

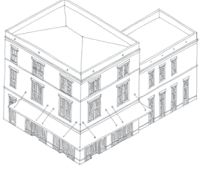

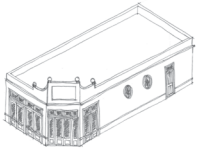
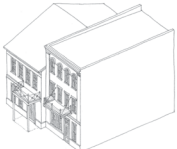

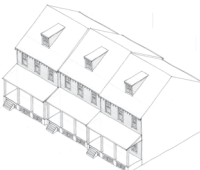
Section 4.8 Building Types Compatibility

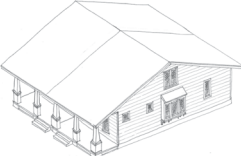


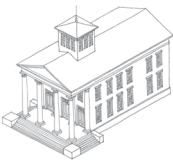
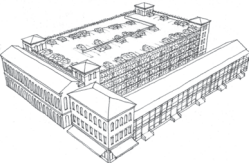
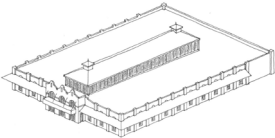
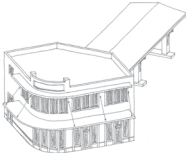
4.8.1 Introduction

The design standards for building types are applicable for all development within a transect. Pictures represented with the building types are examples of type only and not intended to represent architectural categories and styles in the WBD.

Civic buildings, and the Classical Civic Architectural style will be limited to buildings located in the Civic Center.

4.8.2 Building Types

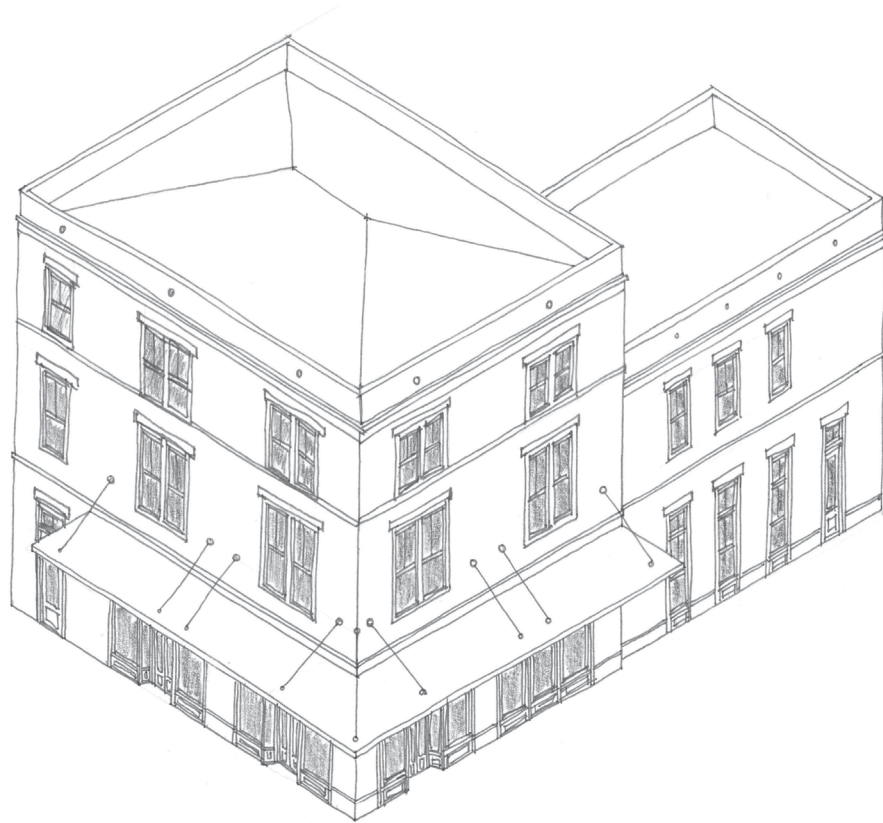
BUILDING TYPES		T-1.5	T-2	T-2.5	T-3	T-3.5	T-4	T-4.5	T-5
	Main Street Building	-	-	-	P	P	P	P	P
	Pedestal Building	-	-	-	-	P	P	P	P
	Corner Store	-	-	-	P	P	P	P	P
	Live-Work Unit	-	-	-	P	P	P	P	P
	Multi-family Units more than 4	-	-	-	-	P	P	P	P
	Single Family Attached (Townhouse/Rowhouse)	-	-	-	P	P	P	P	P

