

# STABLES AT CARY FOREST

## Nassau County, Florida

### FOR

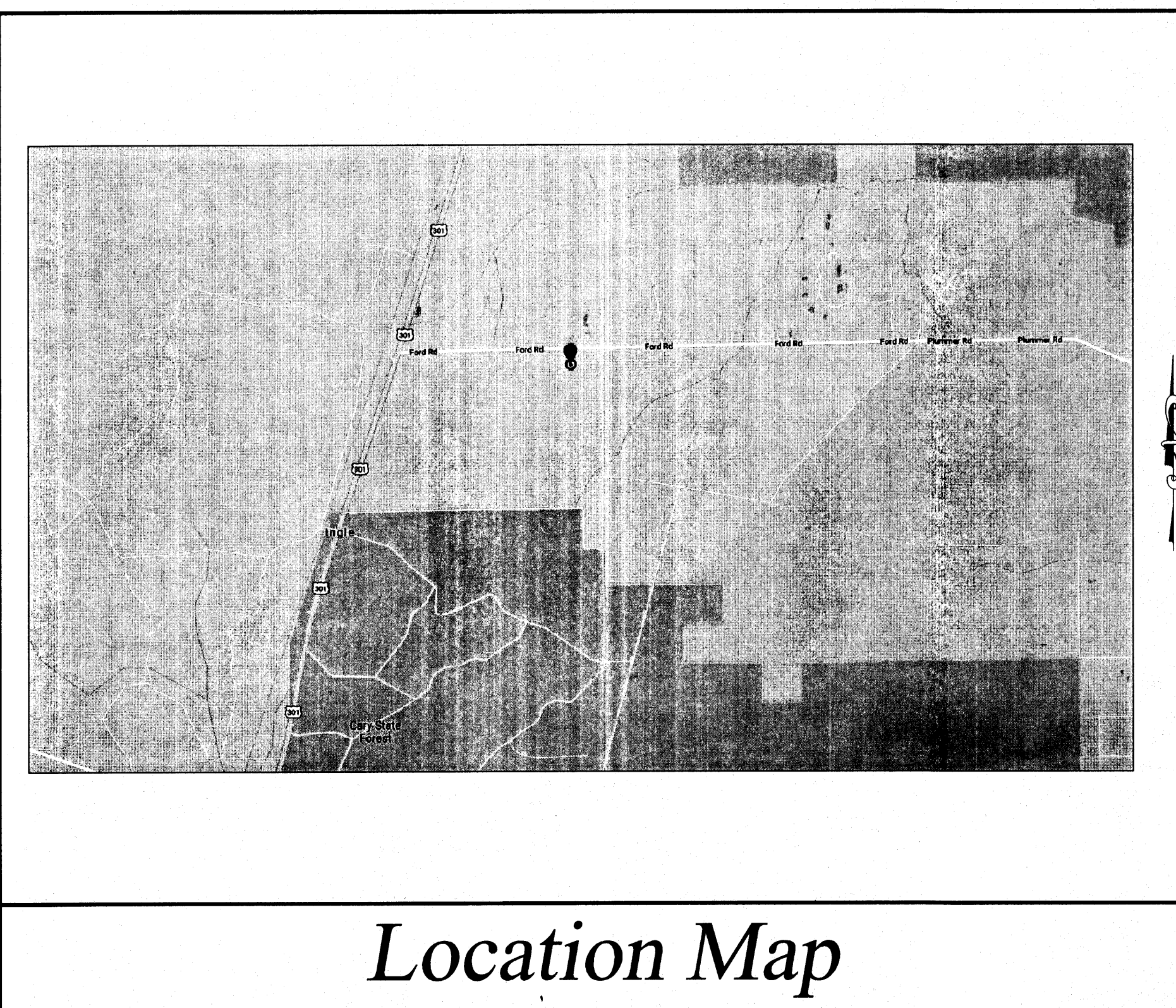
### FORD INVESTMENTS, LLC

12443 SAN JOSE BLVD., SUITE 504  
JACKSONVILLE FLORIDA 32223  
904-292-0778

PARCEL IDENTIFICATION NUMBER:

09-15-24-0000-0001-0020

LEGEND	
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	EXISTING FORCE MAIN
	WATER MAIN
	SANITARY SEWER SYSTEM
	FORCE MAIN
	DRAINAGE PIPE
	DRAINAGE DIVIDE LINE
	RIGHT-OF-WAY LINE
	SILT FENCE
	EXISTING CONTOUR
	PROPOSED ROADWAY
	EXISTING ROADWAY
	SEWER MANHOLE LABEL
	PROPOSED FIRE HYDRANT
	EXISTING FIRE HYDRANT
	GATE VALVE
	REDUCER
	DRAINAGE AREA LABEL
	HAY BALES
	CATCH BASIN/CURB INLET
	DRAINAGE MANHOLE
	MITERED END SECTION
	DRAINAGE PIPE LABEL
	DRAINAGE STRUCTURE LABEL



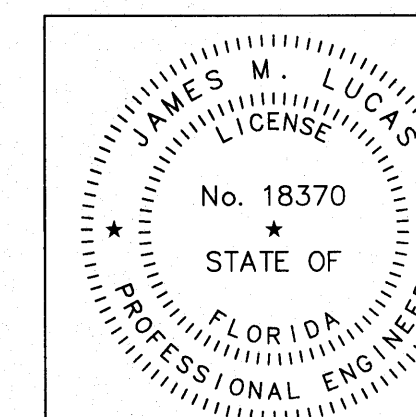
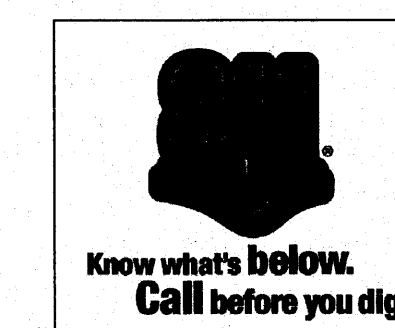
#### LIST OF SHEETS

1/8	Cover Sheet
2/8	General Notes & Details
3/8	Overall Site & Dry Hydrant Plan
4-5/8	Drainage Plans
6/8	M.O.T. Details
7/8	Storm Water Pollution Prevention Plan
8/8	Erosion & Sediment Control Notes and Details

Prepared By:

JUNE 2020  
PROJECT NUMBER: 2002

**J. Lucas & Associates, Inc.**  
DESIGN AND CONSULTING ENGINEERS  
CERTIFICATE OF AUTHORIZATION NO. 3981  
1305 CEDAR STREET - JACKSONVILLE, FL 32207  
PHONE: (904) 396-3060 - FAX: (904) 396-3456  
E-MAIL: lucascad@bellsouth.net



This item has been electronically signed and sealed by James M. Lucas, PE using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.



DRY HYDRANT WITH SIGN (SEE SHEET 3)

NEW WELL AND CONTROLS

POND FOR DRY HYDRANT  
TOP=65.50  
BOT.=59.50

(4) "NO SWIMMING" SIGNS  
ONE ON EACH SIDE(12"x18")

#### GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR DAMAGE TO EXISTING UTILITIES CAUSED BY HIS OPERATION.
2. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING TO FAMILIARIZE HIMSELF WITH JOB SITE CONDITIONS.
3. CONTRACTOR SHALL ARRANGE FOR AND PAY FOR ALL TESTING AS REQUIRED.
4. THE CONTRACTOR FILE WITH THE NASSAU COUNTY A SET OF REPRODUCIBLE MYLAR "AS BUILT" DWGS. FOR REVIEW AND APPROVAL.
5. ALL PAVING AND DRAINAGE WORK SHALL BE AS PER NASSAU COUNTY STANDARDS SPEC. UNLESS SHOWN OTHERWISE.
6. TOPOGRAPHIC INFORMATION PROVIDED BY THE OWNER.
7. THE CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY FOR COMPLIANCE WITH ALL STATE AND / OR FEDERAL SAFETY LAWS.

#### CLEARING/GRUBBING & PAVING/DRAINAGE NOTES

1. THE CONTRACTOR SHALL ADHERE TO ALL GENERAL NOTES ON THIS SHEET, INCLUDING THE NOTES BELOW.
2. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS TO WORK IN EXISTING NASSAU COUNTY RIGHTS-OF-WAY.
3. ALL CONSTRUCTION LINES & GRADES SHALL BE ESTABLISHED AND MAINTAINED BY THE CONTRACTOR. OWNER SUPPLIES BOUNDARY AND BENCHMARK ONLY.
4. ALL PIPE LENGTHS ARE SCALED AND MAY REQUIRE SLIGHT FIELD ADJUSTMENTS TO FIT CONDITIONS.
5. CLEARING CONTRACTOR WILL CLEAR, GRUB AND DISPOSE OF ALL DEBRIS AND SURFACE ORGANICS TO FIRM MATERIAL ALL EASEMENTS, ROAD RIGHTS-OF-WAY AND DETENTION AREAS. DISPOSAL SHALL BE INCLUDED IN THE CONTRACT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING DOWNSTREAM TURBIDITY AND SILTATION CAUSED BY HIS CONSTRUCTION WITH HAY BALES, SCREENS, SILT BASINS AND/OR OTHER SUITABLE MEANS WITHIN ALL GOVERNMENTAL REGULATIONS.
7. LUMP SUM PRICE FOR CLEARING AND GRUBBING SHALL INCLUDE THE CLEARING AND GRUBBING ALL ELECTRIC EASEMENTS.

