

CONCOURSE CROSSING PHASE 3

SECTION: 29, 32 TOWNSHIP: 2N RANGE: 28E

NASSAU COUNTY, FLORIDA

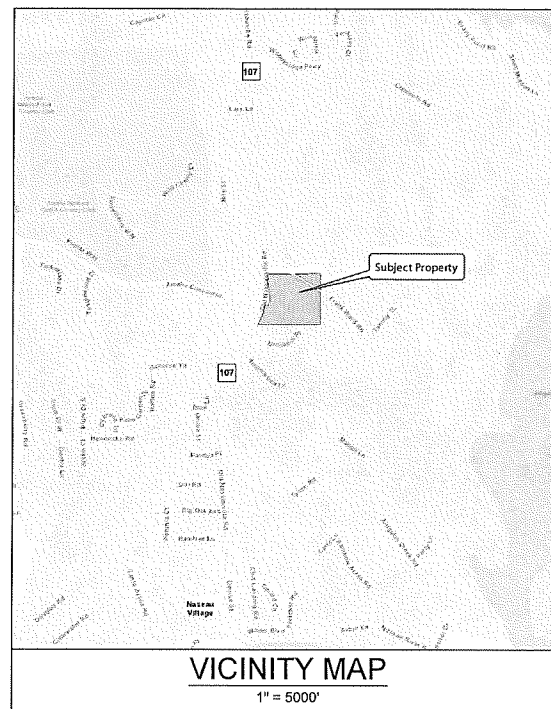
DEVELOPER:
NASSAU I AMELIA, LLC
Mr. Peter Leach, Senior Vice President
5403 West Gray St.
Tampa, FL 33609
(813) 288-6988

ENGINEER/LANDSCAPE ARCHITECT:
Prosser, Inc.
Mr. Michael S. Shaw, PE
Mr. David Couch, RLA
13901 Sutton Park Drive South, Suite 200
Jacksonville, FL 32224-0229
(904) 739-3655

SURVEYOR:
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Mr. Jeff Steinle, VP
3830 Crown Point Road
Jacksonville, FL 32257
(904) 260-3799

ENVIRONMENTAL CONSULTANT:
Environmental Resource Solutions, Inc.
Ms. Jaime Northrup
3550 St. Johns Bluff Road South
Jacksonville, Florida 32224
(904) 285-1397

GEOTECHNICAL ENGINEER:
ECS Florida, LLC
Mr. Joey Broussard, PE
7064 Davis Creek Road
Jacksonville, FL 32256
(904) 880-0960



Sheet List Table	
SHEET NUMBER	SHEET TITLE
C-1.01	Cover Sheet
C-1.02A - C-1.02G	Survey
C-1.03	General Notes
C-2.01	Pre Development Plan
C-2.02	Post Development Plan
C-3.01	Final Development Plan
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C-5.01 - C-5.06	Paving, Grading & Drainage Plan
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C-8.04 - C-8.07	Amelia Concourse Extension Cross Sections
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C-10.01	Amelia Concourse Extension Striping and Signage Plan
C-10.02	Old Nassauville Roadway Improvements Striping Plan
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C-11.06	Maintenance of Traffic Details
C-12.01 - C-12.06	JEA Standard Water and Reclaim Details
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C-12.12	Pump Station Plan and Section
C-12.13	Pump Station Site Plan
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C-13.03	SWPPP General Notes
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L-2.01 - L-2.06	Landscape Plan

[illegible]

ENGINEER OF RECORD:

Name: MICHAEL S. SHAW, P.E. Number: 86567

Signature: _____ Date: _____

NASSAU COUNTY DRC #: SP20-017
JEA AVAILABILITY: 2019-3606
THESE PLANS WERE DESIGNED BASED ON THE
2020 JEA STANDARDS.

