



1,073.⁰⁰

APPLICATION FOR A CONDITIONAL USE

Official Use Only

Zoning District: _____
FLUM Designation: _____
Commission District: _____
Application #: _____
Date Filed: _____

16 - 1N - 25 - 0750 - 0003 - 0000

Parcel Identification Number (18 digit number)

Driving Instructions: Take U.S. 1 South from Callahan, T-R on Rattliff Rd.
T-L on Hilltop Lane 2nd Home on Left.

1. Legal Description: Lot 324 Block _____ Subdivision Hilltop Manor
Plat Book _____ Page _____
(Please attach a legal description if not located in a subdivision)

2. Location: On the NORTH side of Hilltop Lane
(north, south, east, west) (street)

between Rattliff Rd. and _____
(street) (street)

Nearest identifiable landmark (for example: Walmart or I-95) Old Rattliff Rd. Fire Station

3. Name and Address of the Owner as shown in the public records of Nassau County:

Richard B SHARP
43164 Hilltop Lane
Callahan, FL 32011

Name and Address of the Applicant / Authorized Agent:

(PLEASE NOTE: If applicant is not the owner, this application must be accompanied by completed Owner's Authorization for Agent form.)

4. Detailed Description of Conditional Use Sought:

2nd Home on Lot For Grand Daughter

5. Required Attachments:

- Exhibit "A" - Survey
- Exhibit "B" - Site Plan
- Exhibit "C" - Interior Floor Plan, drawn to scale
- Exhibit "D" - Other (please list)

6. Section of Zoning Code or provision that authorizes the granting of this Conditional Use: _____

7. For HOME OCCUPATIONS Only Section 28.14 (A), (1-8):

The following conditions will apply if the Conditional Use is granted. On a separate sheet of paper (8 ½" x 11"), please address the following in detail and attach as Exhibit "E".

1. No person other than members of the family residing on the premises will be engaged in such occupation.
2. The use of the premises for the home occupation shall be clearly incidental and subordinate to its use for residential purpose and shall under no circumstances change the residential character thereof.
3. There shall be no change in the outside appearance of the building or premises, or other visible evidence of the conduct of such home occupation, except that one sign may be permitted, not exceeding one square foot in area, non-illuminated, mounted flat against the wall of the principal building at a position not more than two feet distance from the main entrance to the residence.
4. No traffic shall be generated by such home occupation in greater volumes than would normally be expected in a residence neighborhood.
5. No equipment or process shall be used in such home occupation that creates noise, vibrations, glare, fumes, odors, or electrical interference detectable to the normal sense off the lot. In the case of electrical interference, no equipment or process shall be used which creates visual or audible interference in any radio or television receivers off the premises, or causes fluctuations in line voltage off the premises.
6. The giving of art, piano or other instruction or lessons shall be limited to not more than four (4) persons at the same time.
7. Fabrication of articles such as are commonly classified under the terms arts and handicrafts may be deemed a home occupation and can be sold on the premises.
8. All goods and services offered for sale in conjunction with a home occupation shall be produced on the premises, and a member of the immediate family on the premises shall perform all services.

8. Has any application been submitted within the last two (2) years for a Zoning Exception, Conditional Use, Zoning Variance or for the Rezoning of any portion of the subject property included in this application?

NO

If so, give details of such application and final disposition.

9. Is this parcel subject to deed restrictions enforced by a homeowners association? NO

If so, please provide an address and contact name.

10. Applicant must address the Conditional Use Review Criteria on page 4.

In filing this application for a Conditional Use, the undersigned understands it becomes a part of the official records of the Conditional Use and Variance Board and does hereby certify that all information contained herein is true to the best of his/her knowledge.

Signature of Owner:

Richard B. Short

Signature of Applicant:

(if different than Owner)

Signature of Agent:

(if different than Owner)

Owner's mailing address:

Telephone:

879. 6762

Email:

NOTE: If prepared or signed by an agent, a notarized *Owner's Authorization for Agent* form must be provided.

Newspaper for legal advertisement (OFFICIAL USE ONLY):

Fernandina Beach News Leader: _____

Nassau County Record



Conditional Use Review Criteria (Section 5.04):

Please answer the following questions as completely as possible and attach additional sheets (using 8½" x 11" size paper) with the answers typed or printed legibly and identifying the question.

