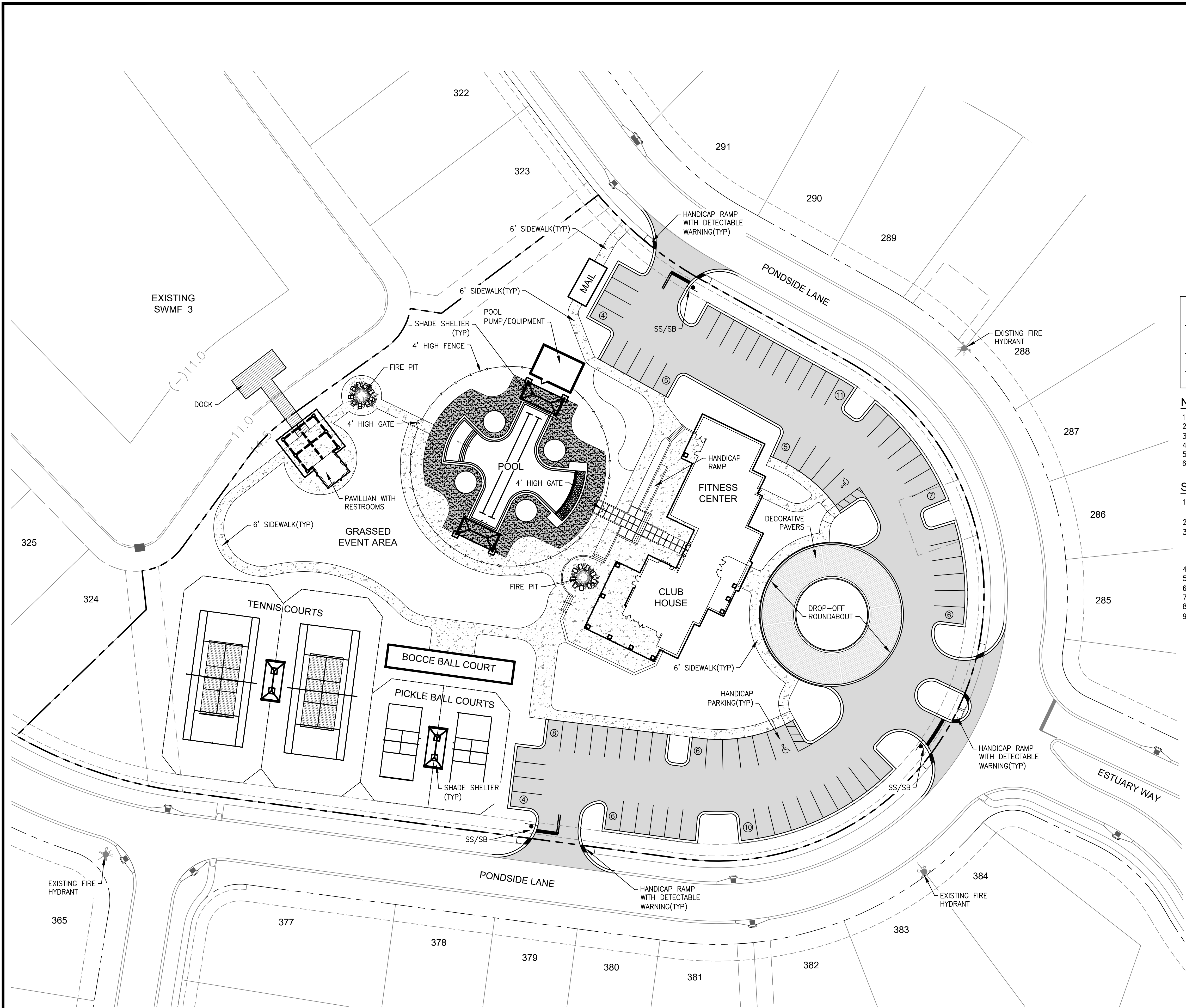




LEGEND

- SITE BOUNDARY
RIGHT OF WAY
FENCE
PROPOSED PAVEMENT
PROPOSED POOL DECK
EXISTING PAVEMENT
STOP SIGN & 24"STOP BAR
- SS/SB

