserve ecologically sensitive areas.
 - ii. Where there are civic spaces, mid-block pedestrian crossings, or other vehicular connections used to interrupt a continuous streetscape.
 - iii. The terminus of the block is clearly shown as either a civic space or water body, which is incorporated into the social structure of the community and includes public amenities.

4.5.4 Transect Summaries and Graphics

This section provides key site design standards that are specific to each transect. Sub-sections 4.5.4.1 - 4.5.4.8 provide detailed information regarding setbacks, maximum building height, site usage, frontages, and encroachments for each transect.

	T-1	T-1.5	T-2	T-2.5	T-3	T-3.5	T-4	T-4.5	T-5
CLASSIFICATION	Conser- vation	Rural	Rural	Transitional	Transitional	Transitional	Urban	Urban	Urban
DENSITY (UNITS PER ACRE)	No Res. Density Allowed	1:20 max	1:5 max	1:1 max	2:1 min 5:1 max	5:1 min 10:1 max;	8:1 min 18:1 max	0:1 min. 18:1 max	10:1 min 25:1 max
BUILDING HEIGHT	N/A	3 Stories	3 Stories	3 Stories	3 Stories	3 Stories	4 Stories	6 Stories	6 Stories
MINIMUM LOT SIZE *	N/A	20 acres	5 acres	1 acres	1,200 sqft	N/A	N/A	N/A	N/A

Table 4.9 Transect Summaries

*Minimum lot size shall be consistent with the building types as defined in Section 4.8 of the WB CCB.

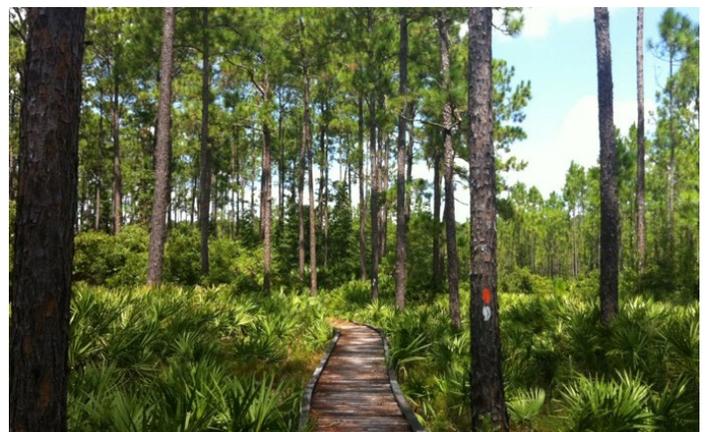
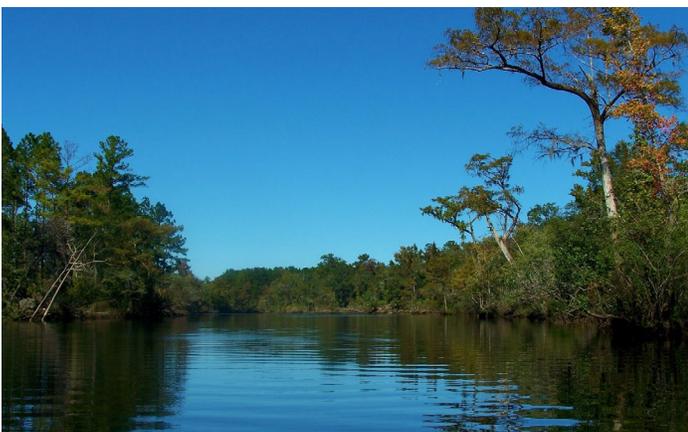
- a. All development **shall meet the minimum residential density requirements** assigned for its designated transect.
- b. When calculating minimum residential densities, land areas within the development parcel used for right-of-way, stormwater management facilities(SWMF), public parks, and/or public schools may be excluded from the minimum density requirement calculation. *Example: 100acres of uplands in the T-3 zone has a minimum density of 200 dwelling units. If 20 acres of the 100 acre development site is allocated to public parks, rights-of-way and SWMF then the minimum density is 160 dwelling units (100ac-20ac=80ac, 80ac*2du per ac=160du).*
- c. While residential density is strongly encouraged in T-4.5, due to the allowed uses and proximity to major state roadways, there is no minimum density requirement in the T-4.5 zone.
- d. When a development is 100% non-residential, there is no minimum required density.

4.5.4.2 Code Graphic for T-1 Natural Zone

T-1 Natural Zone consists of lands approximating or reverting to a wilderness condition, including lands unsuitable for settlement due to topography, hydrology or vegetation. These areas include lands that are in the Conservation Habitat Network (CHN) within the East Nassau Community Planning Area (ENCPA), and known wetlands, National Wetland Inventory (NWI) lands, and wetlands identified by the St. John's Water Management District (SJRWMD), and may include lands within the Coastal High Hazard Area (CHHA) and other environmentally sensitive areas.

Actual delineation of the T-1 transect may be adjusted based on additional or refined data provided as properties undergo development review based on permitting through State and Federal agencies. The final delineation of the T-1 zone will be determined at time of development approval through the Nassau County Development Review Committee.

Due to the environmental constraints in this zone, development is prohibited, but may include water dependent recreational uses such as boat/kayak ramps/launches and passive recreational opportunities such as elevated boardwalks, river front promenades and viewing platforms.



4.5.4.3 Code Graphic for T-1.5 Agriculture and Open Space Zone

T-1.5 Agricultural Zone consists of larger, sparse rural lands including agriculture, hunting camps, fishing camps, managed preserves, silviculture, etc. Properties in this transect are generally larger than 20 acres in size. Typical buildings are single family houses, agricultural buildings, and cabins. Planting is naturalistic and setbacks are relatively deep. Typical building height is up to three (3) stories. May include lands located in the CHHA not designated as T-1. .