BUILDING TYPES		T-1.5	T-2	T-2.5	T-3	T-3.5	T-4	T-4.5	T-5
	Multi-family 4 or Less Units (Duplex, Triplex, Quadplex)	-	-	-	P	P	P	P	P
	Single Family Detached House	P	P	P	P	P	-	-	-
	Accessory Dwelling Unit	P	P	P	P	P	P	P	P
	Civic Building	-	-	-	P	P	P	P	P
	Liner Building	-	-	-	-	P	P	P	P
	Large Footprint Building	-	-	-	-	-	P	P	P
	Gas Station/Drive Through Facilities	-	-	-	-	P*	P*	P*	P*

* See the uses table to determine what drive-through facilities are allowed in each transect.

4.8.2.1 Main Street Building

- a. General Description: A building type that is mixed-use in nature and features shopfronts along the sidewalk at the street level, with office or residential spaces in the upper floors.
- b. Typical Height: 2 - 4 stories
- c. Typical Uses: retail or office at street level, office or residential in upper levels
- d. Appropriate Architectural Styles: Historic Mercantile, Nassau Vernacular, Classical Civic, Vintage Florida Railroad, Mid-Century Florida
- e. Required Features:
 - i. Shopfronts are required along the sidewalk.
 - ii. Parking shall be located in the rear of the building, out of view from adjacent streets.



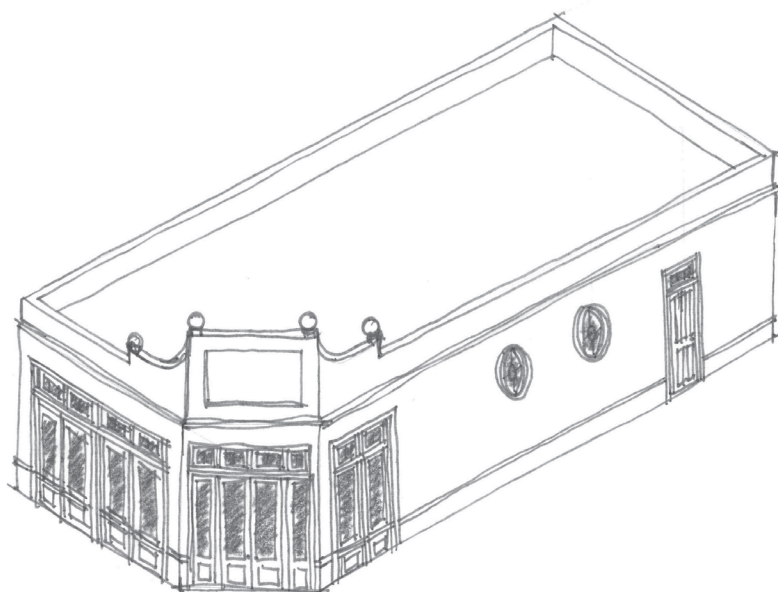
4.8.2.2 Pedestal Building

- a. General Description: A building type that is mixed-use in nature and features shopfronts along the sidewalk at the street level, with office or residential spaces in the upper floors. Upper floors are set back from the primary frontage.
- b. Typical Height: 4 - 6 stories
- c. Typical Uses: retail or office at street level, office or residential in upper levels
- d. Appropriate Architectural Styles: Historic Mercantile, Nassau Vernacular, Classical Civic, Vintage Florida Railroad, Mid-Century Florida
- e. Required Features:
 - i. Shopfronts are required along the sidewalk.
 - ii. Parking shall be located in the rear of the building, out of view from adjacent streets.