#### NASSAU COUNTY M.O.T. NOTES

1. NOTIFY THE ENGINEERING DIVISION ((904) 530-6225) A MINIMUM OF 5 WORKING DAYS PRIOR TO IMPLEMENTATION OF THE M.O.T.
2. THE PROJECT WORK HOURS SHALL BE BETWEEN 7:00 AM TO 7:00 PM ON RESIDENTIAL STREETS AND 9:00 AM TO 4:00 PM ON COLLECTOR OR ARTERIAL STREETS.
3. NO LANE CLOSURES ARE ALLOWED FROM 7:00 AM TO 9:00 AM AND 4:00 PM TO 7:00 PM MONDAY THROUGH FRIDAY.
4. THE ROADWAY SHALL BE RESTORED TO AT LEAST A LIMEROCK SURFACE BEFORE IT IS REOPENED TO TRAFFIC AND BEFORE THE CONTRACTOR MOVES TO THE NEXT CONSTRUCTION ZONE.
5. THE CONTRACTOR SHALL CONFIRM THAT EXISTING SIGNAGE WILL NOT POSE A CONFLICT FOR WORK ZONE TRAFFIC CONTROL. THE CONTRACTOR SHALL COVER OR REMOVE ALL SIGNING IN CONFLICT WITH THE TRAFFIC CONTROL DURING CONSTRUCTION OPERATIONS.
6. ACCESS TO SIDE STREETS, PRIVATE AND COMMERCIAL DRIVEWAYS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
7. NASSAU COUNTY PROHIBITS MID-BLOCK CROSSINGS OF PEDESTRIANS. WHEN AN ALTERNATE PAVED PEDESTRIAN ROUTE IS NOT FEASIBLE, THE CONTRACTOR SHALL MAINTAIN A 4' FT. WIDE STABLE PEDESTRIAN PATHWAY IN ACCORDANCE WITH FOOT INDEX 660.
8. CONSTRUCTION AREAS WITHIN COUNTY RIGHT-OF-WAY AND EASEMENTS SHALL BE TREATED WITH SOD TO PROTECT AGAINST EROSION.
9. M.O.T. SHALL BE IN ACCORDANCE WITH FOOTSTANDARD INDEX AND THE NASSAU COUNTY ROAD CLOSURE POLICY. AN M.O.T. PLAN PREPARED BY A FLORIDA ADVANCE M.O.T. CERTIFIED PERSONNEL WILL NEED TO BE SUBMITTED PRIOR TO THE PRE-CONSTRUCTION MEETING FOR COUNTY REVIEW.

#### WELL

Contractor shall install a 3" well in accordance with standard practice. The well shall have a depth of 100' and shall include a 1 hp pump able to deliver a minimum of 15 gpm. Well pump shall include an internal pressure switch and small 42 gallon hydrotank.

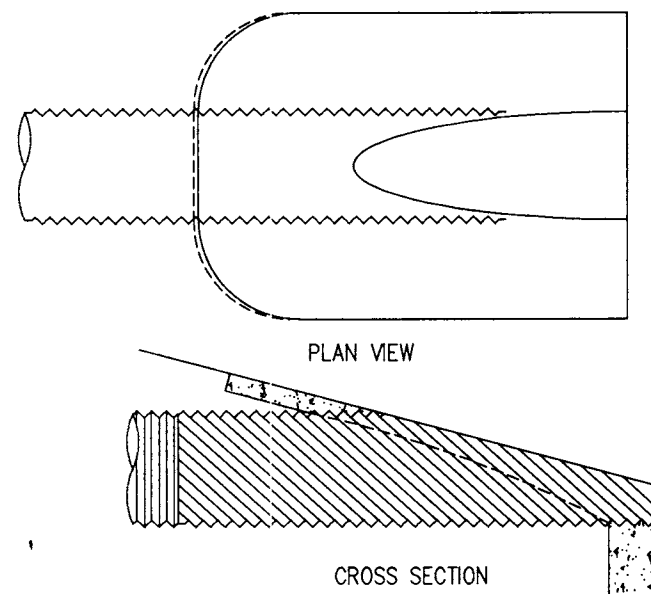
contractor shall also include an on-off float switch system that will activate the well at low water level and deactivate the pond a full level.

#### SITE PLAN AND DEVELOPMENT NOTES

1. INDIVIDUAL LOTS TO BE DEVELOPED SEPARATELY.
2. DRIVEWAY AND CULVERT INSTALLATIONS TO BE PERMITTED THROUGH NASSAU COUNTY AS REQUIRED.
3. EACH LOT SHALL HAVE A SEPARATE WELL AND SEPTIC SYSTEM THAT IS PERMITTED THROUGH THE HEALTH DEPARTMENT.
4. ELECTRIC SERVICE SHALL BE PROVIDED BY F.P.L. USING EXISTING OVERHEAD ALONG FORD ROAD.
5. MAXIMUM BUILDING HEIGHT SHALL BE 35 FEET.
6. THE SITE IS LOCATED ON COUNTY PANEL NO. 12089C0445F, DATED DECEMBER 17, 2010. THE PROPERTY IS IN ZONE 'X'.
7. THE HOME BUILDER SHALL BE RESPONSIBLE FOR PROVIDING THE FOLLOWING INFORMATION FOR ALL BUILDING PERMIT APPLICATIONS ACCORDING TO NASSAU COUNTY REQUIREMENTS:
  - a. PROJECT BOUNDARY WITH BEARINGS AND DISTANCES FOR EACH AND EVERY LOT AS WELL AS FOR THE OVERALL SITE.
  - b. PROPOSED BUILDING AND OTHER STRUCTURES AS WELL AS ALL EXISTING BUILDINGS AND OTHER STRUCTURES.
  - c. DEPICT A BUILDING SETBACK FOOTPRINT AREA FOR EACH LOT ACCORDING TO ALL FRONT, REAR, SIDE, SETBACK RESTRICTIONS.
  - d. DEPICT THE DIMENSIONS AND DISTANCES FROM ALL PROPERTY LINES, WATER BODIES, WETLANDS TO ALL STRUCTURES.
  - e. DEPICT THE HEIGHT OF EACH STRUCTURES, NUMBER OF STORIES, HEIGHT OF ROOF APPURTENANCES INCLUDING MECHANICAL FIXTURES, ELEVATOR SHAFTS, CHIMNEYS, PARAPET WALLS, ETC.
8. THE MAXIMUM FLOOR ELEVATION SHALL NOT EXCEED SIX (6) INCHES MORE THAN SPECIFIED ON THE ENGINEERING PLAN.
9. NET AREAS EXCLUDE ALL WETLAND AREAS AND UPLAND BUFFERS.
10. FEE & TOPOGRAPHY AS SHOWN ON PLAN REFERENCED TO NAVD83 DATUM.
11. PROPOSED LOTS TO RETAIN EXISTING GRADES AS MUCH AS POSSIBLE. LOT GRADES SHOULD BE CONFINED TO TIE-IN GRADING FOR BUILDING FFE ONLY UNLESS OTHERWISE NOTED. LOT GRADING SHALL NOT AFFECT ADJACENT PROPERTIES.
12. A LOT GRADING PLAN IS REQUIRED WITH EACH LOT BUILDING PERMIT. THE GRADING PLAN SHOULD SHOW THE LOT GRADING WITH SPOT ELEVATIONS AND DEMONSTRATE THAT ANY FILL, DRAINS OR SWALES ON EACH LOT WILL NOT BLOCK FROM, DIVERT INTO, OR DIRECT ONTO THE NATURAL FLOW OF STORMWATER RUNOFF TO OR FROM ADJACENT PROPERTIES.
13. LOTS FIVE, TEN AND ELEVEN WILL REQUIRE AN FDEP DREDGE AND FILL PERMIT TO COMPENSATE FOR THE WETLAND ENCROACHMENT FOR THE DRIVEWAY. A THIRTY (30) FOOT WIDE CORRIDOR IS SHOWN ON SHEETS 4 AND 5 FOR THIS ENCROACHMENT.
14. DEVELOPER SHALL PROVIDE A SIDEWALK BOND FOR THE CONSTRUCTION OF THE SIDEWALK FOR A TERM OF THREE (3) YEARS. SIDEWALK BOND SHALL BE USED TO CONSTRUCT UNBUILT SIDEWALKS PRIOR TO EXPIRING.
15. DEVELOPER SHALL PROVIDE A CONSTRUCTION BOND TO NASSAU COUNTY FOR A TERM OF THREE (3) YEARS FOR THE CONSTRUCTION OF THE SHARED DRIVEWAY BETWEEN LOTS 8 AND 9. BOND SHALL BE USED TO CONSTRUCT DRIVEWAY PRIOR TO EXPIRING.