NASSAU I AMELIA, LLC

CONCOURSE CROSSING PHASE 3

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Florida Certificate of Authorization
Number: 00004050

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Prepared for:

NASSAU | AMELIA, LLC

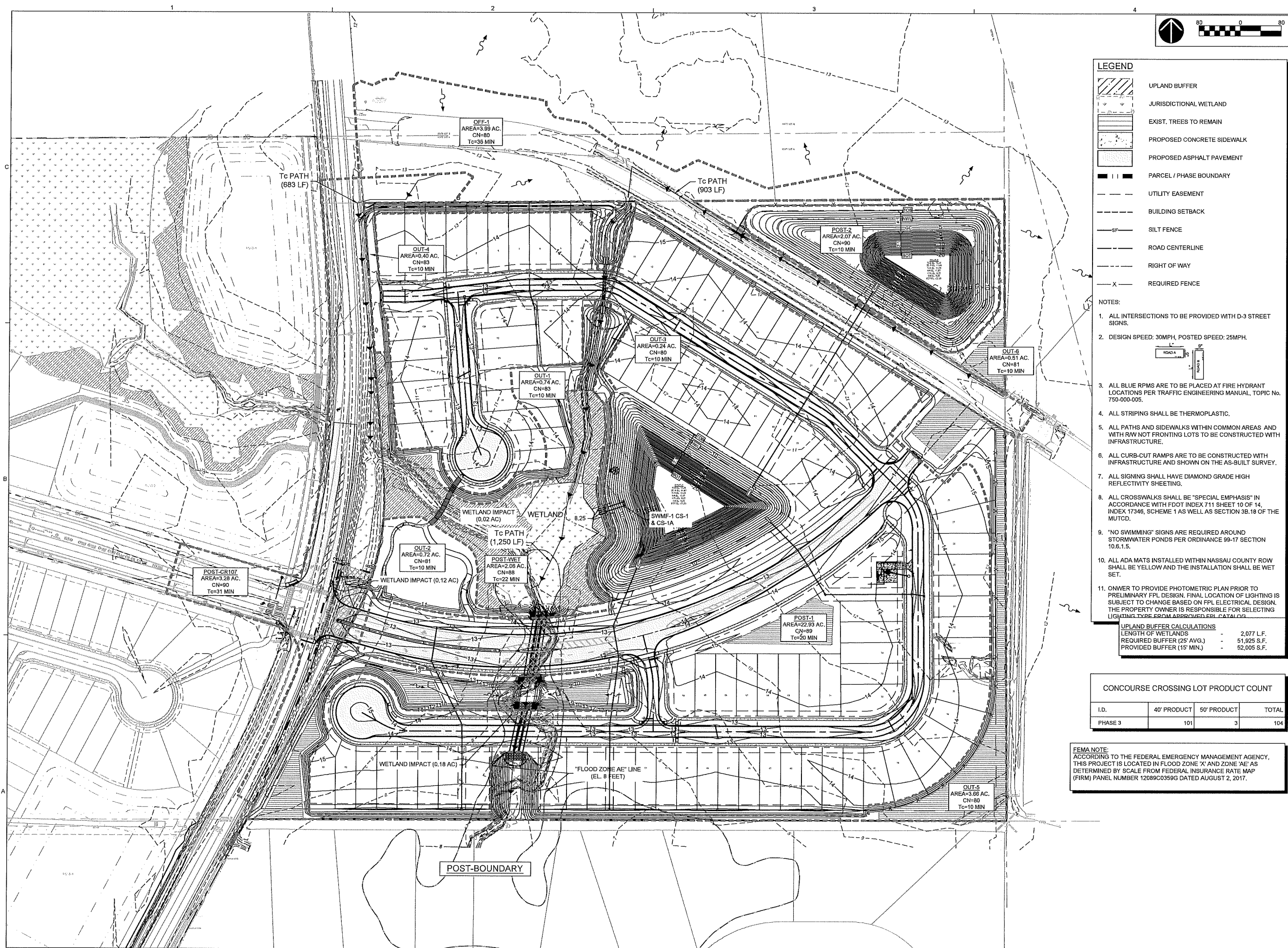
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NASSAU I AMELIA, LLC