I. Building Form and Use

A. BUILDING FORM	Small Scale Residential, agriculture
B. PROPERTY USE	Residential, agriculture (Reference Table 4.2)
C. LOT WIDTH	100 feet min, no max
D. IMPERVIOUS SURFACE RATIO	35%
E. FRONTAGE BUILDOUT	N/A
F. BUILDING PLACEMENT	Edgeyard (Table 4.6)
G. PRIVATE FRONTAGES	Common Yard, Porch/Stoop (Table 4.5)
H. PRIMARY BUILDING HEIGHT	3 stories (Table 4.7)
I. ACCESSORY BUILDING HEIGHT (RESIDENTIAL)	2 stories/25 feet
J. DENSITY	1 unit per 20 acres

Table 4.10 T-1.5 Development Requirements

II. Building Setbacks

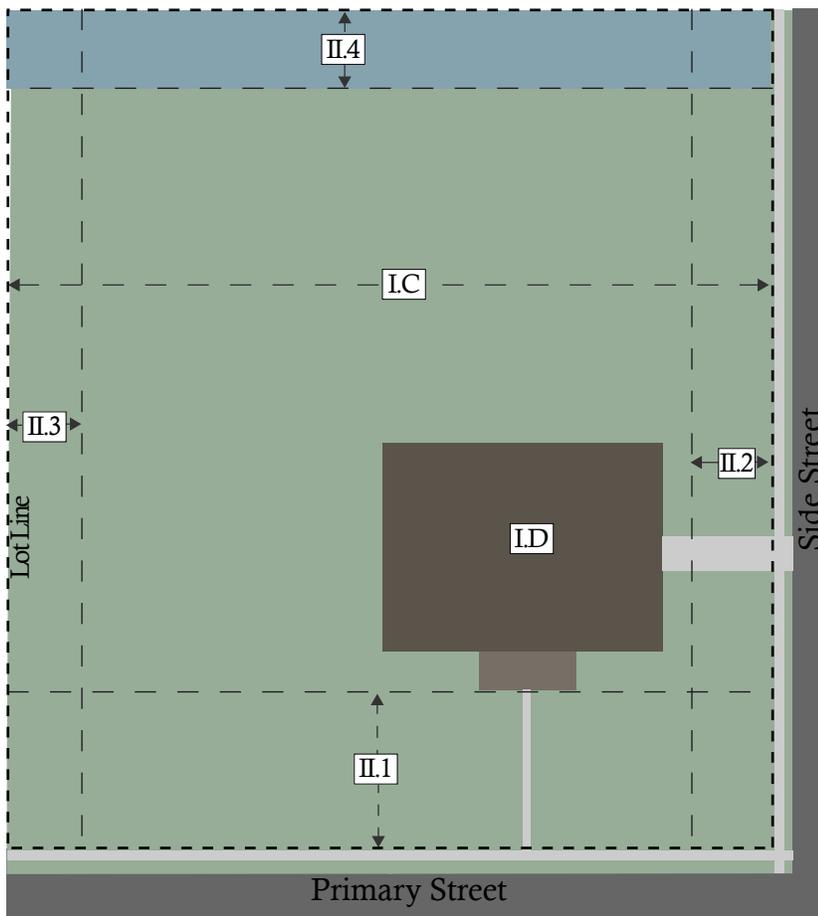
- a. Primary Buildings shall be located in compliance with the setback requirements for primary structures, listed in Table 4.11.
- b. Accessory structures shall be located in compliance with the setbacks listed in Table 4.12.
- c. Nothing herein shall limit the right to farm, as defined and described in Florida State Statutes, as applicable.

SETBACK	MINIMUM
1. Front Yard	50'
2. Side Street	25'
3. Side Yard	25'
4. Rear Yard	35'

Table 4.11 T-1.5 Primary Structure Setbacks

SETBACK	MINIMUM
Front Yard	50'
Side Street	25'
Side Yard	10'
Rear Yard	10'

Table 4.12 T-1.5 Accessory Structure Setbacks



Reference Table 4.10 (I.C, I.D, and I.E), and Table 4.11 (II.1, II.2, II.3, and II.4)

III. Encroachments

- a. Minimum yards may include eaves, overhangs, or gable ends up to twenty-four (24) inches; objects thirty (30) inches above general ground level (such as decks and pavement); fences, walls, landscaping, and other customary yard accessories, ornaments and furniture; HVAC compressors; and USPS approved mailboxes, all subject to easements and applicable height and traffic visibility requirements. Septic tanks and drain fields may be located in any yard but must meet minimum health department standards.

4.5.4.4 Code Graphic for T-2 Rural Zone

T-2 Rural Zone consists of sparsely settled lands in open or cultivated state. Typical buildings are single family homes, agricultural buildings, or cabins. Planting is generally naturalistic and setbacks are relatively deep. Typical land uses are single family ranchettes ranging in 5-20 acres in size. Typical building height is up to three (3) stories. Cluster subdivisions and other techniques are encouraged, in some cases mandated, to preserve the rural aesthetic and preserve a rural way of life. The development pattern can easily become sub-urban in principle if not regulated properly. It is the intent to clearly differentiate the T-2 Zone from the T-2.5 and T-3 Zone.



I. Building Form and Use

A. BUILDING FORM	Small Scale Residential, agriculture
B. PROPERTY USE	Residential, agriculture (Reference Table 4.2)
C. LOT WIDTH	100 feet Min, no max
D. IMPERVIOUS SURFACE RATIO	35%
E. FRONTAGE BUILDOUT	N/A
F. BUILDING PLACEMENT	Edgeyard (Table 4.6)
G. PRIVATE FRONTAGES	Common Yard, Porch/Stoop (Table 4.5)
H. PRIMARY BUILDING HEIGHT	3 stories (Table 4.7)
I. ACCESSORY BUILDING HEIGHT (RESIDENTIAL)	2 stories/25 feet
J. DENSITY	1 unit per 5 acres