#### UTILITY CONTACTS

A. AMERICAN TELEPHONE & TELEGRAPH CO. (AT&T)	904-755-3414
B. BELLSOUTH TELEPHONE	904-350-2200
C. NASSAU COUNTY, PUBLIC WORKS DEPT.	904-530-6175
D. NASSAU COUNTY, PLANNING & ZONING	904-530-6300
E. NASSAU COUNTY, CODE ENFORCEMENT	904-530-6200
F. DISTRIBUTION PROJECTS	904-665-6050
G. FLORIDA DEPARTMENT OF TRANSPORTATION	904-381-8778
H. JEA - COLLECTION & DISTRIBUTION	904-630-3734
I. JEA - GENERAL INFORMATION	904-665-6000
J. JEA - GroundsWorks / COMMUNITY OUTREACH	904-665-7500
K. JEA - POWER OUTAGES	904-665-0300
L. JEA - SEWER PROBLEMS	904-630-3732
M. JEA - WATER PROBLEMS	904-630-3780
N. COMCAST	904-380-6419
O. MOBILE GAS	904-733-9533
P. PEOPLES GAS	904-443-7368
Q. SUNSHINE ONE CALL	1-800-432-4770 OR 811



POURED IN PLACE MITERED END SECTION

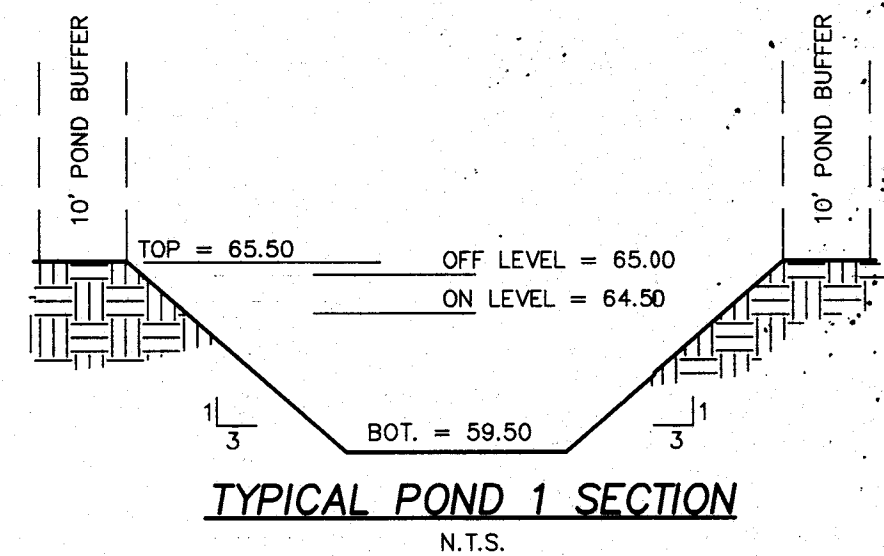
NOTE: M.E.S. IN COUNTY R/W SHALL BE INSTALLED WITH A TURN DOWN PER F.D.O.T. INDEX NO. 273 (SEE COUNTY DETAIL ABOVE)

DIMENSIONS							
RCP / CMP	A	B	C	D	E	F	G
15" & 18"	2'-3"	2'-0"	6"	4.5"	4.5"	1'-6"	1'-7"
24"	2'-10"	2'-9"	6"	5.5"	4.5"	1'-11"	2'-1"
30"	3'-4"	3'-2"	6"	5.5"	4.5"	2'-5"	2'-7"

DIMENSIONS (CONT.)							
RCP / CMP	H	J	K	L	M	N	
15" & 18"	2'-6"	2'-0"	6"	4"	8'-8"	10'-10.46"	
24"	3'-4"	3'-0"	6"	4"	10'-0"	10'-3.63"	
30"	3'-8"	3'-4"	6"	4"	11'-4"	11'-8.13"	

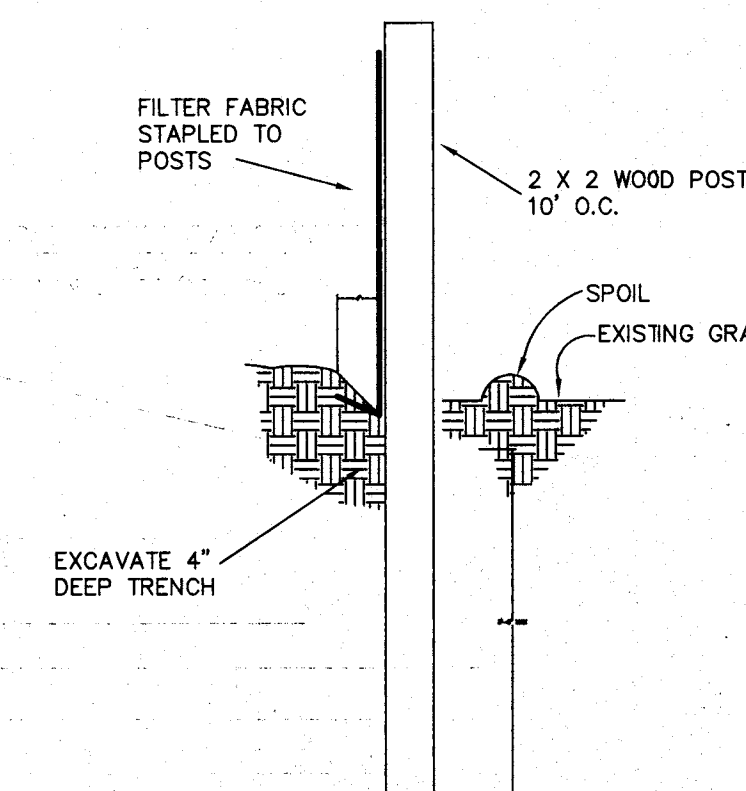
MITERED END SECTION DETAIL

N.T.S.



TYPICAL POND 1 SECTION

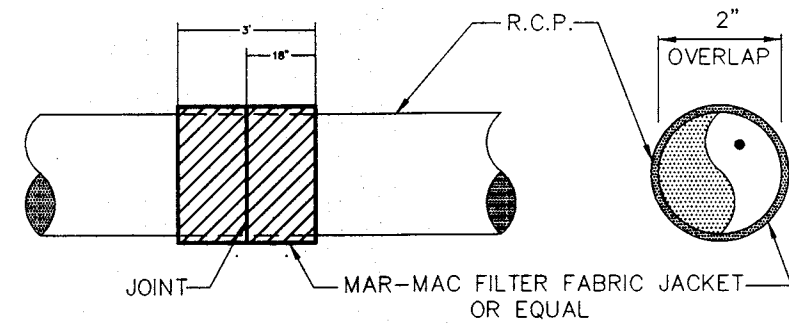
N.T.S.



NOTE: PLACE SPOIL MATERIAL ON 4" FLAP OF FABRIC

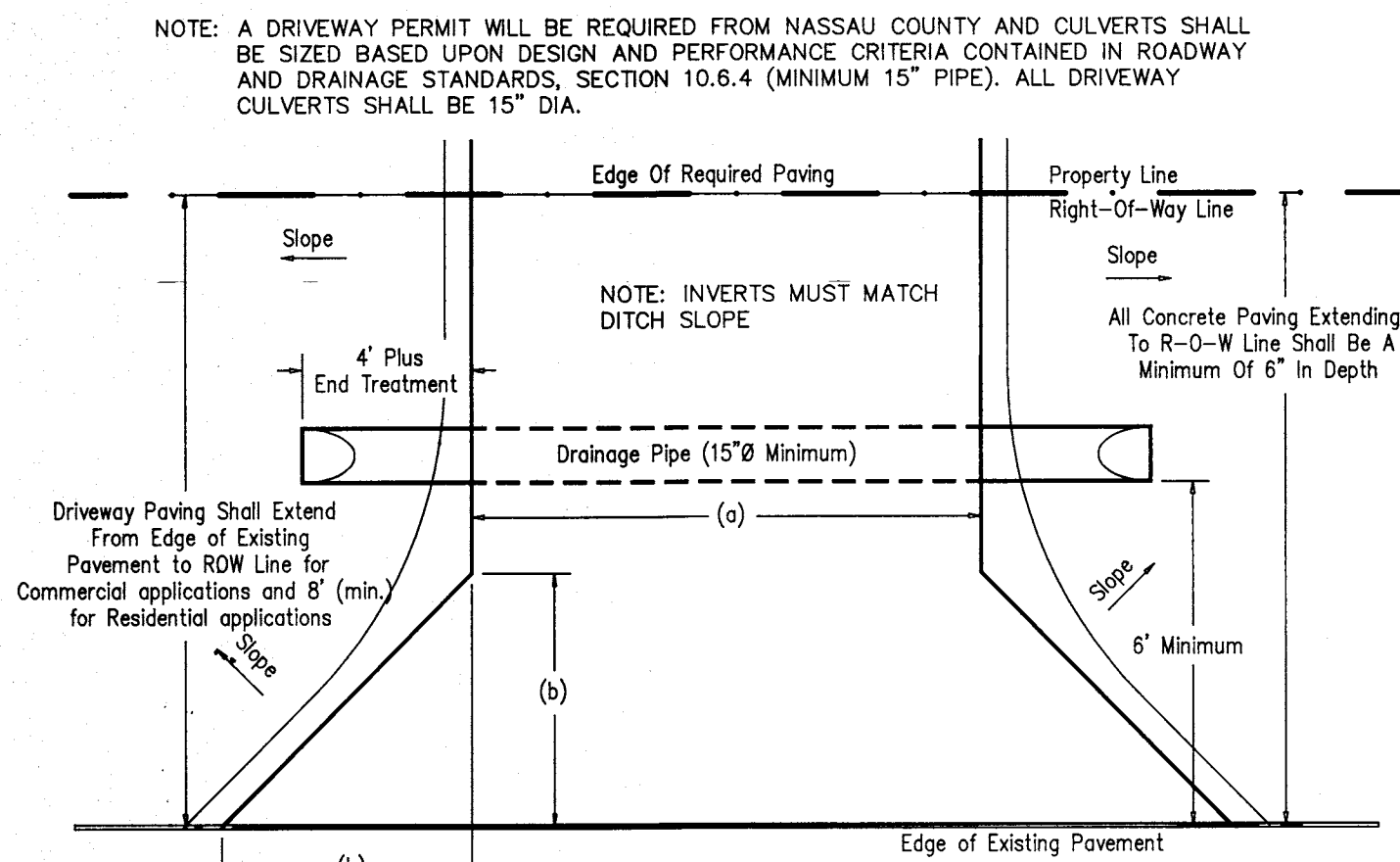
FABRIC SILT FENCE DETAIL

N.T.S.



