

MAP OF BOUNDARY SURVEY

A PORTION OF LOT 2 "AMELIA", A SUBDIVISION OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 28 EAST, NASSAU COUNTY, FLORIDA, AS RECORDED IN DEED BOOK "Y", PAGE 128 OF THE PUBLIC RECORDS OF NASSAU COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTHERLY LINE OF SAID LOT 2 WITH THE EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 105 (A-1-A); THENCE NORTH 85°07'00" EAST, ALONG THE NORTH LINE OF SAID LOT 2, A DISTANCE OF 926.79 FEET TO THE NORTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 18°06'00" EAST, ALONG THE EAST LINE OF SAID LOT 2, A DISTANCE OF 494.92 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2 AND A POINT ON THE SOUTH LINE OF SAID SECTION 15; THENCE SOUTH 84°55'00" WEST, ALONG THE SOUTH LINE OF SAID LOT 2 AND ALONG THE SOUTH LINE OF SAID SECTION 15, A DISTANCE OF 843.25 FEET TO THE SOUTHEAST CORNER OF THOSE LANDS DESCRIBED IN

OFFICIAL RECORD BOOK 404, PAGE 374, OF THE PUBLIC RECORDS OF NASSAU COUNTY, FLORIDA; THENCE NORTH 13°04'00" WEST, ALONG THE EAST LINE OF LAST SAID LANDS, A DISTANCE OF 50.00 FEET TO THE NORTHEAST CORNER THEREOF; THENCE SOUTH 84°55'00" WEST, ALONG THE NORTH LINE OF LAST SAID LANDS, A DISTANCE OF 99.50 FEET TO INTERSECT THE EASTERLY RIGHT-OF-WAY LINE OF SAID STATE ROAD NO. 105 (ALSO KNOWN AS A-1-A) AND A POINT ON A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 2964.79 FEET; THENCE NORTHERLY ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 05°05'47", AN ARC DISTANCE OF 263.71 FEET AND BEING SUBTENDED BY A CHORD BEARING NORTH 15°31'47" WEST A DISTANCE OF 263.63 FEET; THENCE NORTH 18°04'40" WEST, CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 181.30 FEET TO THE POINT OF BEGINNING.