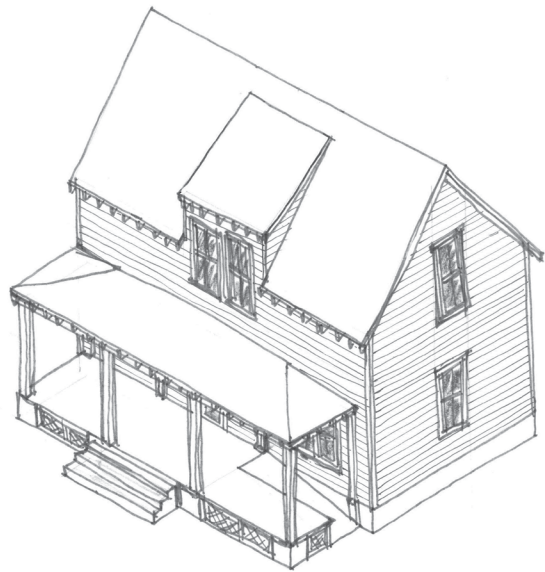
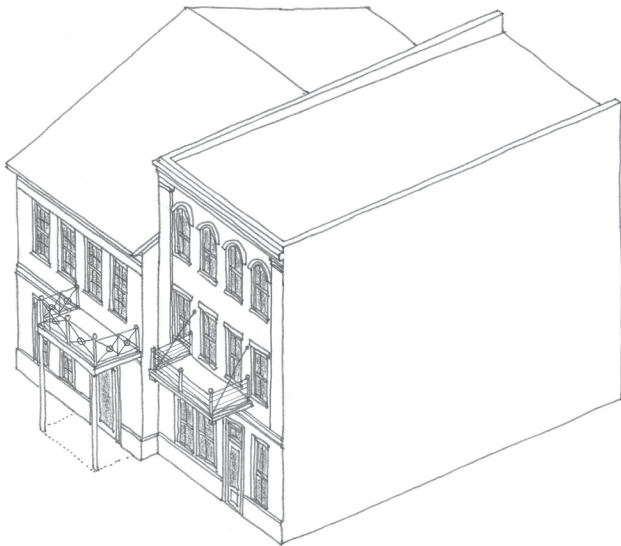
4.8.2.3 Corner Store

- a. General Description: A small retail building which sits on a corner building lot with shopfronts along the sidewalk at the street level. If more than one story, this building type may be mixed-use with either a residence or office space on the upper floor.
- b. Typical Height: 1 - 2 stories
- c. Typical Uses: retail at street level; office or residential in upper levels
- d. Appropriate Architectural Styles: Historic Mercantile, Nassau Vernacular, Classical Civic, Vintage Florida Railroad, Mid-Century Florida
- e. Required Features:
 - i. Shopfronts are required at the corner and along at least one adjacent street frontage.
 - ii. Parking shall be located in the rear of the building, out of view from adjacent streets.