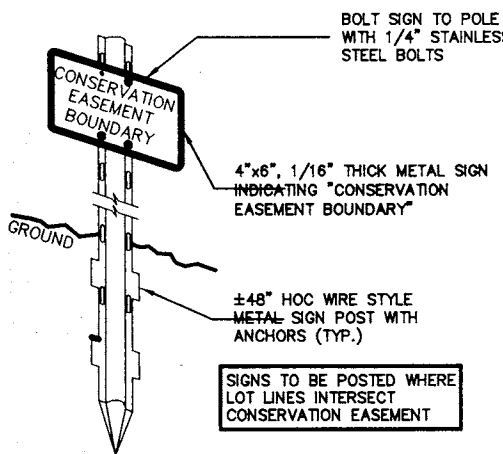
PIPE JOINT WRAPPING DETAIL

N.T.S.



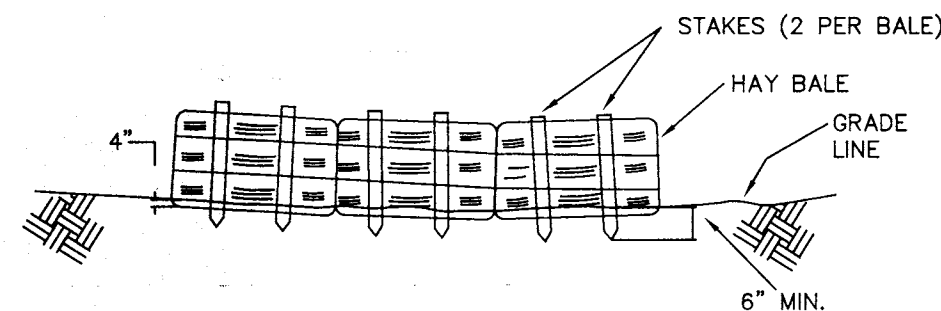
TYPICAL PAVED DRIVEWAY INSTALLATION DRAWING

N.T.S.



CONSERVATION EASEMENT BOUNDARY SIGN

N.T.S.



NOTES:

1. BALES TO BE STACKED IN A SINGLE ROW AND EMBEDDED IN THE SOIL TO A DEPTH OF 4 INCHES.
2. ALL BALES ARE TO BE BOUNDED WITH WIRE OR STRING.
3. EXTEND BALES AS SHOWN ON PLANS.
4. TOPS OF CENTER BALES MUST BE LOWER THAN BOTTOMS OF END BALES.

STAKED HAY BALES DETAIL

N.T.S.

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CONSULTING AND DESIGN ENGINEERS  
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1305 CEDAR STREET - JACKSONVILLE, FL 32207  
PH (904) 396-3060 FAX (904) 396-3456

VERSION: ACAD 14  
DRAWN BY: DADU  
DESIGNED BY: JML  
APPROVED BY: JML  
DATE: JUNE 2020

		1/21/21	11/27/20	9/22/20	DATE
		JML	JML	DAD	BY
					REVISION
					NO.

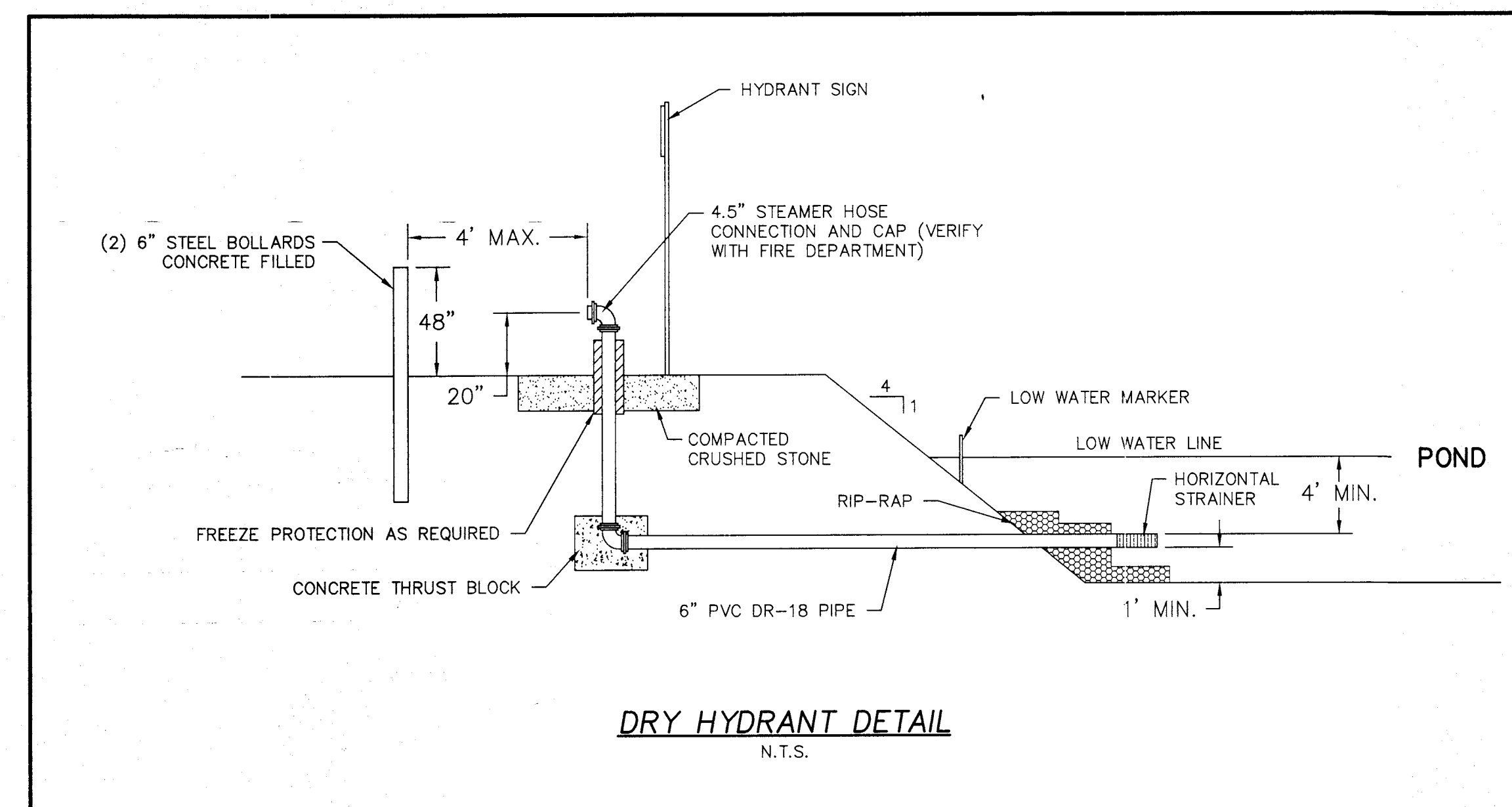
GENERAL NOTES & DETAILS  
STABLES AT CARY FOREST  
FOR  
FORD INVESTMENTS, LLC.

DRAWING NO. 2 OF 8  
JOB NO. 2002  
FILE: 2002GENNOTES

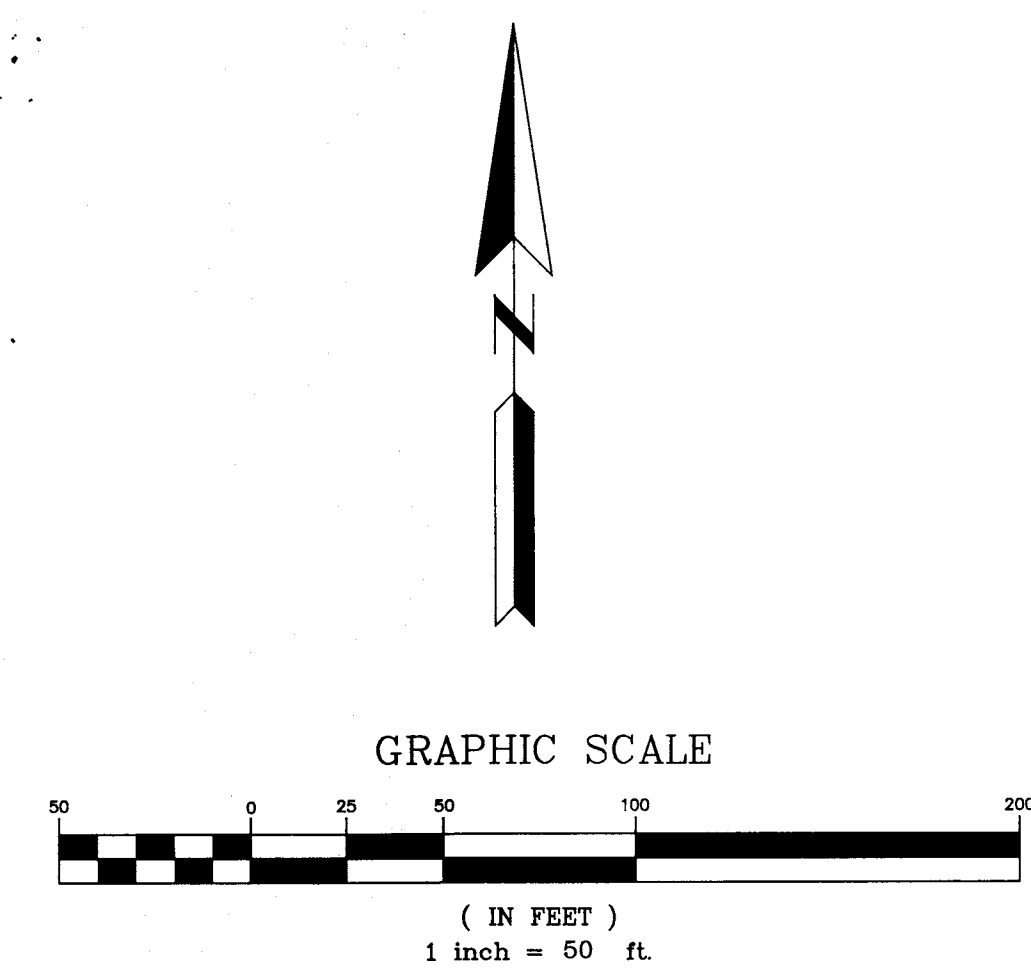
SEAL & SIGNATURE:

JAMES M. LUCAS, P.E. 18370

FORD ROAD  
RIGHT-OF-WAY VARIES  
F.D.O.T. SECTION 74617-2601



CARROLL ROAD  
40' COUNTY MAINTAINED  
IN-USE RIGHT-OF-WAY



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VERSION: ACAD 20  
 DRAWN BY: SBD  
 DESIGNED BY: JML  
 APPROVED BY: JML  
 DATE: FEBRUARY 2020

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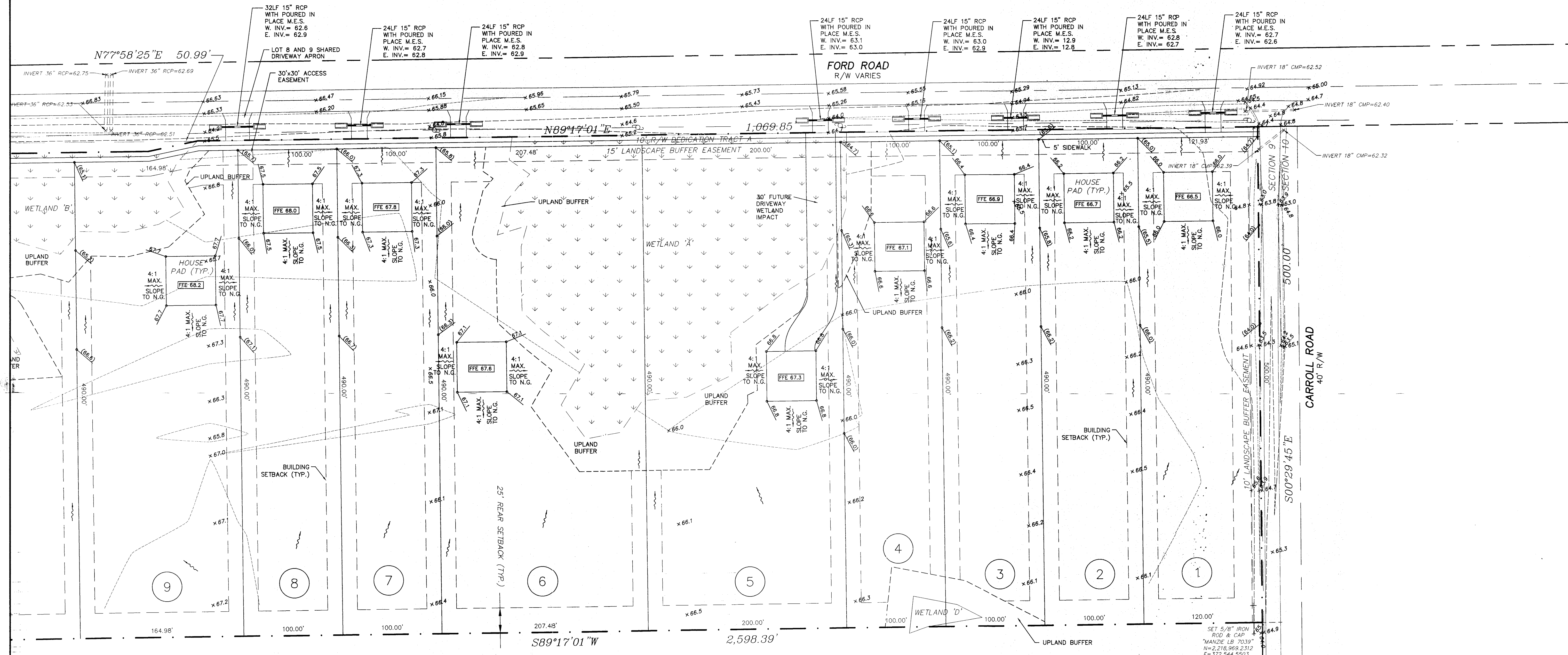
OVERALL SITE AND  
FIRE PROTECTION PLAN  
STABLES AT CARY FOREST  
FOR  
FORD INVESTMENTS, LLC.

DRAWING NO. 3 OF 8  
JOB NO. 2002  
FILE: 2002OSP

SEAL & SIGNATURE:

JAMES M. LUCAS, P.E. 18370





- NOTES:
1. ANY DISTURBED AREAS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE SODDED.
  2. UPLAND BUFFERS SHALL BE MAINTAINED IN THEIR NATURAL VEGETATED CONDITION. NATIVE VEGETATION REMOVED OR DESTROYED WITHIN THE UPLAND BUFFER IN VIOLATION OF NASSAU COUNTY COMPREHENSIVE PLAN POLICY 1.04A.02 SHALL BE RESTORED. THESE AREAS SHALL BE REPLANTED WITH COMPARABLE NATIVE VEGETATIVE SPECIES AS WERE REMOVED OR DESTROYED. NOXIOUS AND NON-NATIVE INVASIVE PLANT MATERIALS CAN BE REMOVED. DEAD VEGETATION CAN BE REMOVED. LIMBING CAN OCCUR WITHIN THE BUFFERS, PROVIDED THAT THE LIMBS TO BE REMOVED ARE LESS THAN THREE (3) INCHES IN DIAMETER. WHERE THE UPLAND BUFFER IS, OR WILL BE, SUBJECT TO A CONSERVATION EASEMENT, THE PLAT WILL IDENTIFY SUCH CONSERVATION EASEMENT AND INDICATE IT HAS THAT MEANING PRESCRIBED BY 704.06, F.S.
  3. RIGHT-OF-WAY PERMITS WILL BE REQUIRED FOR SIDEWALK CONSTRUCTION. A PERMIT WILL BE REQUIRED FOR THE DRY HYDRANT POND CONSTRUCTION. CONTACT NASSAU COUNTY ENGINEERING SERVICES FOR PERMITS: (904) 530-6225.
  4. LDC 37.05-C.1 ONE AND TWO-FAMILY DWELLINGS. EACH SINGLE-FAMILY AND TWO-FAMILY LOT MUST PROVIDE AT LEAST ONE (1) TREE PER THREE THOUSAND (3,000) SQUARE FEET OF LOT AREA FOR THE FIRST QUARTER ACRE OF LOT AREA. FOR LOTS EXCEEDING ONE-QUARTER (1/4) ACRE, ONE (1) TREE FOR EVERY ADDITIONAL ONE-QUARTER (1/4) ACRE, OR MAJOR FRACTION THEREOF, MUST BE PRESERVED OR PLANTED. EXISTING CANOPY TREES, SABAL PALMS AND PINE TREES MAY BE USED TO SATISFY THIS REQUIREMENT, IN WHOLE OR IN PART, PROVIDED THAT THEY HAVE A MINIMUM CALIPER OF FOUR (4) INCHES DBH. WHEN TREES ARE PLANTED TO MEET THE MINIMUM REQUIREMENT THEY MUST BE MORE THAN ONE SPECIES OF TREE LISTED IN TABLES 37-1 OR 37-2 AND MEETING THE MATERIAL STANDARDS OF THIS SECTION. THE FOREGOING REPRESENT THE ENTIRE REQUIREMENT APPLICABLE TO INDIVIDUAL ONE AND TWO-FAMILY DWELLINGS.
  5. TREES IN WETLANDS AND UPLAND BUFFERS SHALL REMAIN.
  6. THE PERIMETER LANDSCAPE STRIPS ADJACENT TO FORD ROAD AND CARROLL ROAD ARE A REQUIREMENT OF THIS SUBDIVISION. THE EXISTING TREES SHALL REMAIN TO FULFILL THE LANDSCAPE REQUIREMENT EXCEPT WHERE DRIVEWAYS ARE TO BE PROVIDED PER 37.05 D (2) LDC. IF EXISTING TREES DO NOT MEET THE PLANTING REQUIREMENT IN 37.05 D (2) LDC, ADDITIONAL TREES SHALL BE PLANTED.
  7. SEE SHEET 2 FOR SHARED DRIVEWAY AND SIDEWALK BOND NOTES.

BUILDING SETBACKS:  
FRONT: 35 FEET  
SIDE: 15 FEET  
REAR: 25 FEET

NOTE: EACH LOT WILL NEED A SEPARATE BUILDING PERMIT. THE SIDEWALK CONSTRUCTION, M.O.T. AND SILT FENCE WILL BE DESIGNED, PERMITTED AND INSTALLED AT THAT TIME.