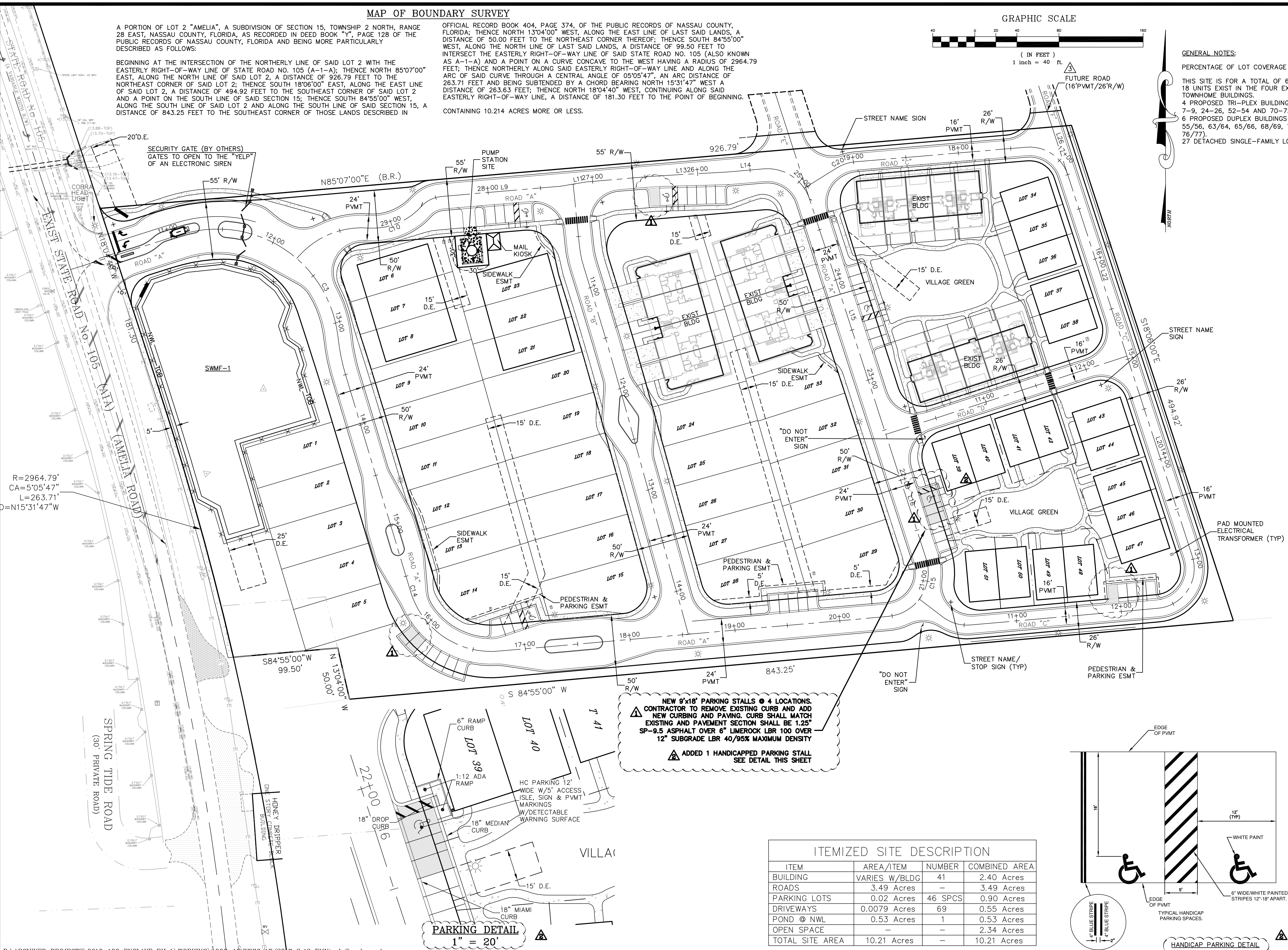
CONTAINING 10.214 ACRES MORE OR LESS.

GRAPHIC SCALE



GENERAL NOTES:

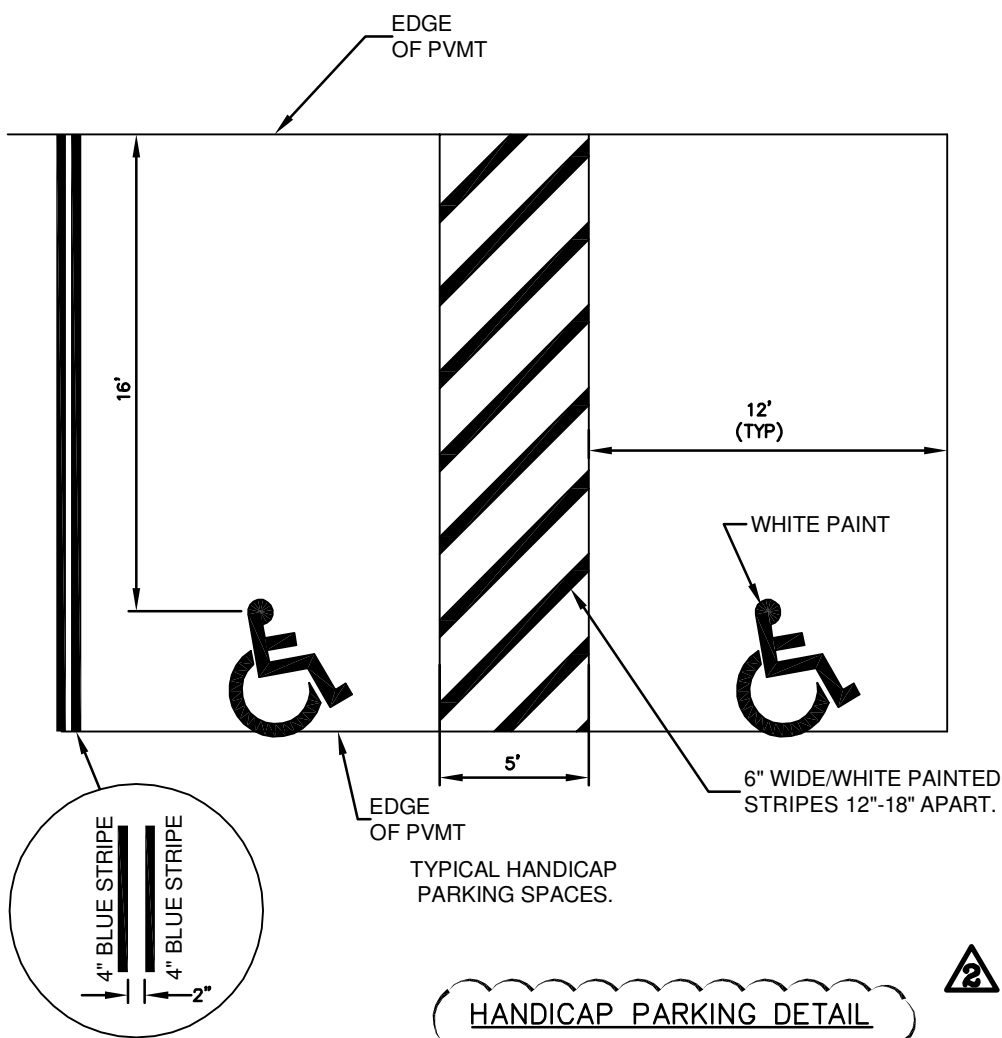
PERCENTAGE OF LOT COVERAGE = 80%
THIS SITE IS FOR A TOTAL OF 69 UNITS.
18 UNITS EXIST IN THE FOUR EXISTING TOWNHOME BUILDINGS.
4 PROPOSED TRI-PLEX BUILDINGS (LOTS 7-9, 24-26, 52-54 AND 70-72).
6 PROPOSED DUPLEX BUILDINGS (LOTS 55/56, 63/64, 65/66, 68/69, 74/75 AND 76/77).
27 DETACHED SINGLE-FAMILY LOTS