CONCOURSE
CROSSING PHASE 3

LEGEND

UPLAND BUFFER

JURISDICTIONAL WETLAND

EXIST. TREES TO REMAIN

PROPOSED CONCRETE SIDEWALK

PROPOSED ASPHALT PAVEMENT

PARCEL / PHASE BOUNDARY

UTILITY EASEMENT

BUILDING SETBACK

SILT FENCE

ROAD CENTERLINE

RIGHT OF WAY

REQUIRED FENCE

NOTES:

1. ALL INTERSECTIONS TO BE PROVIDED WITH D-3 STREET SIGNS.
2. DESIGN SPEED: 30MPH, POSTED SPEED: 25MPH.

3. ALL BLUE RPMs ARE TO BE PLACED AT FIRE HYDRANT LOCATIONS PER TRAFFIC ENGINEERING MANUAL, TOPIC No. 750-000-005.
4. ALL STRIPING SHALL BE THERMOPLASTIC.
5. ALL PATHS AND SIDEWALKS WITHIN COMMON AREAS AND WITH RAW NOT FRONTING LOTS TO BE CONSTRUCTED WITH INFRASTRUCTURE.
6. ALL CURB-CUT RAMPS ARE TO BE CONSTRUCTED WITH INFRASTRUCTURE AND SHOWN ON THE AS-BUILT SURVEY.
7. ALL SIGNING SHALL HAVE DIAMOND GRADE HIGH REFLECTIVITY SHEETING.
8. ALL CROSSWALKS SHALL BE "SPECIAL EMPHASIS" IN ACCORDANCE WITH FOOT INDEX 711 SHEET 10 OF 14, INDEX 17346, SCHEME 1 AS WELL AS SECTION 3B.18 OF THE MUTCD.
9. "NO SWIMMING" SIGNS ARE REQUIRED AROUND STORMWATER PONDS PER ORDINANCE 99-17 SECTION 10.6.1.5.
10. ALL ADA MATS INSTALLED WITHIN NASSAU COUNTY ROW SHALL BE YELLOW AND THE INSTALLATION SHALL BE SET.
11. OWNER TO PROVIDE PHOTOMETRIC PLAN PRIOR TO PRELIMINARY FPL DESIGN. FINAL LOCATION OF LIGHTING IS SUBJECT TO CHANGE BASED ON FPL ELECTRICAL DESIGN. THE PROPERTY OWNER IS RESPONSIBLE FOR SELECTING LIGHTING TYPE FROM APPROVED DEL CATALOG.

UPLAND BUFFER CALCULATIONS	
LENGTH OF WETLANDS	- 2,077 L.F.
REQUIRED BUFFER (25' AVG.)	- 51,925 S.F.
PROVIDED BUFFER (15' MIN.)	- 52,005 S.F.

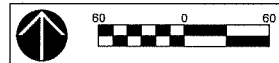
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SHEET TITLE

POST DEVELOPMENT PLAN

THE RELOCATION OF BOTH THE JEA PUMP STATION AND THE STILLPOINT WAY CUL-DE-SAC DOES NOT REQUIRE A PUD MODIFICATION.



SITE DATA	
TOTAL SITE AREA	33.44 AC
DEVELOPMENT AREA	32.19 AC
CONSERVED WETLANDS	0.91 AC
IMPACTED WETLANDS	0.15 AC
PRESERVATION AREA	1.98 AC
OPEN SPACE (INCLUDING PERIMETER BUFFER)	7.40 AC
PARKS/RECREATION PROVIDED	0.60 AC
TOTAL DETACHED SF RESIDENTIAL DWELLING UNITS	104
MAXIMUM BUILDING HEIGHT	35 FEET
MINIMUM LOT AREA	4,000 SF
MINIMUM LOT WIDTH	40 FEET
MAXIMUM IMPERVIOUS SURFACE RATIO	70%
MAXIMUM LOT COVERAGE	65%
MINIMUM YARD REQUIREMENTS	
FRONT YARD	20 FEET
SECOND FRONT (CORNER LOT)	10 FEET
SIDE YARD	5 FEET
REAR YARD	10 FEET