Table 4.13 T-2 Development Requirements

II. Building Placement and Form

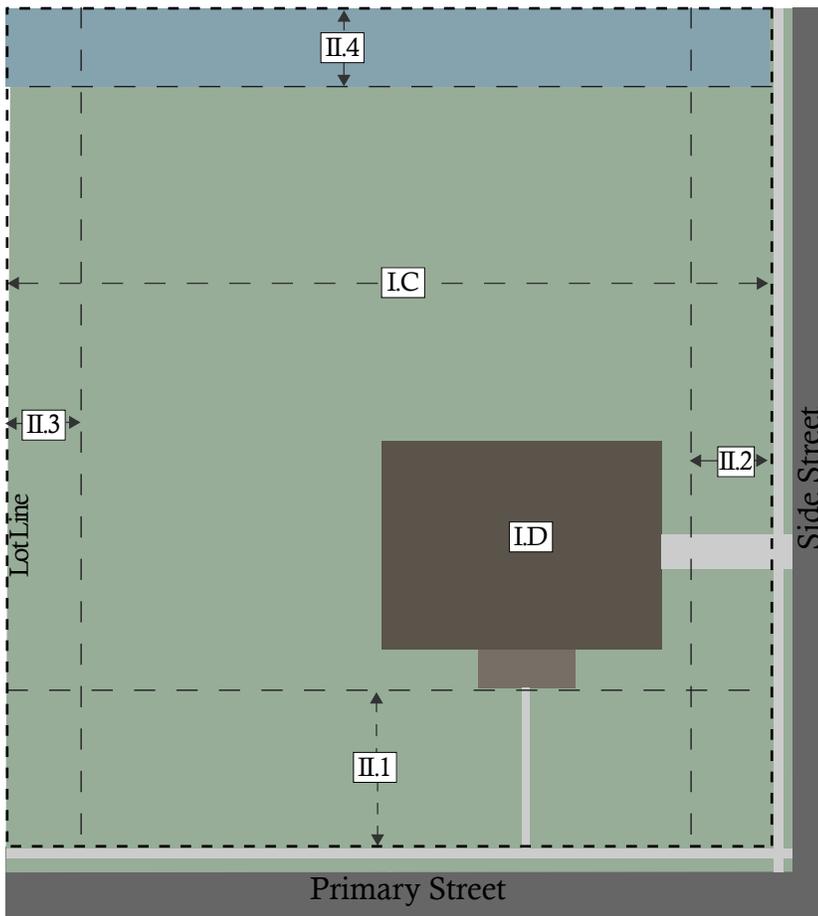
- a. Primary Buildings shall be located in compliance with the setback requirements for primary structures, listed in Table 4.14.
- b. Accessory structures shall be located in compliance with the setbacks listed in Table 4.15.
- c. Nothing herein shall limit the right to farm, as defined and described in Florida State Statutes, as applicable.

SETBACK	MINIMUM
1. Front Yard	25'
2. Side Street	15'
3. Side Yard	15'
4. Rear Yard	25'

Table 4.14 T-2 Primary Structure Setbacks

SETBACK	MINIMUM
Front Yard	25'
Side Street	15'
Side Yard	5'
Rear Yard	5'

Table 4.15 T-2 Accessory Structure Setbacks



Reference Table 4.13 (I.C, I.D, and I.E), and Table 4.14 (II.1, II.2, II.3, and II.4)

III. Encroachments

- a. Minimum yards may include eaves, overhangs, or gable ends up to twenty-four (24) inches; objects thirty (30) inches above general ground level (such as decks and pavement); fences, walls, landscaping, and other customary yard accessories, ornaments and furniture; HVAC compressors; and USPS approved mailboxes, all subject to easements and applicable height and traffic visibility requirements. Septic tanks and drain fields may be located in any yard but must meet minimum health department standards.

4.5.4.5 Code Graphic for T-2.5 Rural Transitional Zone

T-2.5 Rural Transitional Zone consists of low density residential areas between the rural zones and suburban zone. Building sites in these zones are generally 1-5 acres, and typical land uses are single family homes, cabins, and villas. Planting is naturalistic and setbacks are relatively deep. Typical building height is up to three (3) stories. This Transect exists as a means to preserve a buffer around the T-2 Rural Zone. By providing designated areas to transition from rural to suburban allows for boundaries to be established and keep T-1.5 to T-2 lands rural and mitigate encroachment of the T-3 Zone into rural areas.



I. Building Form and Use

A. BUILDING FORM	Small Scale Residential, agriculture
B. PROPERTY USE	Residential, agriculture (Reference Table 4.2)
C. LOT WIDTH	100 feet Min, no max
D. IMPERVIOUS SURFACE RATIO	35%
E. FRONTAGE BUILDOUT	N/A
F. BUILDING PLACEMENT	Edgeyard (Table 4.6)
G. PRIVATE FRONTAGES	Common Yard, Porch/Stoop (Table 4.5)
H. PRIMARY BUILDING HEIGHT	3 stories (Table 4.7)
I. ACCESSORY BUILDING HEIGHT (RESIDENTIAL)	2 stories/25 feet
J. DENSITY	1 unit per acre

Table 4.16 T-2.5 Development Requirements

II. Building Placement and Form

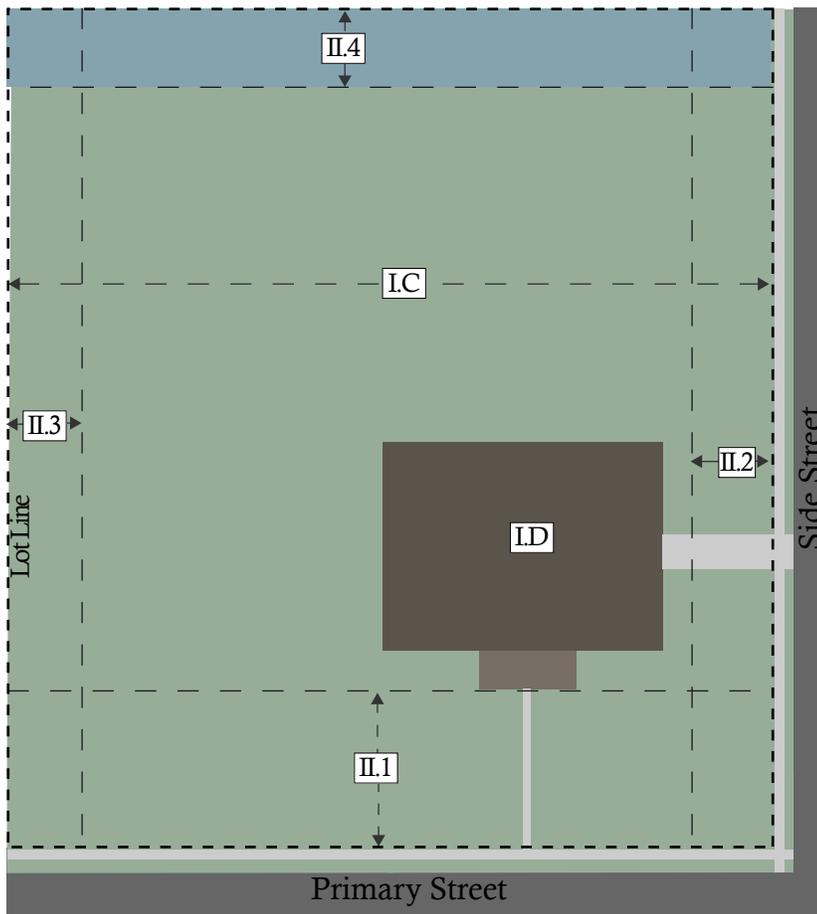
- a. Primary Buildings shall be located in compliance with the setback requirements for primary structures, listed in Table 4.17.
- b. Accessory structures shall be located in compliance with the setbacks listed in Table 4.18
- c. Nothing herein shall limit the right to farm, as defined and described in Florida State Statute, as applicable.