NEW 9'x18' PARKING STALLS @ 4 LOCATIONS.
CONTRACTOR TO REMOVE EXISTING CURB AND ADD NEW CURBING AND PAVING. CURB SHALL MATCH EXISTING AND PAVEMENT SECTION SHALL BE 1.25" SP-9.5 ASPHALT OVER 6" LIMEROCK LBR 100 OVER 12" SUBGRADE LBR 40/95% MAXIMUM DENSITY
ADDED 1 HANDICAPPED PARKING STALL SEE DETAIL THIS SHEET

PARKING DETAIL
1" = 20'

ITEMIZED SITE DESCRIPTION			
ITEM	AREA/ITEM	NUMBER	COMBINED AREA
BUILDING	VARIES W/BLDG	41	2.40 Acres
ROADS	3.49 Acres	-	3.49 Acres
PARKING LOTS	0.02 Acres	46 SPCS	0.90 Acres
DRIVEWAYS	0.0079 Acres	69	0.55 Acres
POND @ NWL	0.53 Acres	1	0.53 Acres
OPEN SPACE	-	-	2.34 Acres
TOTAL SITE AREA	10.21 Acres	-	10.21 Acres



DESIGNED BY: DAI
DRAWN BY: SS/SM/NS
CHECKED BY: VJD
SCALE: 1" = 40'
DATE: JUNE, 2017
PROJ. NO.: 0610-109

Dunn & Associates, Inc.
CIVIL ENGINEERS / LAND PLANNERS
8375 DIXIE BLVD., SUITE 200
DADE COUNTY, FLORIDA 33124
Phone: (800)363-8896 Fax: (800)363-8897

ENCLAVE @ SUMMER BEACH
FOR:
ARTISAN HOMES, LLC
NASSAU COUNTY, FLORIDA
GEOMETRY PLAN

FILE:
G-1
DWG. NO.
SHEET 3 OF 24

BY:
VJD
VJD
VJD
1 6-09-17 REVISED LOTS PER OWNER
2 8-15-17 ADD ADA STALL NEAR LOT 39

REVISIONS
NO. DATE DESCRIPTION

VINCENT J. DUNN LICENSE NO. 38405
DAVID M. TAYLOR LICENSE NO. 44164
NASSAU COUNTY, FLORIDA