- A. Will the establishment, maintenance or operation of the conditional use be detrimental to or endanger the public health, safety or general welfare? In addition, show that the conditional use will not be contrary to the established standards, regulations, or ordinances of other governmental agencies. *NO - Second Home on Property (mobile home). NEW + asphalt.*
- B. Will each structure or improvement be designed and constructed so that it is not unsightly, undesirable or obnoxious in appearance to the extent that it will hinder the orderly and harmonious development of Nassau County and the zoning district in which it is proposed? *NO - mobile home across street.*
- C. Will the conditional use adversely impact the permitted uses in the zoning district or unduly restrict the enjoyment of other property in the immediate vicinity or substantially diminish or impair property values within the area? *NO - NO change.*
- D. Will the establishment of the conditional use impede the orderly development and improvement of the surrounding property for uses permitted in the zoning district? *NO - All Residential*
- E. Will adequate water supply and sewage disposal facilities be provided in accordance with state and health requirements? *Well water on site, New Septic System approved by Health Dept.*
- F. Will adequate access roads, on-site parking, on-site loading areas and drainage be provided where required? *Yes*
- G. Will adequate measures be taken to provide ingress and egress to the property that is designed in a manner to minimize traffic congestion on local streets? *Yes - In Place already*
- H. Will adequate screening and buffering of the conditional use be provided, if needed? *Yes*
- I. Will the conditional use require signs or exterior lighting which will cause glare, adversely impact area traffic safety or have a negative economic effect on the area? Will any signs or exterior lighting required by the conditional use be compatible with development in the zoning district? *NO*
- J. Will the conditional use conform to all applicable regulations of the zoning district in which it is proposed? *Yes*
- K. Will the conditional use conform to all applicable regulations listed in the adopted comprehensive plan? *Yes*

CONSENT FOR INSPECTION

I, Richard B Sharp, the owner or authorized agent for the owner of the premises located at 43164 Hilltop Lane Callahan, FL 32011 do hereby consent to the inspection of said premises and the posting of public notice by an employee of the Department of Planning & Economic Opportunity, Nassau County, Florida, in conjunction with application _____, without further notice.

Dated this 19 day of February, 2021.

x Richard B Sharp
Signature of Owner or Authorized Agent

1-904-879-6762
Telephone Number

STATE OF FLORIDA:

COUNTY OF NASSAU:

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 18 day of February, 2021, by

Richard B. Sharp who is personally known to me or who has produced _____ as identification.

Notary Public Signature

Name (typed or printed)

(Seal)



AGENT AUTHORIZATION (FOR COMPANY OR LLC)

_____ is hereby authorized as the Agent TO ACT ON BEHALF OF
_____, the owner(s) of those lands described within the attached
application, and as described in the attached deed or other such proof of ownership as may be required, in applying to
Nassau County, Florida, for an application pursuant to a:

- ☐ Rezoning/Modification
☐ Variance
☐ Plat

- ☐ Conditional Use
☐ Preliminary Binding Site Plan

BY:

Signature of Agent _____

Print Name of Agent _____

Agent Address _____

Agent Email _____

Agent Telephone Number _____

Signature of President, Chairman of the Board or managing partner of _____
(Circle one)

Print Name _____

Address _____

Telephone Number _____

Email _____

I, _____, hereby affirm or swear that I have the authority on behalf of
(name of agent)

_____, to file the _____ application
with Nassau County.

Initials _____

Initials _____

Certificate

I _____, (signer's name), _____ (title) of
_____ (company or LLC) an entity lawfully organized and existing
under the laws of _____ (name of State) do hereby affirm or swear that I am empowered and
authorized, on behalf of the entity, to execute this Agent Authorization form, and all documents required by Nassau
County regarding this application, and further expressly warrants that _____ has been given
and has received and accepted authority to sign and execute the documents on behalf of
_____.

Signature

Title

State of Florida

County of _____

The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☐ online
notarization, this _____ day of _____, 20____ by _____ as
_____ for _____.

Personally Known _____ OR Produced _____ as identification.



Notary Signature

My Commission expires: _____

A copy of the by-laws are attached hereto.