SETBACK	MINIMUM
1. Front Yard	25'
2. Side Street	15'
3. Side Yard	15'
4. Rear Yard	25'

Table 4.17 T-2.5 Primary Structure Setbacks

SETBACK	MINIMUM
Front Yard	25'
Side Street	15'
Side Yard	5'
Rear Yard	5'

Table 4.18 T-2.5 Accessory Structure Setbacks



Reference Table 4.16 (I.C, I.D, and I.E), and Table 4.17 (II.1, II.2, II.3, and II.4)

III. Encroachments

- a. Allowed Encroachments in required setbacks shall be limited to those shown in Table 4.19. F.Y = Front Yard, S.S = Side Street, R.Y = Rear Yard, and S.Y = Side Yard

ENCROACHMENT TYPE	HORIZONTAL ENCROACHMENT DISTANCE BY SETBACK			
	F.Y	S.S	R.Y	S.Y
Porch	5 feet min, 8 feet max			0 feet
Stoop	8 feet max			
Balcony	3 feet max			
Bay Window	2 feet max			
Cantilevered Room	2 feet max			
Eave	2 feet max			

Table 4.19 Encroachments

4.5.4.6 Code Graphic for T-3 Suburban Zone

T-3 Sub-Urban Zone consists of low density residential areas ranging from 2-5 dwelling units per acre, adjacent to the urban transitional zone. Limited non-residential uses are allowed. Planting is generally structured and setbacks are relatively shallow. Blocks may be large and the roads irregular to accommodate natural conditions. Housing types in this zone are typically single family detached homes with some single family attached product. Typical building height is up to three (3) stories. Use of clustering and other similar techniques are required to create a more compact, walkable and sustainable sub-urban development pattern.



I. Building Form and Use

A. BUILDING FORM	Small Scale Residential, Flexible
B. PROPERTY USE	Residential, Flexible (Reference Table 4.2)
C. LOT WIDTH	16' min, 100' max (Reference Building Types Section 4.8)
D. IMPERVIOUS SURFACE RATIO	55%
E. FRONTAGE BUILDOUT	50%
F. BUILDING PLACEMENT	Edgeyard, Sideyard, Rear Yard (Table 4.6)
G. PRIVATE FRONTAGES	Common Yard, Porch/Stoop, Terrace (Table 4.5)
H. PRIMARY BUILDING HEIGHT	3 stories/36 feet (Table 4.7)
I. ACCESSORY BUILDING HEIGHT (RESIDENTIAL)	2 stories/25 feet
J. DENSITY	Minimum 2 units per acre, maximum 5 units per acre

Table 4.20 T-3 Development Requirements

II. Building Placement and Form

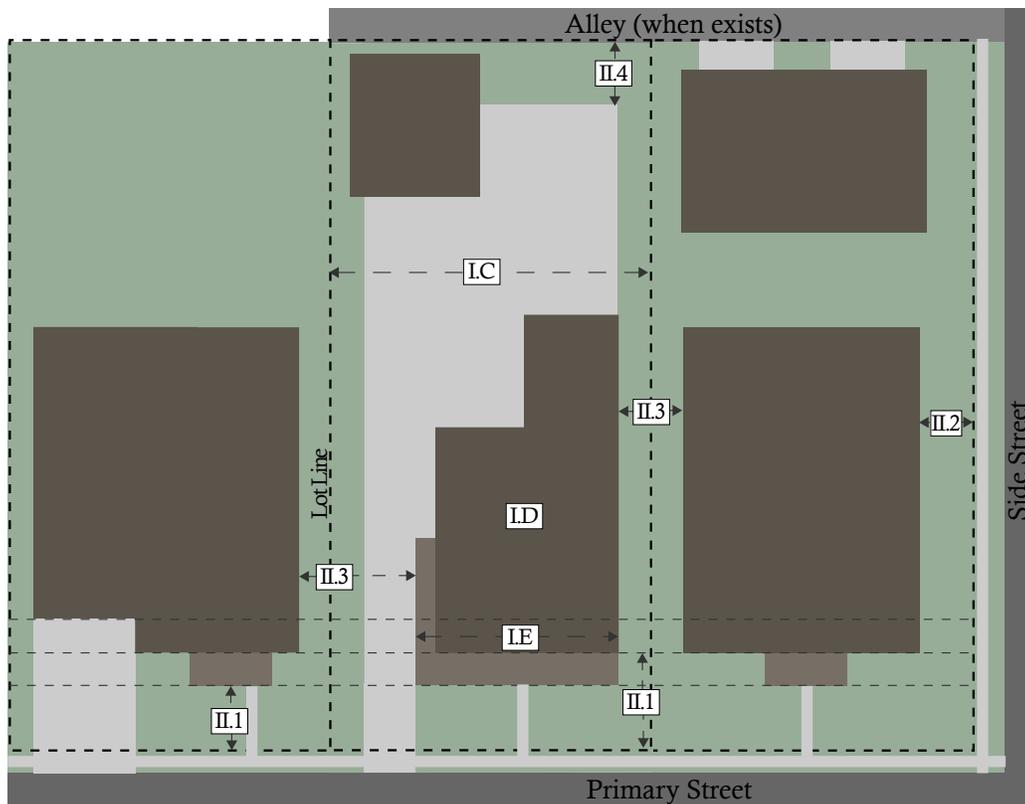
- a. Primary Buildings shall be located in compliance with the setback requirements for primary structures, listed in Table 4.21.
- b. Street facing facades shall be built parallel to the right-of-way.
- c. Accessory structures shall be located in compliance with the setbacks listed in Table 4.22.
- d. All attached garages shall be recessed at least five (5) feet from the front facade of the house.
- e. Porches shall have a minimum depth of six (6) feet.
- f. Detached garages are encouraged.
- g. Where an alley exists, rear yard setbacks shall be used as opposed to side street for accessory structures.