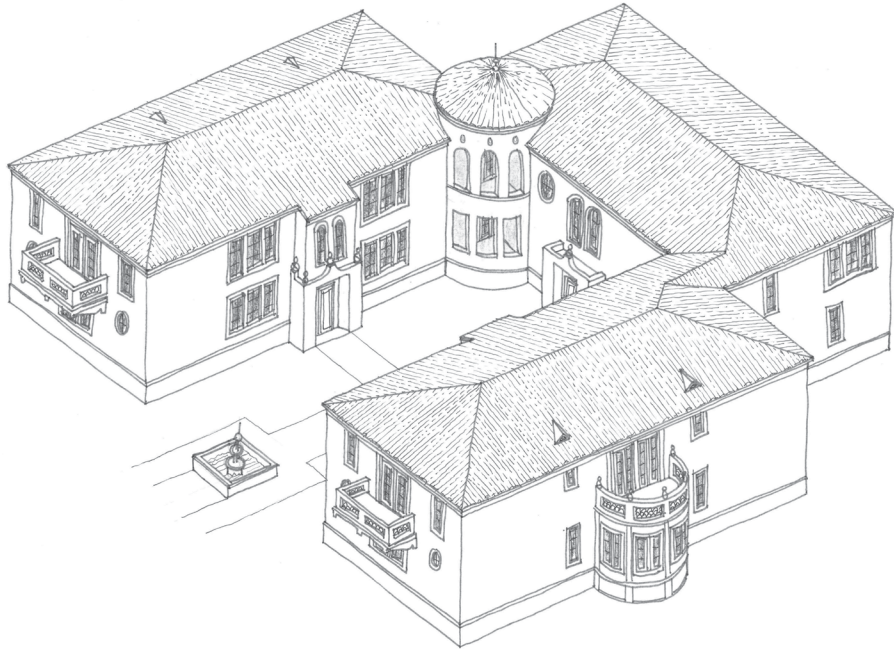
4.8.2.4 Live-Work Unit (Townhouse or Single Family Detached)

- a. General Description: An attached building type which provides flexible space at the street level for retail or office, with a complete living unit above. Each Live-Work Townhouse sits on a single building lot.
- b. Typical Height: 2 - 3 stories
- c. Typical Uses: flexible retail and/or office space at street level; residential in upper levels
- d. Appropriate Architectural Styles: Nassau Vernacular, Vintage Florida Railroad, Mid-Century Florida



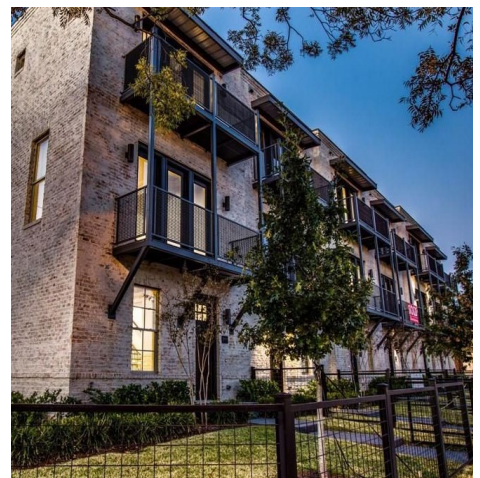
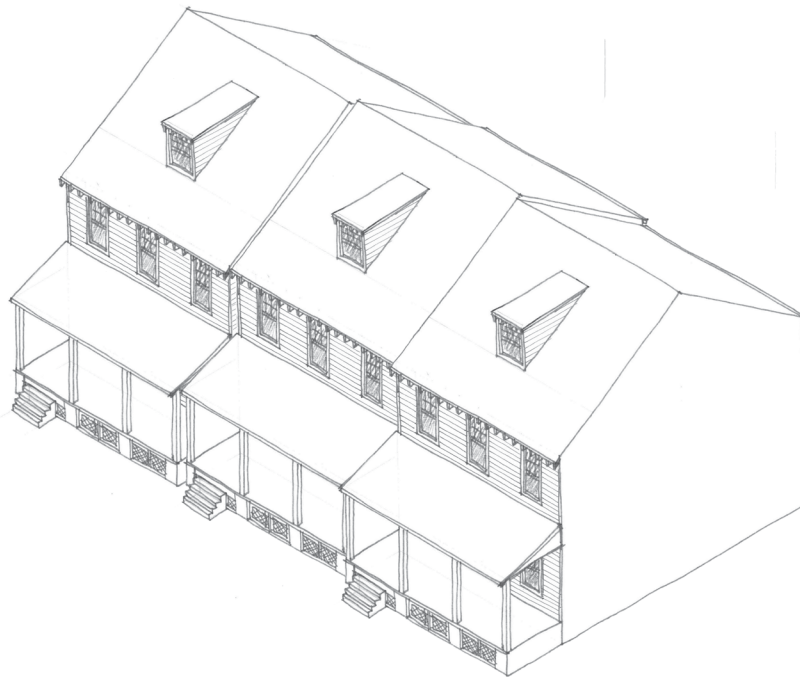
4.8.2.5 Multi-family Units Greater than 4