Initials

Initials

26'-8" WIDE HOME
SIDEWALL HEIGHT 8'-0"



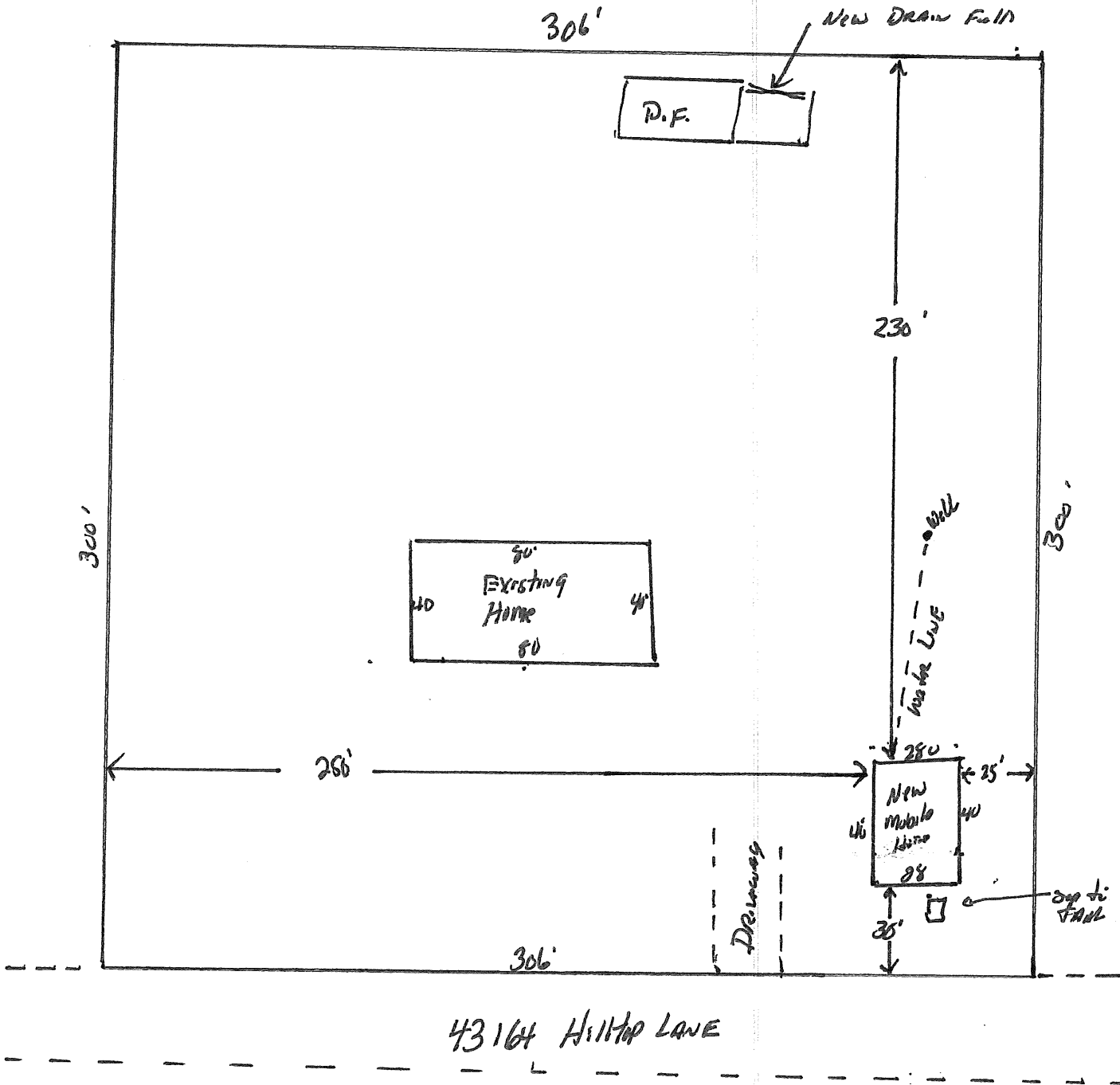
| | | |
|--------|------|------|
| ZONE 1 | SW#1 | SW#2 |
| ZONE 2 | SW#1 | SW#2 |
| ZONE 3 | SW#1 | SW#2 |

| | | | |
|-------------------------------------------------------------------------------------|-------------------|---------------------------------------------------------------|-------|
|  | | TownHomes P.O. BOX 1099 LAKE CITY, FLORIDA 32035 | |
| DATE 3-2-09 | REMARKS | DATE 2/22/2008 | |
| DETC ROS | | | |
| FORNETH MEN | | | |
| CODE I (20) | ATP | | |
| 2008 123 | MODER 2832-198 | PRICE 1087 SQ.FT. | SALES |

SITE PLAN

SCALE 1" = 50'