PARKING CALCULATIONS

TOTAL FLOOR SPACE PROPOSED - 5,434 SQ.FT.
1 PARKING SPACE PER EVERY 200 SQ.FT. OF GROSS FLOOR SPACE

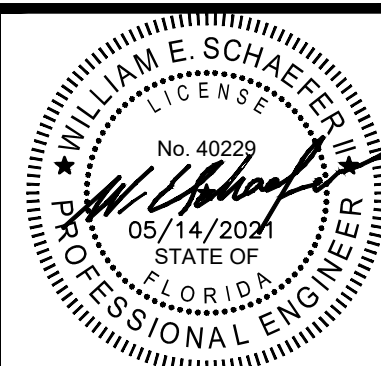
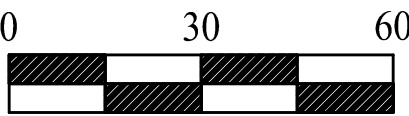
TOTAL SPACES REQUIRED - 5,434/200 = 27.17 (28 SPACES)
HANDICAP PARKING SPACES REQUIRED - 21 TO 50 SPACES REQUIRED = 2 HANDICAP SPACES
TOTAL SPACES PROVIDED - 72 SPACES: 70 REGULAR SPACES AND 2 HANDICAP SPACES

NOTES:

1. BOUNDARY INFORMATION AND TOPOGRAPHIC DATA PROVIDED BY CLARY AND ASSOCIATES.
2. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED ON PLANS.
3. ALL CROSSWALKS SHALL BE 12" WIDE SOLID WHITE.
4. ALL STRIPING AND SIGNAGE SHALL MEET NASSAU COUNTY STANDARDS AND SPECIFICATIONS.
5. ALL HANDICAPPED RAMPS SHALL MEET NASSAU COUNTY STANDARDS AND SPECIFICATIONS.
6. ALL RAISED PAVEMENT MARKERS TO BE INSTALLED PER FDOT INDEX 17352.

SITE DATA SUMMARY

1. TOTAL ACRES - 144,160 SQ.FT. (3.31 AC)
TOTAL DEVELOPED - 139,480 SQ.FT. (3.20 AC)
2. FLUM - MULTI-USE / PUD
3. PROPOSED TOTAL BUILDING SQ.FT. (UNDER ROOF):
CLUB HOUSE - 5,195 SQ.FT.
PAVILLIAN RESTROOMS - 239 SQ.FT.
TOTAL PROPOSED - 5,434 SQ.FT.
4. THE FLOOR AREA RATIO (FAR) PERCENTAGE - 3.8%
5. MAX BUILDING HEIGHTS - 35 FT.
6. TOTAL IMPERVIOUS AREA - 54,725 SQ.FT. (1.26 AC.) (38%)
7. MAX ISR: 75%
8. MAX FLOOR AREA RATIO: 70%
9. REQUIRED SETBACKS: (FRONT: 0', SIDES: 0', REAR: 0')
i. 10' SEPARATION BETWEEN ALL STRUCTURES



DOMINION ENGINEERING GROUP, INC.

PLANNERS AND ENGINEERS

4348 SOUTHPOINT BLVD, SUITE 201, JACKSONVILLE, FLORIDA 32216

TEL: 904-854-4500 REGISTRY NUMBER: 26821 FAX 904-854-4505

www.dom-eng.com

TRIBUTARY UNIT 4 AMENITY CENTER

FOR

THREE RIVERS DEVELOPMENT, LLC

SITEPLAN PLAN

REVISIONS

PLOT DATE:
DRAWN BY: XXX
DESIGNED BY: XXX
CHECKED BY: WES
SCALE: AS NOTED
JOB NO.: XXXX.XXX
© LATEST DATE HEREON
SHEET NO.

C1

OF XX