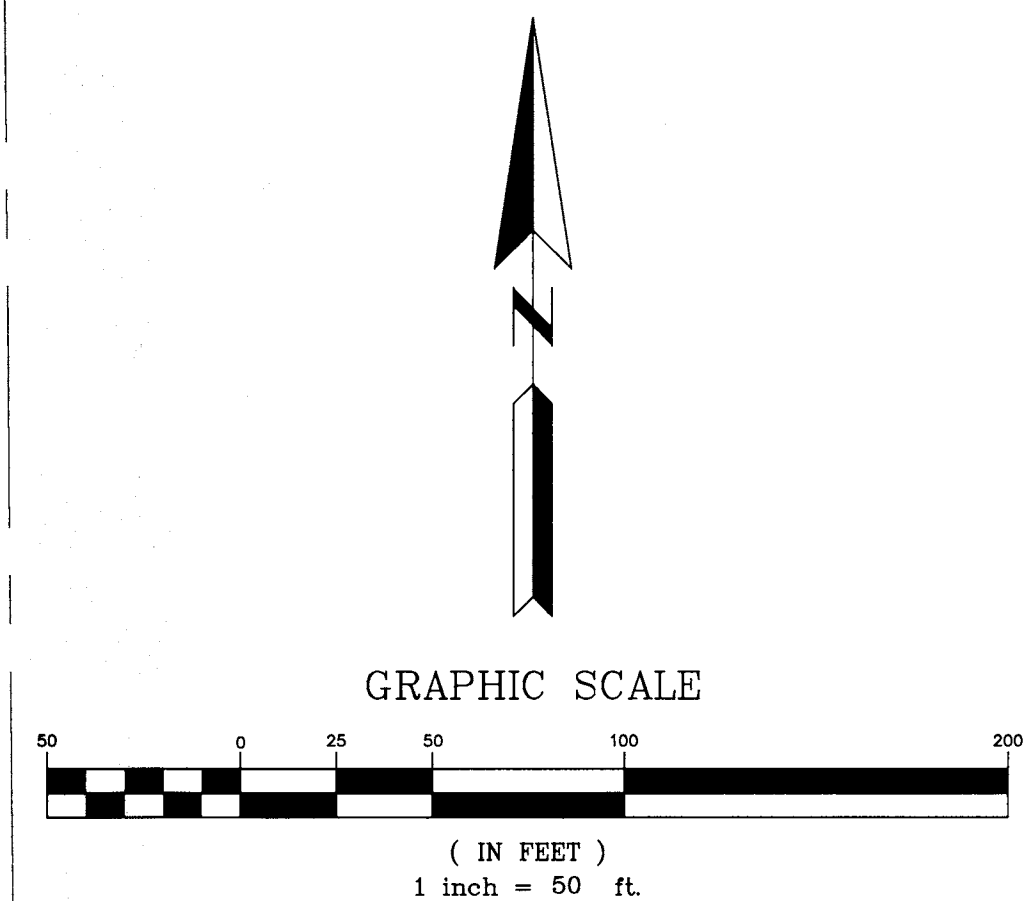
LOT TABLE						TREES	
LOT #	TOTAL AREA (S.F.)	TOTAL AREA (AC.)	WETLANDS & BUFFER (S.F.)	WETLANDS & BUFFER (AC.)	NET AREA (S.F.)	NET AREA (AC.)	TREES PER 37-1 OR 37-2
1	59262.37	1.36	0	0	59262.37	1.36	8 TREES
2	49000.00	1.12	0	0	49000.00	1.12	7 TREES
3	49000.00	1.12	2928.45	0.07	46071.55	1.06	7 TREES
4	49000.00	1.12	6532.28	0.15	42467.72	0.97	7 TREES
5 *	98000.00	2.25	48798.10	1.12	49201.90	1.13	12 TREES
6	101665.75	2.33	43776.07	1.00	57889.68	1.33	12 TREES
7	49000.00	1.12	0	0	49000.00	1.12	7 TREES
8	49000.00	1.12	0	0	49000.00	1.12	7 TREES
9	79835.27	1.83	11342.89	0.26	68492.38	1.57	10 TREES

\* LOT 5 THIRTY (30) FOOT FUTURE WETLAND IMPACT FOR DRIVEWAY IS NOT INCLUDED IN WETLAND/BUFFER AREA. SEE NOTE 13 OF SITE PLAN AND DEVELOPMENT NOTES ON SHEET 2.

UPLAND BUFFER NOTE:  
TWENTY FIVE FOOT AVERAGE UPLAND BUFFER REQUIRED = 107,138.57 S.F.  
TOTAL UPLAND BUFFER PROVIDED = 124,508.20 S.F.

LANDSCAPE NOTES:  
THE PERIMETER LANDSCAPE STRIPS ADJACENT TO FORD ROAD AND CARROLL ROAD ARE A REQUIREMENT OF THIS SUBDIVISION. THE EXISTING TREES SHALL REMAIN TO FULFILL THE LANDSCAPE REQUIREMENT EXCEPT WHERE DRIVEWAYS ARE TO BE PROVIDED PER 37.05D(2)LDC. IF EXISTING TREES DO NOT MEET THE PLANTING REQUIREMENT IN 37.05D(2)LDC, ADDITIONAL TREES SHALL BE PLANTED.

SECTION 9  
SECTION 10



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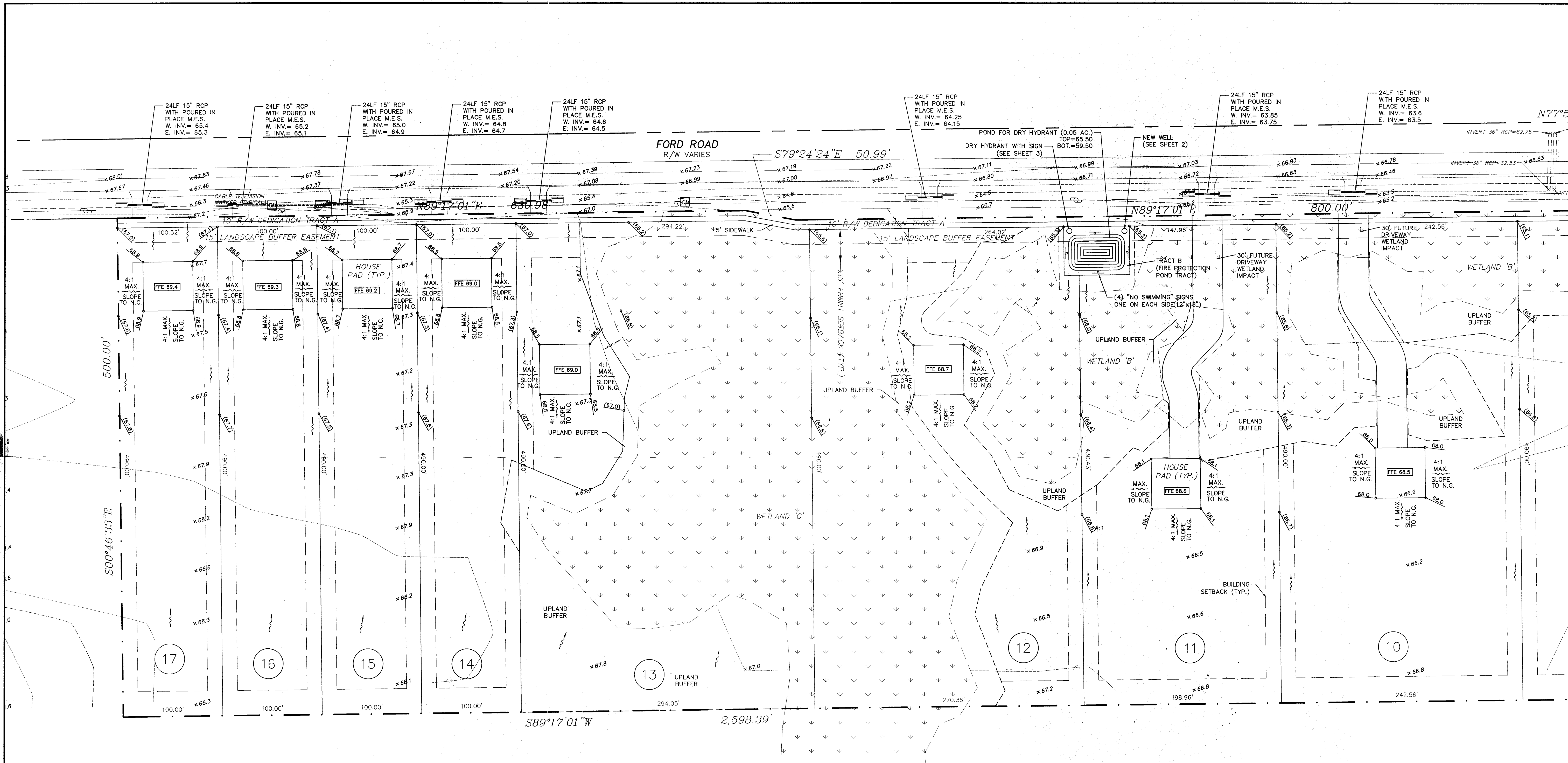
VERSION: ACAD14  
DRAWN BY: DADJ  
DESIGNED BY: JML  
APPROVED BY: JML  
DATE: JUNE 2020

NO.	REVISION	BY	DATE
3	REVISED PER COUNTY REVIEW	DAD	1/22/21
2	REVISED PER COUNTY REVIEW	DAD	11/23/20
1	REVISED PER COUNTY REVIEW	DAD	9/22/20