16-1N-25-0750-0003-0000



SKETCH OF DESCRIPTION

ALL OF LOTS 3 AND 4, HILLTOP MANOR, AS RECORDED IN PLAT BOOK 5, PAGE 211 IN THE PUBLIC RECORDS OF NASSAU COUNTY, FLORIDA; LESS AND EXCEPT THE NORTHWESTERLY 36.00 FEET OF SAID LOT 3; BEING DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 4, SAID POINT ALSO BEING ON THE NORTHEASTERLY RIGHT OF WAY LINE OF HILLTOP LANE (HAVING A 60 FOOT RIGHT OF WAY PER PLAT); THENCE N 28°28'55" W ALONG THE NORTHEASTERLY RIGHT OF WAY LINE AFORESAID, A DISTANCE OF 306.35 FEET; THENCE N 55°40'05" E, A DISTANCE OF 300.00 TO A POINT ON THE EASTERLY LINE OF SAID LOTS 3 AND 4; THENCE S 28°28'55" E ALONG THE EASTERLY LINE AFORESAID, A DISTANCE OF 306.35 TO THE SOUTHEAST CORNER OF AFORESAID LOT 4; THENCE S 55°40'05" W ALONG THE SOUTHERLY LINE OF AFORESAID LOT 4, A DISTANCE OF 300.00 FEET TO THE POINT OF BEGINNING, CONTAINING 2.10 ACRES MORE OR LESS.

THE INFORMATION SHOWN HEREON MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

BY: 

ALAN FRANKLIN GLASS
FLORIDA REGISTERED SURVEYOR
MAPPER CERTIFICATE No. 5712

THIS DOES NOT PURPORT TO BE A BOUNDARY SURVEY

SHEET 1

GLASS LAND SURVEYING, LLC

GLASS LAND SURVEYING, LLC
23884 CRESCENT PARK COURT, FERNANDINA BEACH, FLORIDA 32034
(904) 261-0128 * CELL (904) 370-0318
LICENSE BUSINESS NO. LB 8359

SCALE: 1" = 100'
DATE: 02-15-21
DRN BY: AFG
CKD BY: AFG
JOB NO: HM-L3-4
F.B. NO: DC
PAGE NO: DC

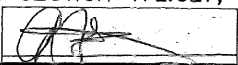
SKETCH OF DESCRIPTION

ALL OF LOTS 3 AND 4, HILLTOP MANOR, AS RECORDED IN PLAT BOOK 5, PAGE 211 IN THE PUBLIC RECORDS OF NASSAU COUNTY, FLORIDA; LESS AND EXCEPT THE NORTHWESTERLY 36.00 FEET OF SAID LOT 3; BEING DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 4, SAID POINT ALSO BEING ON THE NORTHEASTERLY RIGHT OF WAY LINE OF HILLTOP LANE (HAVING A 60 FOOT RIGHT OF WAY PER PLAT); THENCE N 28°28'55" W ALONG THE NORTHEASTERLY RIGHT OF WAY LINE AFORESAID, A DISTANCE OF 306.35 FEET; THENCE N 55°40'05" E, A DISTANCE OF 300.00 TO A POINT ON THE EASTERLY LINE OF SAID LOTS 3 AND 4; THENCE S 28°28'55" E ALONG THE EASTERLY LINE AFORESAID, A DISTANCE OF 306.35 TO THE SOUTHEAST CORNER OF AFORESAID LOT 4; THENCE S 55°40'05" W ALONG THE SOUTHERLY LINE OF AFORESAID LOT 4, A DISTANCE OF 300.00 FEET TO THE POINT OF BEGINNING, CONTAINING 2.10 ACRES MORE OR LESS.

THE INFORMATION SHOWN HEREON MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

BY: _____



ALAN FRANKLIN GLASS
FLORIDA REGISTERED SURVEYOR
MAPPER CERTIFICATE No. 5712

THIS DOES NOT PURPORT TO BE A BOUNDARY SURVEY

SHEET 1

GLASS LAND SURVEYING, LLC

GLASS LAND SURVEYING, LLC
23884 CRESCENT PARK COURT, FERNANDINA BEACH, FLORIDA 32034
(904) 261-0128 * CELL (904) 370-0318
LICENSE BUSINESS NO. LB 8359

SCALE: 1" = 100'
DATE: 02-15-21
DRN BY: AFG
CKD BY: AFG
JOB NO: HM-L3-4
F.B. NO: DC
PAGE NO: DC