CONCOURSE CROSSING LOT PRODUCT COUNT			
I.D.	40" PRODUCT	50" PRODUCT	TOTAL
PHASE 3	101	3	104

UPLAND BUFFER CALCULATIONS	
LENGTH OF WETLANDS	- 1,970 L.F.
REQUIRED BUFFER (25' AVG.)	- 49,250 S.F.
PROVIDED BUFFER (15' MIN.)	- 49,320 S.F.

20' LANDSCAPE
BUFFER
W/ 6' WOOD FENCE

FEMA NOTE:
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY,
THIS PROJECT IS LOCATED IN FLOOD ZONE 'X' AS DETERMINED BY
SCALE FROM FEDERAL INSURANCE RATE MAP (FIRM) PANEL
NUMBER 12089C0359G DATED AUGUST 2, 2017.

LEGEND

★ 50' LOTS

 ASPHALT

 CONCRETE

 WETLAND IMPACT

 PRESERVED WETLAND

 UPLAND BUFFER

 EXIST. TREES TO REMAIN

- NOTES:**
1. PURSUANT TO SECTION IX, PART (1) OF R18-003 CONCURSE CROSSING PUD, 110-FT RIGHT-OF-WAY SHALL BE DEDICATED TO NASSAU COUNTY & 60-FT RIGHTS-OF-WAY SHALL BE THE MAINTENANCE OBLIGATION OF THE HOA.
 2. NEIGHBORHOOD ADRIVE WILL BE DESIGNED WITH THE SITE ENGINEERING PLANS, AND SHALL BE CONSISTENT WITH SECTION VII OF THE PUD, PARKS SHALL BE CONSTRUCTED PRIOR TO THE COMPLETION OF HALF OF THE CORRESPONDING PARCEL UNITS PER SECTION XVIII OF THE PUD.
 3. LANDSCAPING SHALL MEET REQUIREMENTS OF LDC SECTIONS 37.05 AND 37.06 AND SECTION VI OF THE PROPOSED PUD. STREET TREES SHOULD BE PROVIDED PER SECTION II (G) OF THE PUD.
 4. MULTI-USE TRAILS SHALL MEET PUD REQUIREMENTS PER SECTION IX.
 5. BUILDING PLANS FOR ATTACHED AND DETACHED RESIDENTIAL UNITS SHALL MEET THE REQUIREMENTS OF SECTION III OF THE PUD. FINAL LIGHTING PLAN SHALL BE DESIGNED PER SECTION VII OF THE PUD.
 7. NO SIGNAGE OR GATEWAY FEATURES CAN BE CONSTRUCTED UNTIL A UNIFIED SIGNAGE PLAN HAS BEEN SUBMITTED AND REVIEWED BY NASSAU COUNTY. A SIGNAGE PLAN SHALL MEET THE REQUIREMENTS IN SECTION XV OF THE PUD. THE UNIFIED SIGNAGE PLAN MUST BE APPROVED PRIOR TO THE FIRST PLAT.

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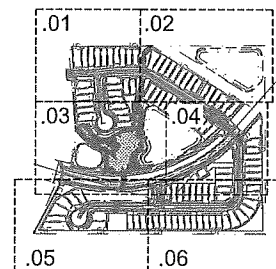
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NASSAU I AMELIA, LLC

CONCOURSE
CROSSING PHASE 3



 KEYMAP

DATE : 11/20/2019

PROJECT NO. : 116023.04

DESIGNED BY : MB

DRAWN BY : MB

SCALE : AS NOTED

[illegible]

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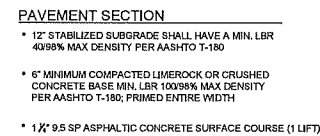
SITE GEOMETRY PLAN