SETBACK	MINIMUM	MAXIMUM
1. Front Yard	15' (primary structure) 20' (attached garage)	20' maximum (primary structure)
2. Side Street	10'	-
3. Side Yard	5'	-
4. Rear Yard	10'	-

Table 4.21 T-3 Primary Setbacks

SETBACK	MINIMUM
Front Yard	50% of lot depth
Side Street	12'
Side Yard	5'
Rear Yard	5'

Table 4.22 T-3 Accessory Setbacks



Reference Table 4.20 (I.C, I.D, and I.E), and Table 4.21 (II.1, II.2, II.3, and II.4)

III. Encroachments

- a. Allowed Encroachments in required setbacks shall be limited to those shown in Table 4.23. F.Y = Front Yard, S.S = Side Street, R.Y = Rear Yard, and S.Y = Side Yard

ENCROACHMENT TYPE	HORIZONTAL ENCROACHMENT DISTANCE BY SETBACK			
	F.Y	S.S	R.Y	S.Y
Porch	5 feet min, 8 feet max			0 feet
Balcony	3 feet max			
Bay Window	2 feet max			
Cantilevered Room	2 feet max			
Eave	2 feet max			

Table 4.23 T-3 Encroachments

4.5.4.7 Code Graphic for T-3.5 Urban Transitional Zone

T-3.5 Urban Transitional Zone consists of medium density residential areas ranging from 5-10 dwelling units per acre, and a mixture of uses, adjacent to the urban edge. Blocks are generally medium sized to allow for a mixture of residential single family attached/detached product (limited detached product) and multi-family. More robust non-residential uses are allowed in this zone than compared to T-3. Typical building height is up to three (3) stories. Development in this transect shall be compact and walkable with retail, service, and civic uses/facilities necessary to support day-to-day life of residents without predominant use of the automobile.



I. Building Form and Use

A. BUILDING FORM	Medium Scale Residential, Limited Non-Residential
B. PROPERTY USE	Residential, Flexible (Reference Table 4.2)
C. LOT WIDTH	16' min, 150' max (Reference Building Types Section 4.8)
D. IMPERVIOUS SURFACE RATIO	75%
E. FRONTAGE BUILDOUT	60% minimum
F. BUILDING PLACEMENT	Edgeward, Sideyard, Rear Yard, Courtyard (Table 4.6)
G. PRIVATE FRONTAGES	Common Yard, Porch/Stoop, Terrace (Table 4.5)
H. PRIMARY BUILDING HEIGHT	3 stories (Table 4.7)
I. ACCESSORY BUILDING HEIGHT (RESIDENTIAL)	2 stories/25 feet
J. DENSITY	5 units per acre min, 10 units per acre max

Table 4.24 T-3.5 Development Requirements

II. Building Placement and Form

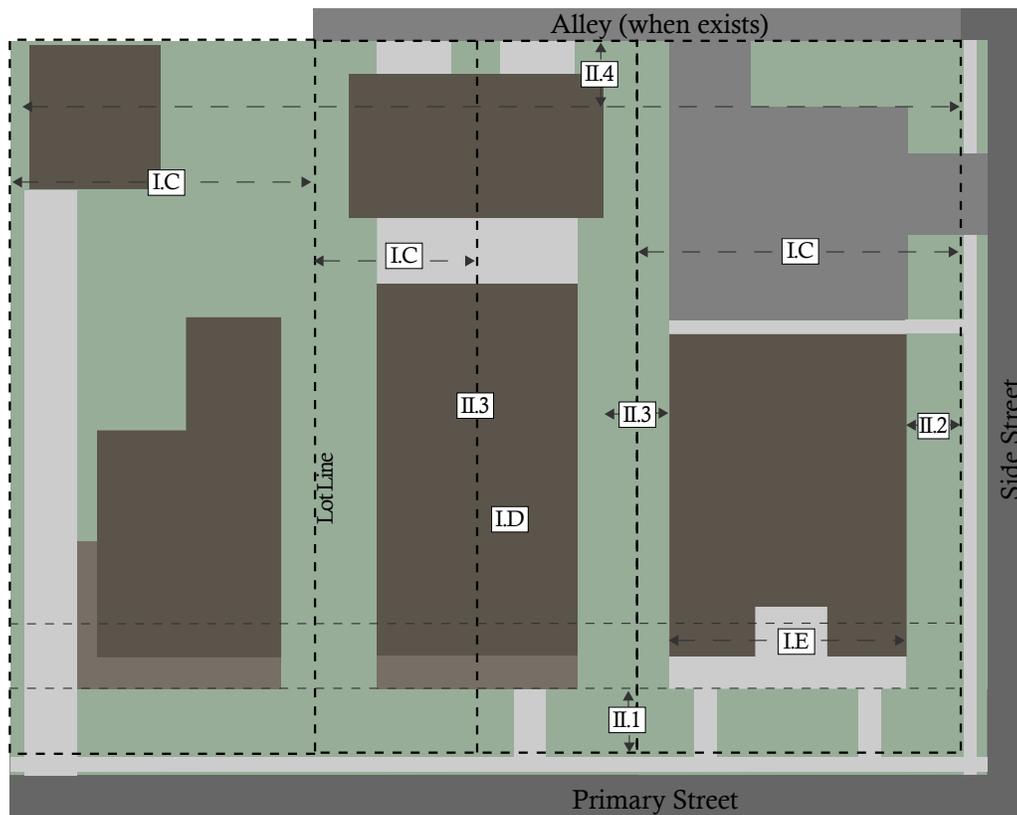
- a. Primary Buildings shall be located in compliance with the setback requirements for primary structures, listed in Table 4.25.
- b. Street facing facades shall be built parallel to the right-of-way and shall be the primary facade.
- c. Accessory structures shall be located in compliance with the setbacks listed in Table 4.26.
- d. No on-site parking shall be located between a primary building and the primary street property lines of a lot/building site.
- e. On-site parking, including a garage, shall ONLY be accessed from a rearage road or alley, or shall have a detached garage meeting the minimum setback requirement defined in Table 4.26 which is accessed by a driveway not more than 10' in width.
- f. The maximum lot width for a single family detached lot is 40'.
- g. Where an alley exists, rear yard setbacks shall be used as opposed to side street for accessory structures.