**EAST DRAINAGE PLAN OF  
STABLES AT CARY FOREST  
FOR  
FORD INVESTMENTS, LLC.**

DRAWING NO. 4 OF 8  
JOB NO. 2002  
FILE: 2002

SEAL & SIGNATURE:  
JAMES M. LUCAS, P.E. 18370



- NOTES:
1. ANY DISTURBED AREAS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE SOODED.
  2. UPLAND BUFFERS SHALL BE MAINTAINED IN THEIR NATURAL VEGETATED CONDITION. NATIVE VEGETATION REMOVED OR DESTROYED WITHIN THE UPLAND BUFFER IN VIOLATION OF NASSAU COUNTY COMPREHENSIVE PLAN POLICY 1.04A.02 SHALL BE RESTORED. THESE AREAS SHALL BE REPLANTED WITH COMPARABLE NATIVE VEGETATIVE SPECIES AS WERE REMOVED OR DESTROYED. NOXIOUS AND NON-NATIVE INVASIVE PLANT MATERIALS CAN BE REMOVED. DEAD VEGETATION CAN BE REMOVED. LIMBING CAN OCCUR WITHIN THE BUFFERS, PROVIDED THAT THE LIMBS TO BE REMOVED ARE LESS THAN THREE (3) INCHES IN DIAMETER. WHERE THE UPLAND BUFFER IS, OR WILL BE, SUBJECT TO A CONSERVATION EASEMENT, THE PLAT WILL IDENTIFY SUCH CONSERVATION EASEMENT AND INDICATE IT HAS THAT MEANING PRESCRIBED BY 704.06, F.S.
  3. RIGHT-OF-WAY PERMITS WILL BE REQUIRED FOR SIDEWALK CONSTRUCTION. A PERMIT WILL BE REQUIRED FOR THE DRY HYDRANT POND CONSTRUCTION. CONTACT NASSAU COUNTY ENGINEERING SERVICES FOR PERMITS: (904) 530-6225.
  4. LDC 37.05.C.1 ONE AND TWO-FAMILY DWELLINGS. EACH SINGLE-FAMILY AND TWO-FAMILY LOT MUST PROVIDE AT LEAST ONE (1) TREE PER THREE THOUSAND (3,000) SQUARE FEET OF LOT AREA FOR THE FIRST QUARTER ACRE OF LOT AREA. FOR LOTS EXCEEDING ONE-QUARTER (1/4) ACRE, ONE (1) TREE FOR EVERY ADDITIONAL ONE-QUARTER (1/4) ACRE, OR MAJOR FRACTION THEREOF, MUST BE PRESERVED OR PLANTED. EXISTING CANOPY TREES, SABAL PALMS AND PINE TREES MAY BE USED TO SATISFY THIS REQUIREMENT IN WHOLE OR IN PART, PROVIDED THAT THEY HAVE A MINIMUM CALIPER OF FOUR (4) INCHES DBH. WHEN TREES ARE PLANTED TO MEET THE MINIMUM REQUIREMENT THEY MUST BE MORE THAN ONE SPECIES OF TREE LISTED IN TABLES 37-1 OR 37-2 AND MEETING THE MATERIAL STANDARDS OF THIS SECTION. THE FOREGOING REPRESENT THE ENTIRE REQUIREMENT APPLICABLE TO INDIVIDUAL ONE AND TWO-FAMILY DWELLINGS.
  5. TREES IN WETLANDS AND UPLAND BUFFERS SHALL REMAIN.
  6. THE PERIMETER LANDSCAPE STRIPS ADJACENT TO FORD ROAD AND CARROLL ROAD ARE A REQUIREMENT OF THIS SUBDIVISION. THE EXISTING TREES SHALL REMAIN TO FULFILL THE LANDSCAPE REQUIREMENT EXCEPT WHERE DRIVEWAYS ARE TO BE PROVIDED PER 37.05 D (2) LDC. IF EXISTING TREES DO NOT MEET THE PLANTING REQUIREMENT IN 37.05 D (2) LDC, ADDITIONAL TREES SHALL BE PLANTED.
  7. SEE SHEET 2 FOR SHARED DRIVEWAY AND SIDEWALK BOND NOTES.

BUILDING SETBACKS:  
FRONT: 35 FEET  
SIDE: 15 FEET  
REAR: 25 FEET

NOTE: EACH LOT WILL NEED A SEPARATE BUILDING PERMIT. THE SIDEWALK CONSTRUCTION, M.O.T. AND SILT FENCE WILL BE DESIGNED, PERMITTED AND INSTALLED AT THAT TIME.

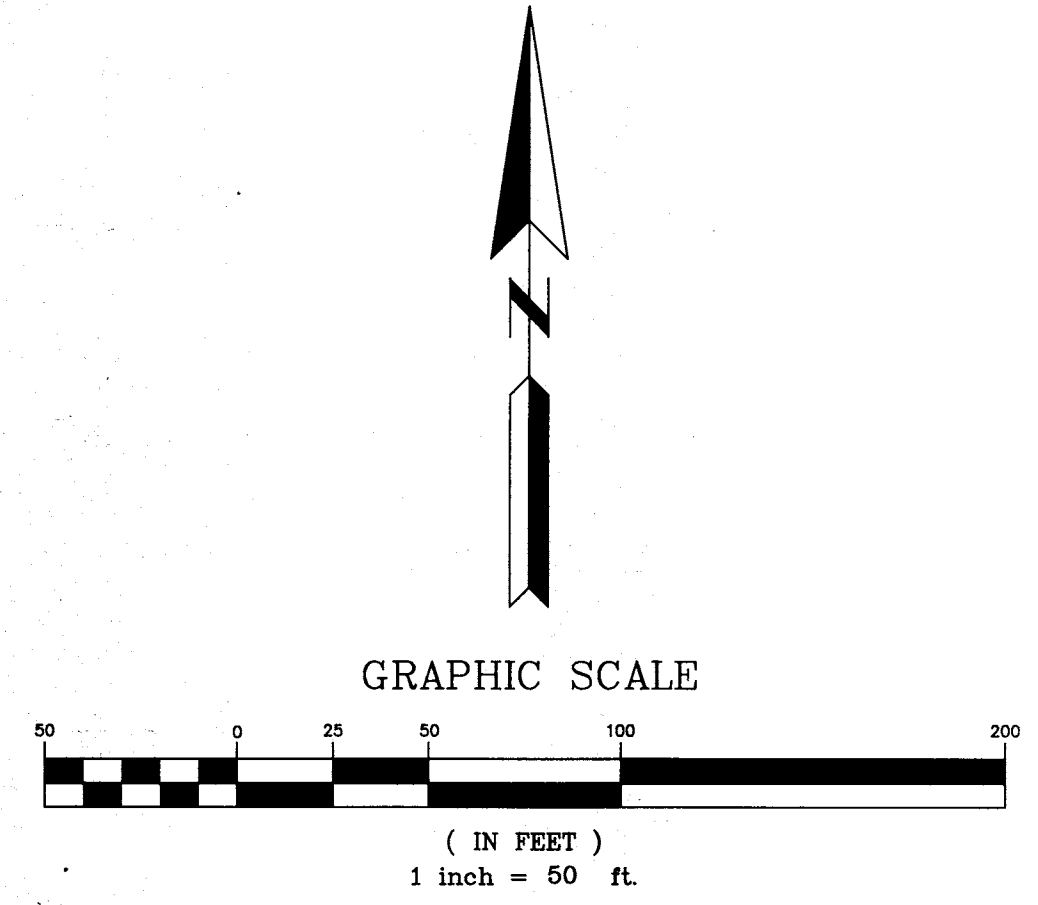
LOT TABLE							TREES	
LOT #	TOTAL AREA (S.F.)	TOTAL AREA (AC.)	WETLANDS & BUFFER (S.F.)	WETLANDS & BUFFER (AC.)	NET AREA (S.F.)	NET AREA (AC.)	TREES PER 37-1 OR 37-2	
10 *	116426.83	2.67	40632.15	0.93	75794.68	1.74	14 TREES	
11 *	92972.95	2.13	36985.56	0.85	55987.39	1.28	12 TREES	
12	129031.30	2.96	94963.96	2.18	34067.34	0.78	15 TREES	
13	143689.21	3.30	121020.92	2.78	22668.29	0.52	16 TREES	
14	49000.00	1.12	1073.50	0.02	47926.50	1.10	7 TREES	
15	49000.00	1.12	0	0	49000.00	1.12	7 TREES	
16	49000.00	1.12	0	0	49000.00	1.12	7 TREES	
17	49000.00	1.12	0	0	49000.00	1.12	7 TREES	

\* LOT 10 AND 11 THIRTY (30) FOOT FUTURE WETLAND IMPACT FOR DRIVEWAY IS NOT INCLUDED IN WETLAND/BUFFER AREA. SEE NOTE 13 OF SITE PLAN AND DEVELOPMENT NOTES ON SHEET 2.

UPLAND BUFFER NOTE:  
TWENTY FIVE FOOT AVERAGE UPLAND BUFFER REQUIRED = 107,138.57 S.F.  
TOTAL UPLAND BUFFER PROVIDED = 124,508.20 S.F.

WETLAND 'A'  
UPLAND BUFFER REQUIRED: 20,042.50 S.F. - PROVIDED: 25,934.41 S.F.  
WETLAND 'B'  
UPLAND BUFFER REQUIRED: 43,969.00 S.F. - PROVIDED: 51,193.33 S.F.  
WETLAND 'C'  
UPLAND BUFFER REQUIRED: 38,361.75 S.F. - PROVIDED: 42,615.14 S.F.  
WETLAND 'D'  
UPLAND BUFFER REQUIRED: 4,765.32 S.F. - PROVIDED: 4,765.32 S.F.

LANDSCAPE NOTES:  
THE PERIMETER LANDSCAPE STRIPS ADJACENT TO FORD ROAD AND CARROLL ROAD ARE A REQUIREMENT OF THIS SUBDIVISION. THE EXISTING TREES SHALL REMAIN TO FULFILL THE LANDSCAPE REQUIREMENT EXCEPT WHERE DRIVEWAYS ARE TO BE PROVIDED PER 37.05D(2)LDC. IF EXISTING TREES DO NOT MEET THE PLANTING REQUIREMENT IN 37.05D(2)LDC, ADDITIONAL TREES SHALL BE PLANTED.