C-3.01

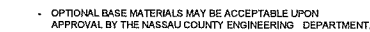
MICHAEL S. SHAW, P.E.
FL Lic. No. 86567
DATE:

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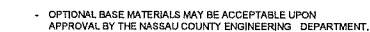
CONCOURSE
CROSSING PHASE 3



60' R.O.W. TYPICAL CROSS SECTION LOCAL ROAD WITH 20' PAVEMENT



110' ROW-AMELIA CONCOURSE EXTENSION 4-LANE TYPICAL SECTION
(STA. 10+24.22 TO STA. 19+36.57)



110' ROW-AMELIA CONCOURSE EXTENSION 2-LANE TYPICAL SECTION
(STA. 19+36.57 TO STA. 22+91.16)

- SIDEWALK AND MULTI-USE PATH MAY MEANDER OUTSIDE OF ROW. CONTRACTOR SHALL USE GEOMETRY ON SHEETS C-4.01 - C-4.06 TO LOCATE
- CONTRACTOR SHALL PROVIDE A 16" SOD STRIP AT BACK OF CURB

- UTILITY INSTALLATION PER UAS STANDARDS
- 5' CLEAR FROM TREE TO CABLE, TV, PHONE, ELEC., ETC.
- 2" BETWEEN SHRUB AND ANY UTILITY -
HORIZONTAL OR VERTICAL
- NO TREES WILL BE PLANTED NEAR STORM
DRAINS UNTIL INSPECTORS HAVE CLEARED THE
DRAINS AND SIGNED OFF ON THEM
- LANDSCAPE IN INTERSECTION SHALL MEET SIGHT
DISTANCE REQUIREMENTS IN FOOT GREENBOOK
- STREET LIGHTING SHALL BE INSTALLED WITHIN
TREE CORRIDOR.
- TREE PLANTING SHALL COMPLY WITH Nassau
COUNTY LINE OF SIGHT AND UAS REQUIREMENTS.
CONSTRUCTION PLANS SHALL REFLECT COMPLIANCE.
- LANDSCAPING AND TREE TRIMMING SHALL BE
RESPONSIBILITY OF A PRIVATE PARTY
- STREET LIGHTS TO BE MAINTAINED BY A PRIVATE PARTY
- HOA SHALL MAINTAIN AND REPAIR DAMAGED SIDEWALKS
WITHIN ROW.