SETBACK	MINIMUM	MAXIMUM
1. Front Yard	10'	15'
2. Side Street	10'	12'
3. Side Yard	0' (attached), 5' (detached)	-
4. Rear Yard	10'	-

Table 4.25 T-3.5 Primary Structure Setbacks

SETBACK	MINIMUM
Front Yard	50% of lot depth
Side Street	12'
Side Yard	3'
Rear Yard	3'

Table 4.26 T-3.5 Accessory Structure Setbacks



Reference Table 4.24 (I.C, I.D, and I.E), and Table 4.25 (II.1, II.2, II.3, and II.4)

III. Encroachments

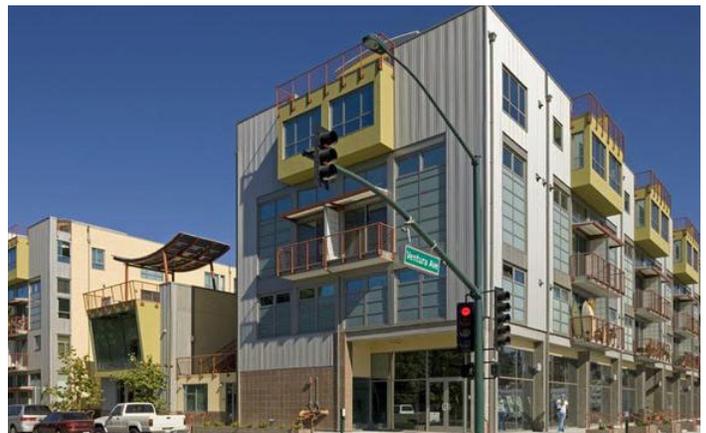
- a. Allowed Encroachments in required setbacks shall be limited to those shown in Table 4.27. F.Y = Front Yard, S.S = Side Street, R.Y = Rear Yard, and S.Y = Side Yard

ENCROACHMENT TYPE	HORIZONTAL ENCROACHMENT DISTANCE BY SETBACK			
	F.Y,	S.S	R.Y	S.Y
Porch	8 feet max			0 feet
Stoop	3 feet max			
Balcony	2 feet max			
Bay Window	2 feet max			
Cantilevered Room	2 feet max			
Eave	2 feet max			

Table 4.27 T-3.5 Encroachments

4.5.4.8 Code Graphic for T-4 Urban Edge/Urban General Zone

T-4 Urban Edge/Urban General Zone is intended to be a compact mixed use zone arranged, primarily, as residential urban fabric. Density is 8-15 units per acre. It may have a wide range of building types and a mixture of uses is required. Setbacks and landscaping are variable. Streets with curbs and sidewalks define medium-sized blocks. Typical building height is up to 4 (four) stories. This transect is the prototypical compact mixed use village center providing for everything necessary to support communal and day-to-day life within walking distance. The development pattern and program shall be as such to support the intent. This is not a residential zone.



I. Building Form and Use

A. BUILDING FORM	Medium Scale Residential, Non-Residential, Mixed-Use
B. PROPERTY USE	Residential, Non-Residential, Flexible (Reference Table 4.2)
C. LOT WIDTH	16' min, no max (Reference Building Types Section 4.8)
D. IMPERVIOUS SURFACE RATIO	85%
E. FRONTAGE BUILDOUT	80% minimum
F. BUILDING PLACEMENT	Edgeyard, Sideyard, Rear Yard, Courtyard (Table 4.6)
G. PRIVATE FRONTAGES	Common Yard, Porch/Stoop, Terrace, Shopfront (Table 4.5)
H. PRIMARY BUILDING HEIGHT	4 stories (Table 4.7)
I. ACCESSORY BUILDING HEIGHT (RESIDENTIAL)	2 stories/25 feet
J. DENSITY	8 units per acre min, 15 units per acre max

Table 4.28 T-4 Development Requirements

II. Building Setbacks

- a. Primary Buildings shall be located in compliance with the setback requirements for primary structures, listed in Table 4.29.
- b. Street-facing facades shall be built parallel to the right-of-way, and shall be primary facades.
- c. Accessory structures shall be located in compliance with the setbacks listed in Table 4.25
- d. No on-site parking shall be located between buildings and the primary or side street property lines.

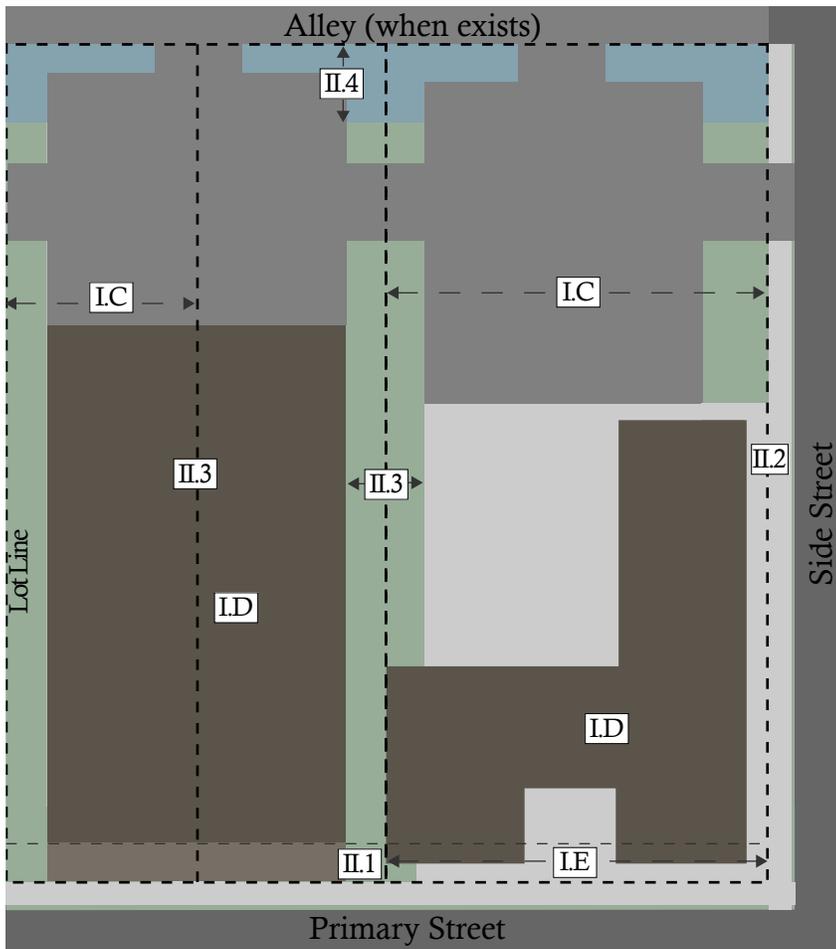
SETBACK	MINIMUM	MAXIMUM
1. Front Yard	0'	12'
2. Side Street	6'	12'
3. Side Yard	5'	-
4. Rear Yard	10'	-