J. LUCAS & ASSOCIATES, INC.  
CONSULTING AND DESIGN ENGINEERS  
CERTIFICATE OF AUTHORIZATION NO. 3981  
1305 CEDAR STREET - JACKSONVILLE, FL 32207  
PH (904) 396-3060 FAX (904) 396-3456

VERSION: ACAD14  
DRAWN BY: DADJ  
DESIGNED BY: JML  
APPROVED BY: JML  
DATE: JUNE 2020

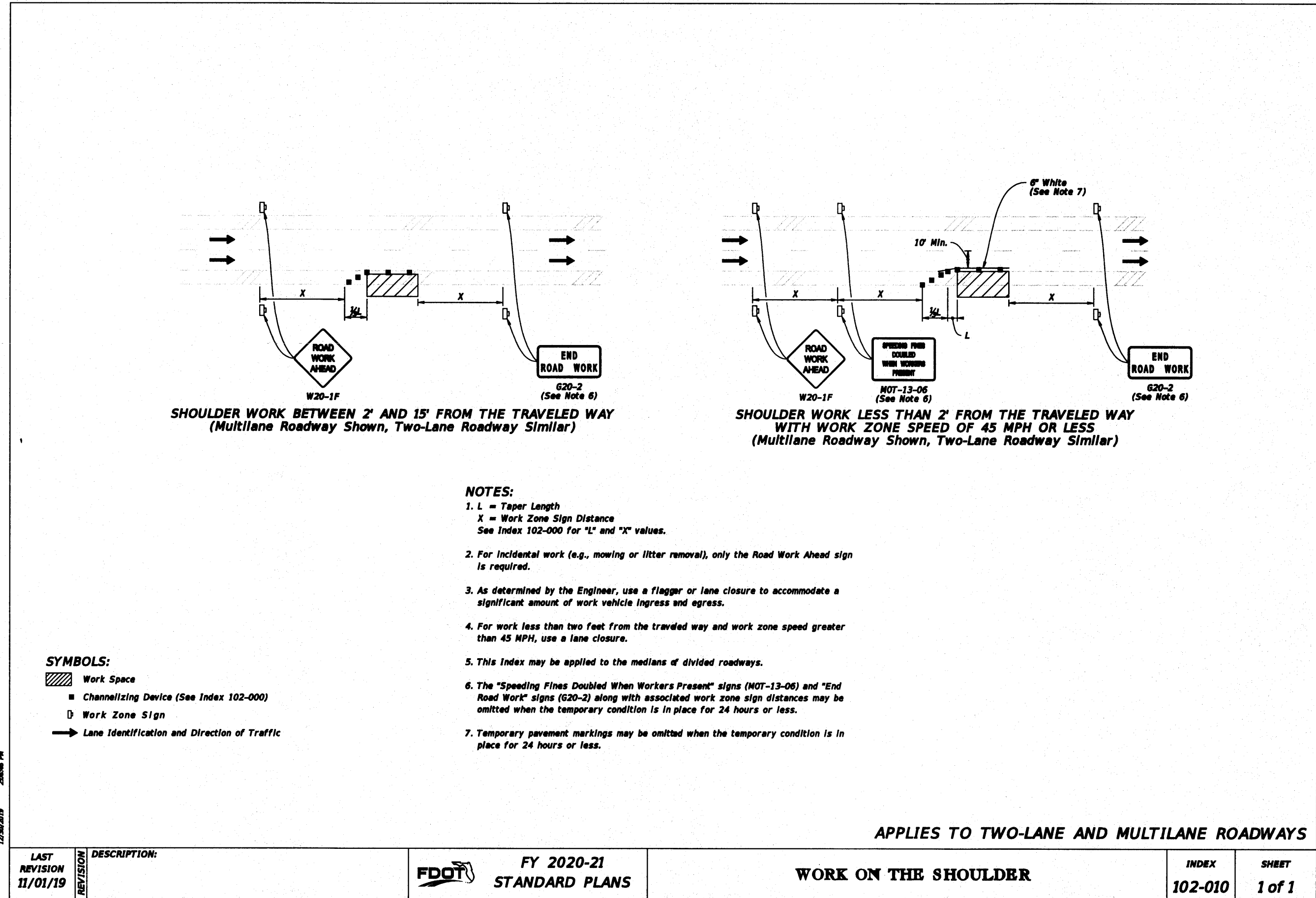
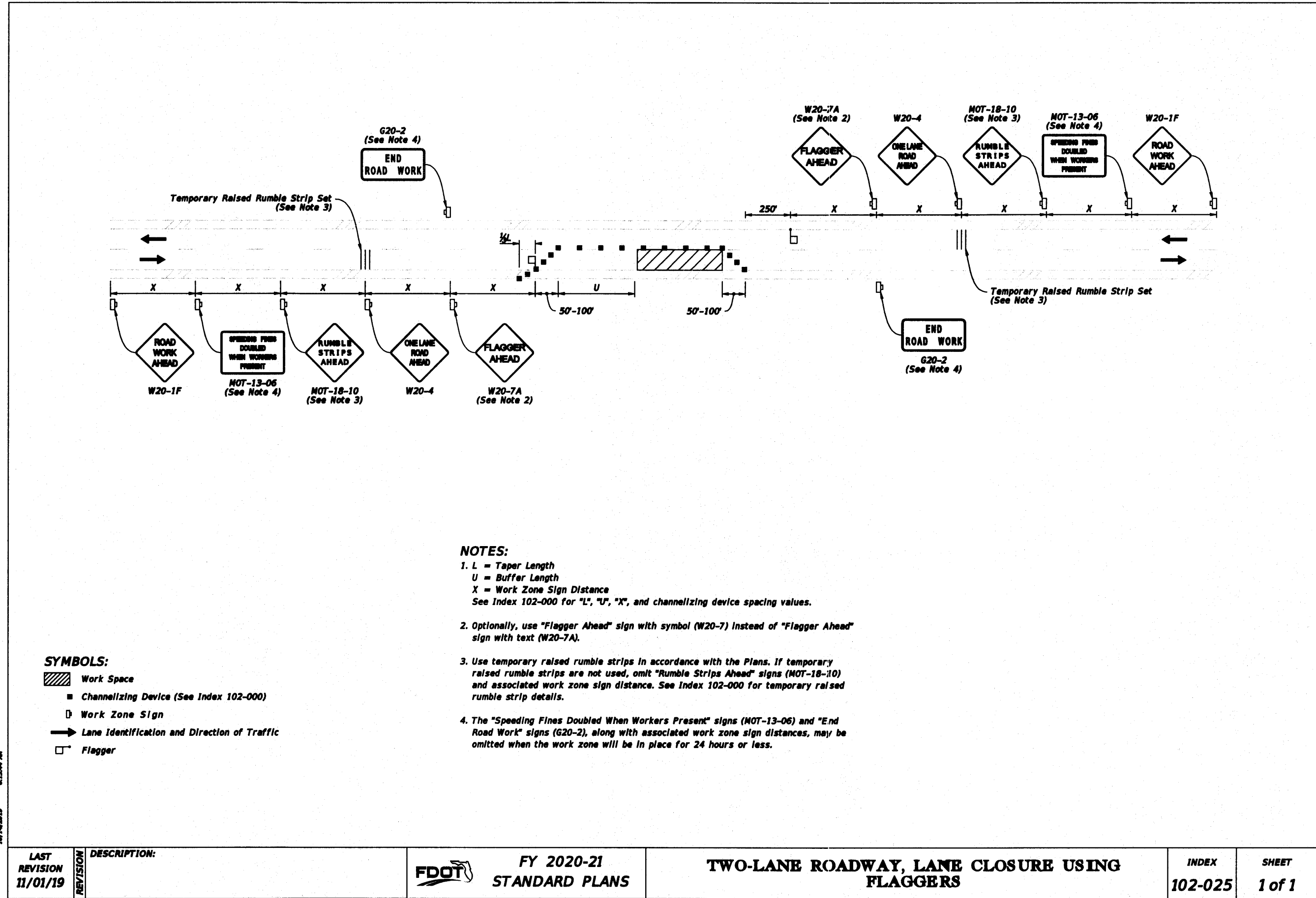
NO.	REVISION	BY	DATE
3	REVISED PER COUNTY REVIEW	DAD	1/22/21
2	REVISED PER COUNTY REVIEW	DAD	11/23/20
1	REVISED PER COUNTY REVIEW	DAD	9/22/20

WEST DRAINAGE PLAN OF  
STABLES AT CARY FOREST  
FOR  
FORD INVESTMENTS, LLC.

DRAWING NO.  
5 OF 8  
JOB NO. 2002  
FILE: 2002

SEAL & SIGNATURE:  
JAMES M. LUCAS, P.E. 16370





J. LUCAS & ASSOCIATES, INC.  
CONSULTING AND DESIGN ENGINEERS  
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1305 CEDAR STREET - JACKSONVILLE, FL 32207  
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VERSION: ACAD.14  
DRAWN BY: DAD  
DESIGNED BY: JML  
APPROVED BY: JML  
DATE: JUNE 2020

NO.	REVISION	BY	DATE

M.O.T. DETAILS OF  
STABLES AT CARY FOREST  
FOR  
FORD INVESTMENTS, LLC.

DRAWING NO. 6 OF 8  
JOB NO. 2002  
FILE: 2002MOT

SEAL & SIGNATURE:  
JAMES M. LUCAS, P.E. 18370