- a. General Description: Apartment building. These apartment buildings can be standard with the primary frontage on a road, or a courtyard style which wraps around a central common courtyard that opens to the street.
- b. Typical Height: 1 - 6 stories
- c. Typical Uses: residential
- d. Appropriate Architectural Styles: Historic Mercantile, Nassau Vernacular, Classical Civic, Vintage Florida Railroad, Mid-Century Florida
- e. It is encouraged to have centralized parking (See Liner Building)



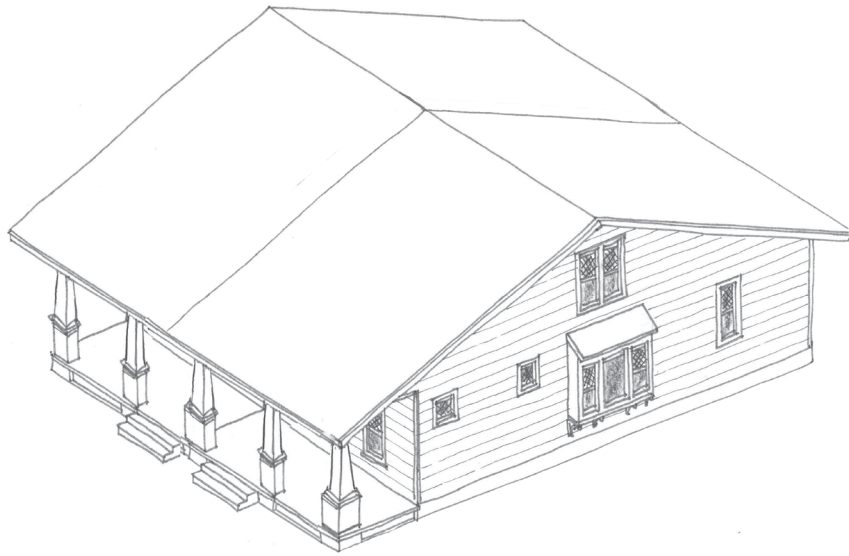
4.8.2.6 Single Family Attached (Townhome/Rowhouse)

- a. General Description: A single family attached residence which occupies a single building lot.
- b. Typical Height: 1 - 3 stories
- c. Typical Lot Frontage Width: 14 feet - 25 feet
- d. Minimum Lot Size: 1,200 sqft (interior), 1,800 (exterior)
- e. Typical Uses: residential
- f. Appropriate Architectural Styles: Nassau Vernacular, Vintage Florida Railroad, Mid-Century Florida
- g. Required Features:
 - i. The main pedestrian entrance to each unit shall be access directly from a frontage type that faces the primary street.
 - ii. Buildings on corner lots are encouraged to provide an appropriate frontage type on both the front street and side street facades. Wrap-around types are permitted.



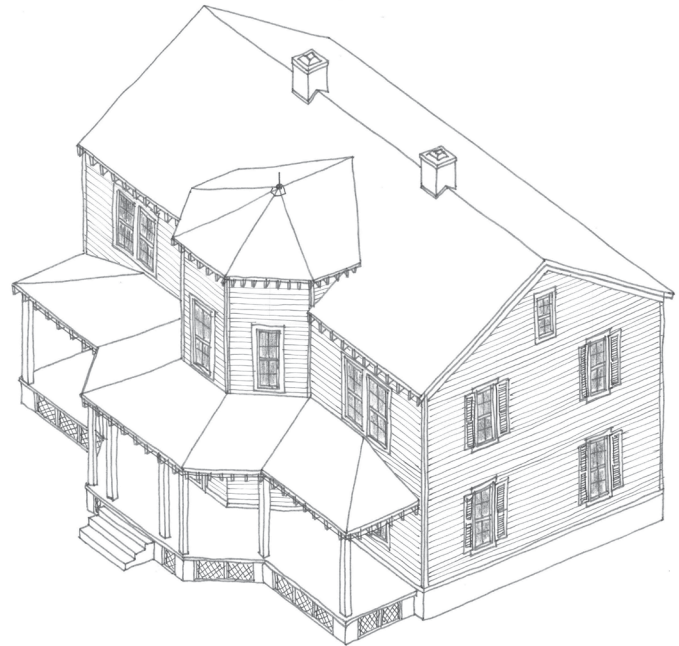
4.8.2.7 Multi-family 4 or less (Duplex, Triplex, Quadplex)