Table 4.29 T-4 Primary Structure Setbacks

SETBACK	MINIMUM
Front Yard	50% of lot depth
Side Street	0.5'
Side Yard	0.5'
Rear Yard	0.5'

Table 4.30 T-4 Accessory Structure Setbacks

Reference Table 4.28 (I.C, I.D, and I.E), and Table 4.29 (II.1, II.2, II.3, and II.4)



III. Encroachments

- a. Allowed Encroachments in required setbacks and/or right-of-way shall be limited to those shown in Table 4.31. F.Y = Front Yard, S.S = Side Street, R.Y = Rear Yard, and S.Y = Side Yard

ENCROACHMENT TYPE	HORIZONTAL ENCROACHMENT DISTANCE IN ROW/SETBACK			
	F.Y	S.S	R.Y	S.Y
Arcade/Gallery	5 feet min, 8 feet max			0 feet
Stoop				
Balcony	3 feet max			
Bay Window	25% clear of the sidewalk width			
Eave	2 feet max			
Awning	min. 2 feet clear of curb		0 feet	0 feet

Table 4.31 T-4 Encroachments

4.5.4.9 Code Graphic for T-4.5 Urban Corridor Zone

T-4.5 Urban Corridor Zone consists of a mixture of uses but can be primarily non-residential or multi-family. Densities and intensities vary. While generally arranged to accommodate vehicular traffic, application of high quality urban form and walkability is integral as this transect serves as the connective tissue between individual urban nodes. Residential density varies from 0-18 units an acre. It may have a wide range of building types. Streets with curbs and sidewalks define medium-sized to large blocks. Building heights can reach up to 6 (six) stories and shall define the street edge. The first floor of all buildings shall engage the public realm in a meaningful way.



I. Building Form and Use

A. BUILDING FORM	Large Scale Residential, Non-Residential, Mixed-Use
B. PROPERTY USE	Residential, Non-Residential, Flexible (Reference Table 4.2)
C. LOT WIDTH	16' min, no max (Reference Building Types Section 4.8)
D. IMPERVIOUS SURFACE RATIO	85%
E. FRONTAGE BUILDOUT	80% minimum
F. BUILDING PLACEMENT	Edgeward, Sideyard, Rear Yard, Courtyard (Table 4.6)
G. PRIVATE FRONTAGES	Common Yard, Porch/Stoop, Terrace, Shopfront (Table 4.5)
H. PRIMARY BUILDING HEIGHT	6 stories (Table 4.7)
I. ACCESSORY BUILDING HEIGHT (RESIDENTIAL)	2 stories/25 feet
J. DENSITY	0 units per acre min, 18 units per acre max

Table 4.32 T-4.5 Development Requirements

II. Building Placement and Form

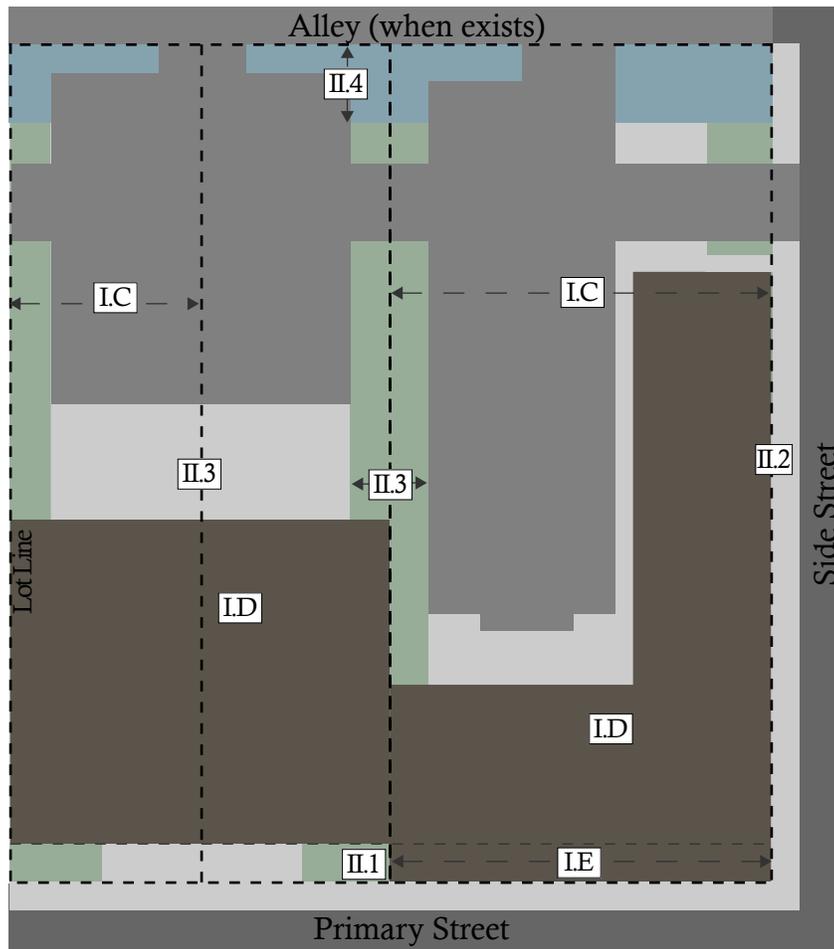
- a. Primary Buildings shall be located in compliance with the setback requirements for primary structures, listed in Table 4.33.
- b. Street facing facades shall be built parallel to the right-of-way
- c. Accessory structures shall be located in compliance with the setbacks listed in Table 4.34.
- d. No on-site parking shall be located between buildings and the primary or side street property lines.