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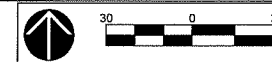
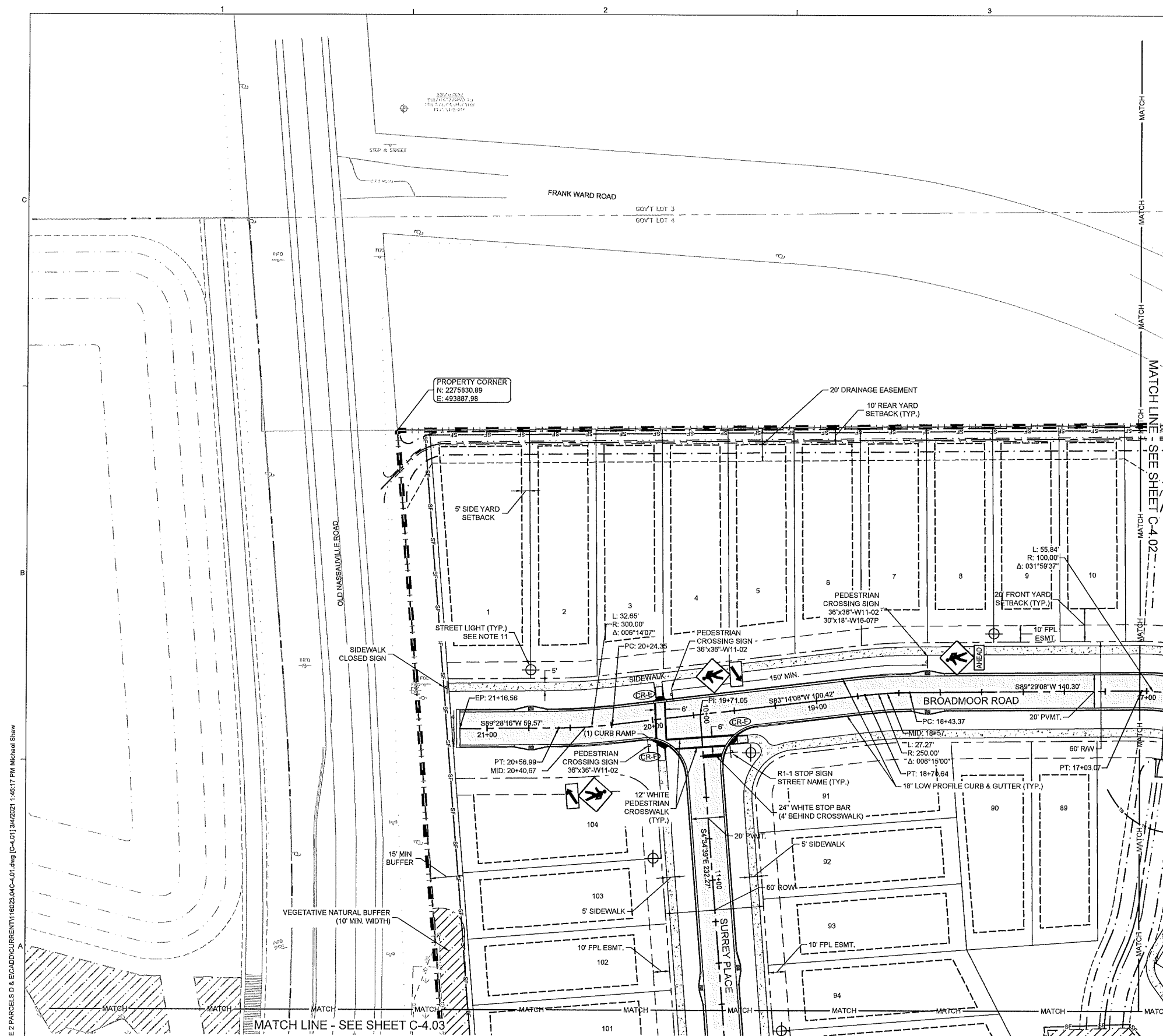
SHEET TITLE

TYPICAL SECTIONS

C-3.02

MICHAEL S. SHAW, P.E.
Lic. No. 86567
DATE:

SHEET



LEGEND



UPLAND BUFFER



JURISDICTIONAL WETLAND



EXIST. TREES TO REMAIN



PROPOSED CONCRETE SIDEWALK



PROPOSED ASPHALT PAVEMENT



PARCEL / PHASE BOUNDARY



UTILITY EASEMENT



BUILDING SETBACK



SILT FENCE



ROAD CENTERLINE



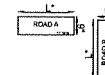
RIGHT OF WAY



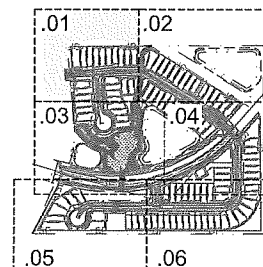
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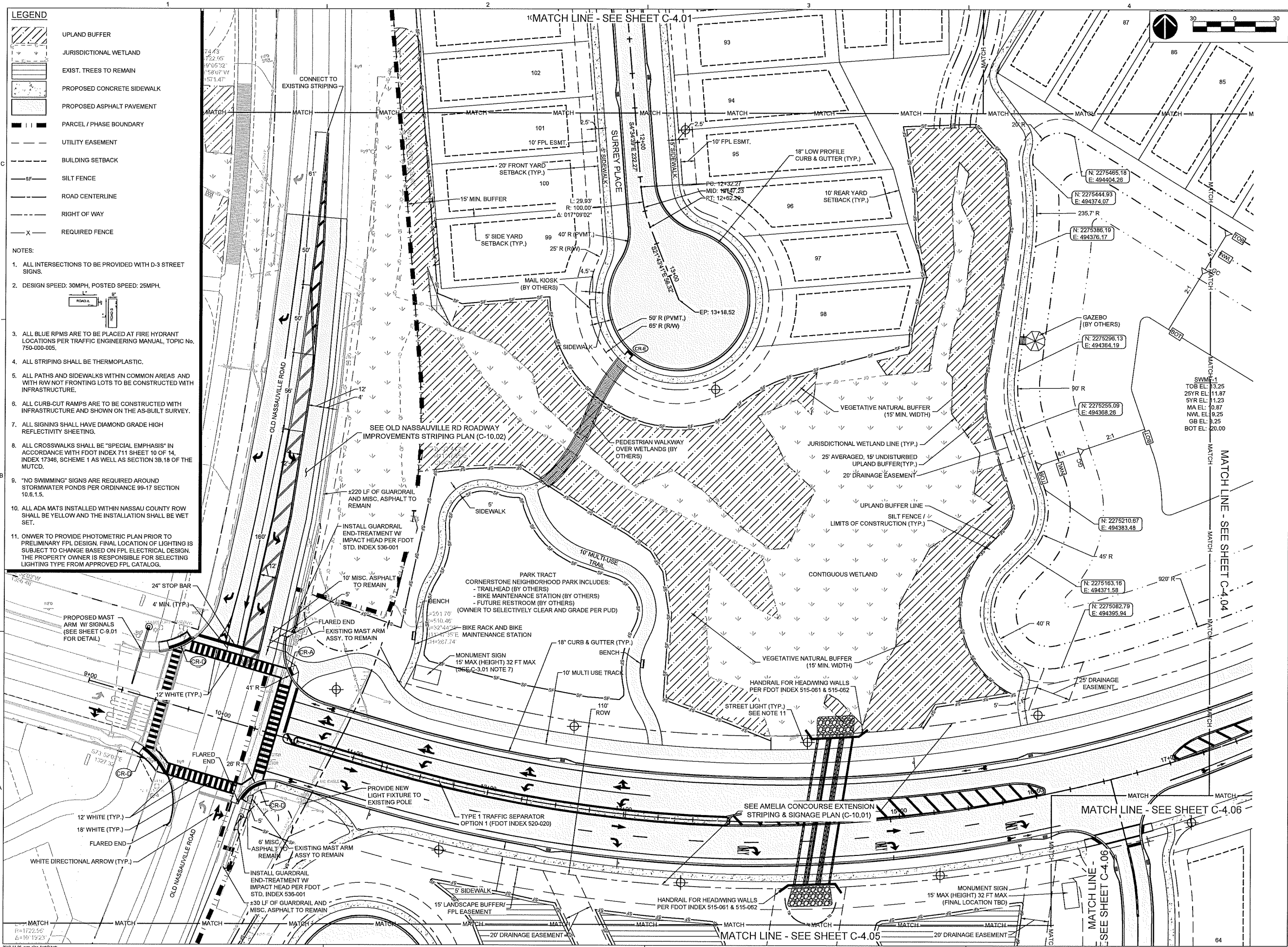
SHEET TITLE

SITE LAYOUT

C-4.01

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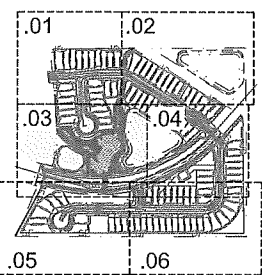
SHEET



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CONCOURSE CROSSING PHASE 3



No.	Date	Revision
1	10/14/2019	FDP 1st SUBMITTAL
2	11/22/2019	60% ISSUE (NOT FOR CONSTRUCTION)
3	01/13/2020	FDP REV SUBMITTAL

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