- a. General Description: Two to four single family semi-detached dwelling units which occupy a single building lot.
- b. Typical Height: 1 - 3 stories
- c. Typical Uses: residential
- d. Minimum Lot Size: 1,200 sqft (interior), 1,800 (exterior)
- e. Appropriate Architectural Styles: Historic Mercantile, Nassau Vernacular, Classical Civic, Vintage Florida Railroad, Mid-Century Florida



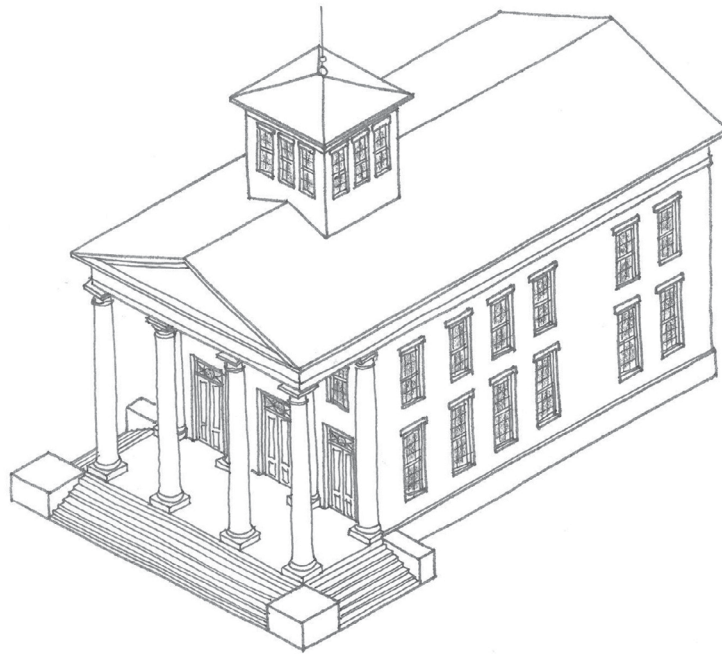
4.8.2.8 Single Family Detached and Accessory Dwelling Units

- a. General Description: A single family detached residence which occupies a single building lot.
- b. Typical Height: 1 - 3 stories
- c. Typical Lot Frontage Width: 40 feet - 100 feet
- d. Minimum Lot Size: 4,000 sqft
- e. Typical Uses: residential
- f. Appropriate Architectural Styles: Nassau Vernacular, Vintage Florida Railroad, Mid-Century Florida
- g. The main pedestrian entrance to each unit shall be access directly from a frontage type that faces the primary street.
- h. Buildings on corner lots are encouraged to provide an appropriate frontage type on both the front street and side street facades. Wrap-around types are permitted.
- i. Parking and service standards:
 - i. Required parking may be accommodated on the surface, in a carport, or in a garage.
 - ii. Garages that face the primary frontage shall be set back at least 5 feet from the front face of the primary structure.
- j. Accessory Dwelling Unit:
 - i. General Description: A subordinate living unit detached from a single family dwelling that provides basic requirements for independent living. An Accessory Dwelling Unit may be a stand-alone structure, or located above a garage or workshop behind the primary residence.
 - ii. Typical Height: 1 - 2 stories
 - iii. Typical Lot Frontage Width: n/a
 - iv. Typical Uses: residential
 - v. Appropriate Architectural Styles: Same Architectural Style as Primary Structure
 - vi. Required Features:
 1. Accessory Dwelling Units shall meet the requirements of the Nassau County Land Development Code.