SETBACK	MINIMUM	MAXIMUM
1. Front Yard	0'	10'
2. Side Street	0'	12'
3. Side Yard	5'	-
4. Rear Yard	10'	-

Table 4.33 T-4.5 Primary Structure Setbacks

SETBACK	MINIMUM
Front Yard	50% of lot depth
Side Street	0.5'
Side Yard	0.5'
Rear Yard	0.5'

Table 4.34 T-4.5 Accessory Structure Setbacks



Reference Table 4.32 (I.C, I.D, and I.E), and Table 4.33 (II.1, II.2, II.3, and II.4)

III. Encroachments

- a. Allowed Encroachments in required setbacks and/or right-of-way shall be limited to that those shown in Table 4.35. F.Y = Front Yard, S.S = Side Street, R.Y = Rear Yard, and S.Y = Side Yard

ENCROACHMENT TYPE	HORIZONTAL ENCROACHMENT DISTANCE IN ROW/SETBACK			
	F.Y.	S.S	R.Y	S.Y
Arcade/Gallery	5 feet min, 8 feet max			0 feet
Stoop	8 feet max			
Balcony	3 feet max			
Bay Window	25% clear of the sidewalk width			
Eave	2 feet max			
Awning	min. 2 feet clear of curb	0 feet	0 feet	0 feet

Table 4.35 T-3 Accessory Structure Setbacks

4.5.4.10 Code Graphic for T-5 Urban Center Zone

T-5 Urban Center Zone consists of higher density mixed use buildings that accommodate retail, office, and residential uses. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to the sidewalks. It has shallow to no setbacks, and building heights can reach six (6) stories. Densities range from 10-25 units per acre. The first floor of all buildings shall engage the public realm in a meaningful way.



I. Building Form and Use

A. BUILDING FORM	Large Scale Residential, Non-Residential, Mixed-Use
B. PROPERTY USE	Residential, Non-Residential, Flexible (Reference Table 4.2)
C. LOT WIDTH	16' min, 100' max (Reference Building Types Section 4.8)
D. IMPERVIOUS SURFACE RATIO	90%
E. FRONTAGE BUILDOUT	90%
F. BUILDING PLACEMENT	Edgeyard, Sideyard, Rear Yard, Courtyard (Table 4.6)
G. PRIVATE FRONTAGES	Common Yard, Porch/Stoop, Terrace, Shopfront (Table 4.5)
H. PRIMARY BUILDING HEIGHT	6 stories (Table 4.7)
I. ACCESSORY BUILDING HEIGHT (RESIDENTIAL)	2 stories/25 feet
J. DENSITY	10 units per acre min, 25 units per acre max

Table 4.36 T-5 Development Requirements

II. Building Placement and Form

- a. Primary Buildings shall be located in compliance with the setback requirements for primary structures, listed in Table 4.37.
- b. Street facing facades shall be built parallel to the right-of-way. The street facing facade shall be the main facade.
- c. No on-site parking shall be located between buildings and the primary or side street property line.
- d. Accessory structures shall be located in compliance with the setbacks listed in Table 4.38.

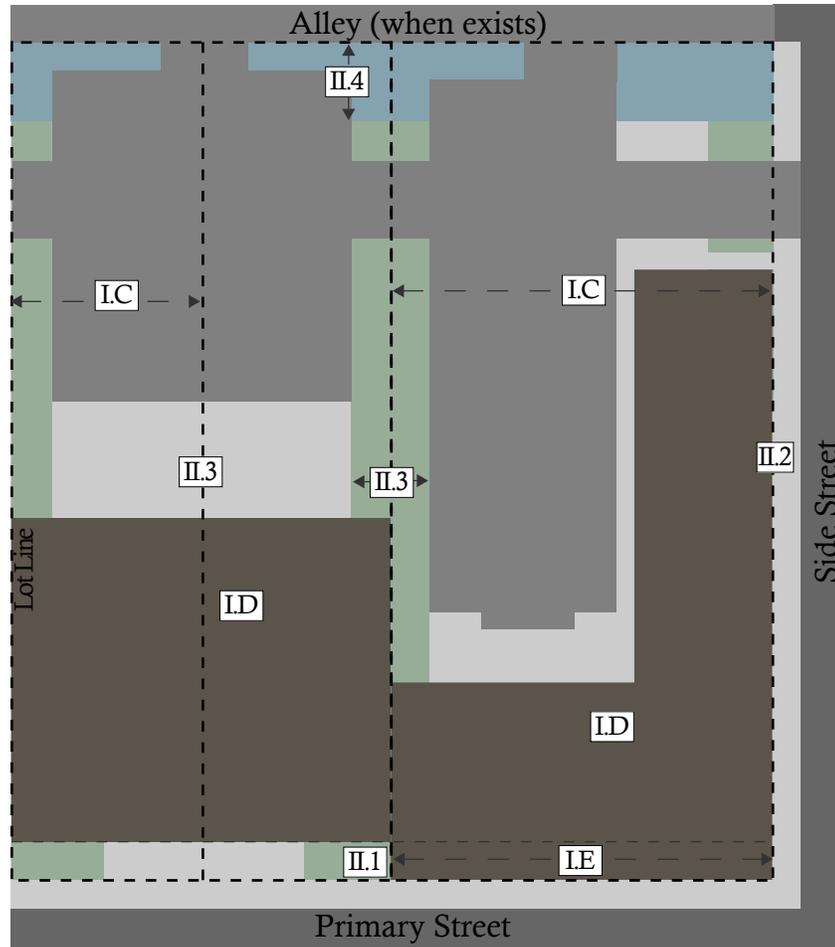
SETBACK	MINIMUM	MAXIMUM
1. Front Yard	0'	10'
2. Side Street	0'	10'
3. Side Yard	-	-
4. Rear Yard	10'	-

Table 4.37 T-5 Primary Structure Setbacks

III. Development Requirements

SETBACK	MINIMUM
Front Yard	50% of lot depth
Side Street	0.5'
Side Yard	0.5'
Rear Yard	0.5'

Table 4.38 T-5 Accessory Structure Setbacks



Reference Table 4.36 (I.C, I.D, and I.E), and Table 4.37 (II.1, II.2, II.3, and II.4)

IV. Encroachments

- a. Allowed Encroachments in required right-of-way and/or setbacks shall be limited to that those shown in Table 4.39. F.Y = Front Yard, S.S = Side Street, R.Y = Rear Yard, and S.Y = Side Yard

ENCROACHMENT TYPE	HORIZONTAL ENCROACHMENT DISTANCE BY ROW/SETBACK			
	F.Y.	S.S	R.Y	S.Y
Arcade/Gallery	5 feet min, 8 feet max			0 feet
Stoop				
Balcony	3 feet max			
Bay Window	25% clear of the sidewalk width			
Eave	2 feet max			
Awning	min. 2 feet clear of curb		0 feet	0 feet

Table 4.39 T-5 Encroachments