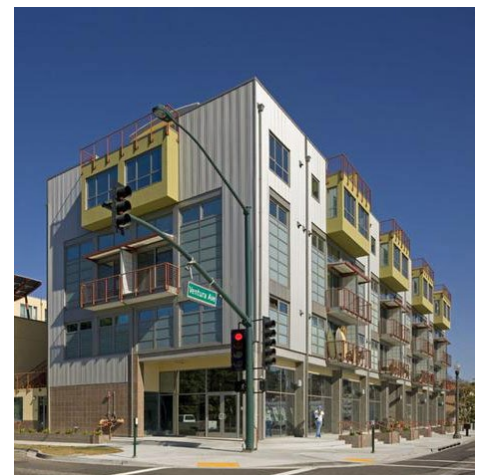
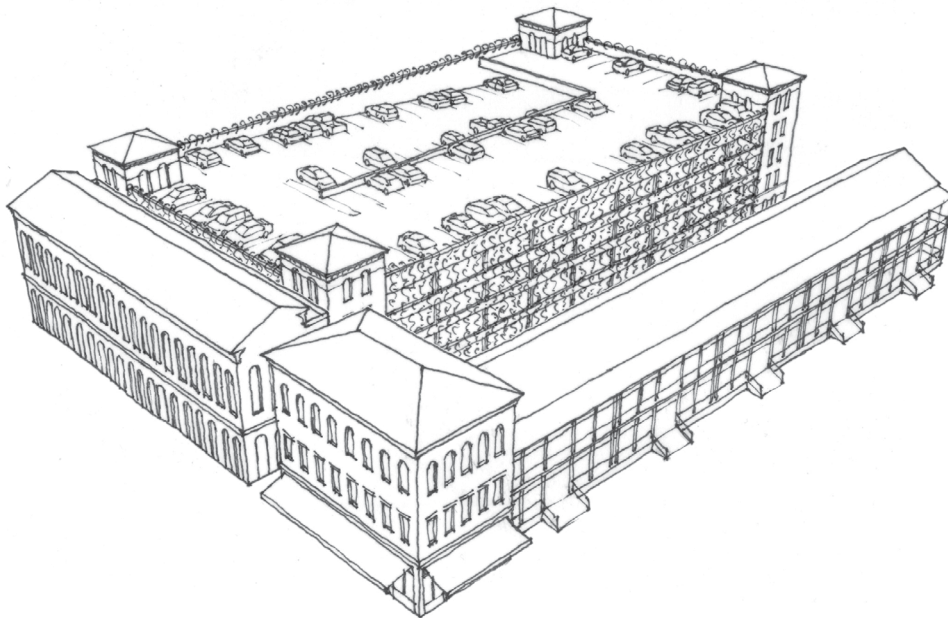
4.8.2.9 Civic Building

- a. General Description: A building type operated for the use of the public, such as a school, municipal building or church.
- b. Typical Height: varies
- c. Typical Lot Frontage Width: varies
- d. Typical Uses: varies
- e. Appropriate Architectural Styles: Classical Civic
- f. Features: Civic Buildings should be sited prominently, such as on a lot that terminates a view, anchoring a public space, or at a corner location.



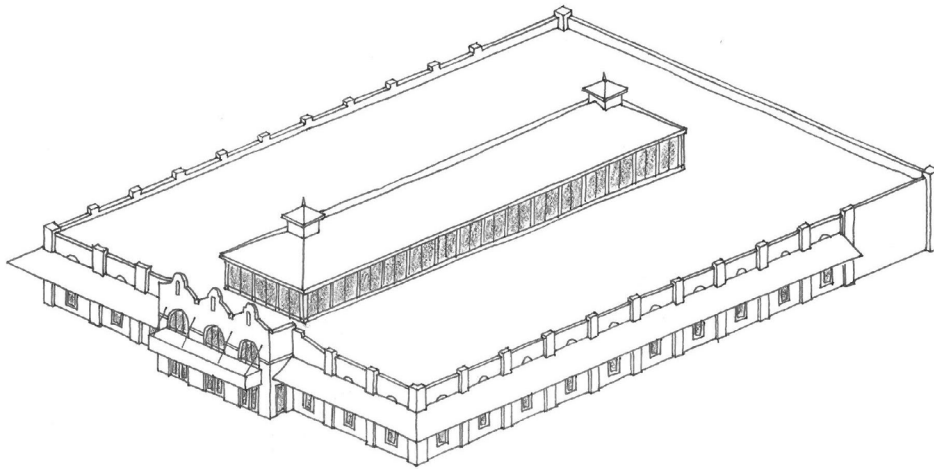
4.8.2.10 Liner Building

- a. General Description: A building specifically designed to mask a parking structure or parking lot from the street, containing habitable space on all levels of a minimum 15 feet in depth. A Liner Building may be mixed-use.
- b. Typical Height: 2 - 6 stories
- c. Typical Uses: retail, office or residential at street level; office or residential in upper levels
- d. Appropriate Architectural Styles: Historic Mercantile, Nassau Vernacular, Classical Civic, Vintage Florida Railroad, Mid-Century Florida
- e. Required Features: Liner buildings shall mask the entire height of the garage if facing the Primary Street. Because parking structure's floor-to-ceiling heights may be shorter than liner building's floor-to-ceiling heights, a liner building may be tall enough to mask a parking structure even if it has fewer stories than the parking structure. If facing a side street then the liner building is required to mask the first two stories of the parking structure, although it is ideal if all stories are masked from view.



4.8.2.11 Large Footprint Building

- a. General Description: A building type that allows a large building envelope devoted to a single use, such as a market. Large Footprint Buildings are required to provide habitable frontages along facades that face streets or public spaces.
- b. Typical Height: 1- 2 stories
- c. Typical Uses: retail, office or light industrial space
- d. Appropriate Architectural Styles: Historic Mercantile, Nassau Vernacular, Vintage Florida Railroad, Mid-Century Florida
- e. Required Features:
 - i. Shopfronts are required along the buildings street frontage.
 - ii. The sidewalks adjacent to shopfronts are encouraged to be covered by either awnings, galleries, arcades, or marquees.
 - iii. Parking shall be located in the rear of the building, out of view from adjacent streets.
 - iv. When a large footprint building is constructed at a corner site, the main entrance should be from the corner or near to the corner, directly visible from public thoroughfares.
 - v. Often a cupola, tower, or other vertical feature contains marks the corner and/or the main entrance. Signs should be integrated with the architecture of the building.



4.8.2.12 Gas Stations and Drive-Through Facilities

- a. General Description: A building type which provides for necessary services without sacrificing the walkability of surrounding street frontages. Gas pumps and drive-throughs are to be located behind or to the side of a building with required shopfronts along the sidewalk at the street level.
- b. Typical Height: 1 - 2 stories
- c. Typical Uses: non-commercial at street level (restaurant, retail, bank, or similar); office in upper level
- d. Appropriate Architectural Styles: Historic Mercantile, Nassau Vernacular, Vintage Florida Railroad, Mid-Century Florida
- e. Required Features:
 - i. Shopfronts are required to be designed at the pedestrian level, and shall front on a public right-of-way.
 - ii. Parking and drive aisles shall be located to the side and rear of the building, out of view from adjacent streets.
 - iii. Where parking and drive aisles are visible from adjacent streets, garden walls or other fencing and vegetation shall be located along the sidewalks.
 - iv. On-site circulation shall be designed to minimize the conflicts between pedestrians and vehicles.

