

ENGINEERING PLANS

FOR

NEW SERVICE STATION AT SHOPPES AT AMELIA CONCOURSE

FOR

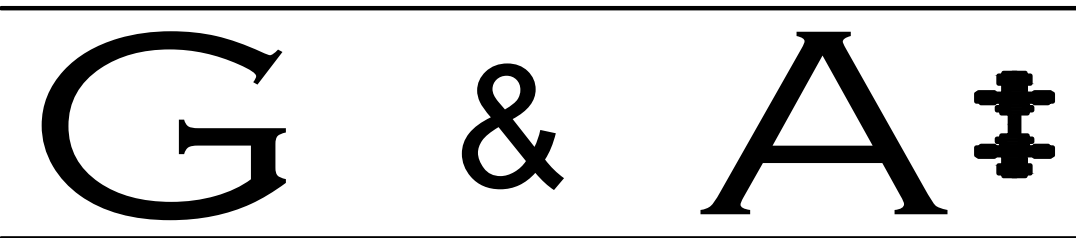
EXPRESS OIL

GILLETTE & ASSOCIATES, INC.

CIVIL & ENVIRONMENTAL ENGINEERING
MECHANICAL & STRUCTURAL ENGINEERING
PERMITTING & CONSTRUCTION MANAGEMENT

20 SOUTH 4TH STREET AMELIA ISLAND, FLORIDA 32034
PHONE: 904/261-8819

PERMITTING AGENCIES
NASSAU COUNTY, FLORIDA
ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
JEA



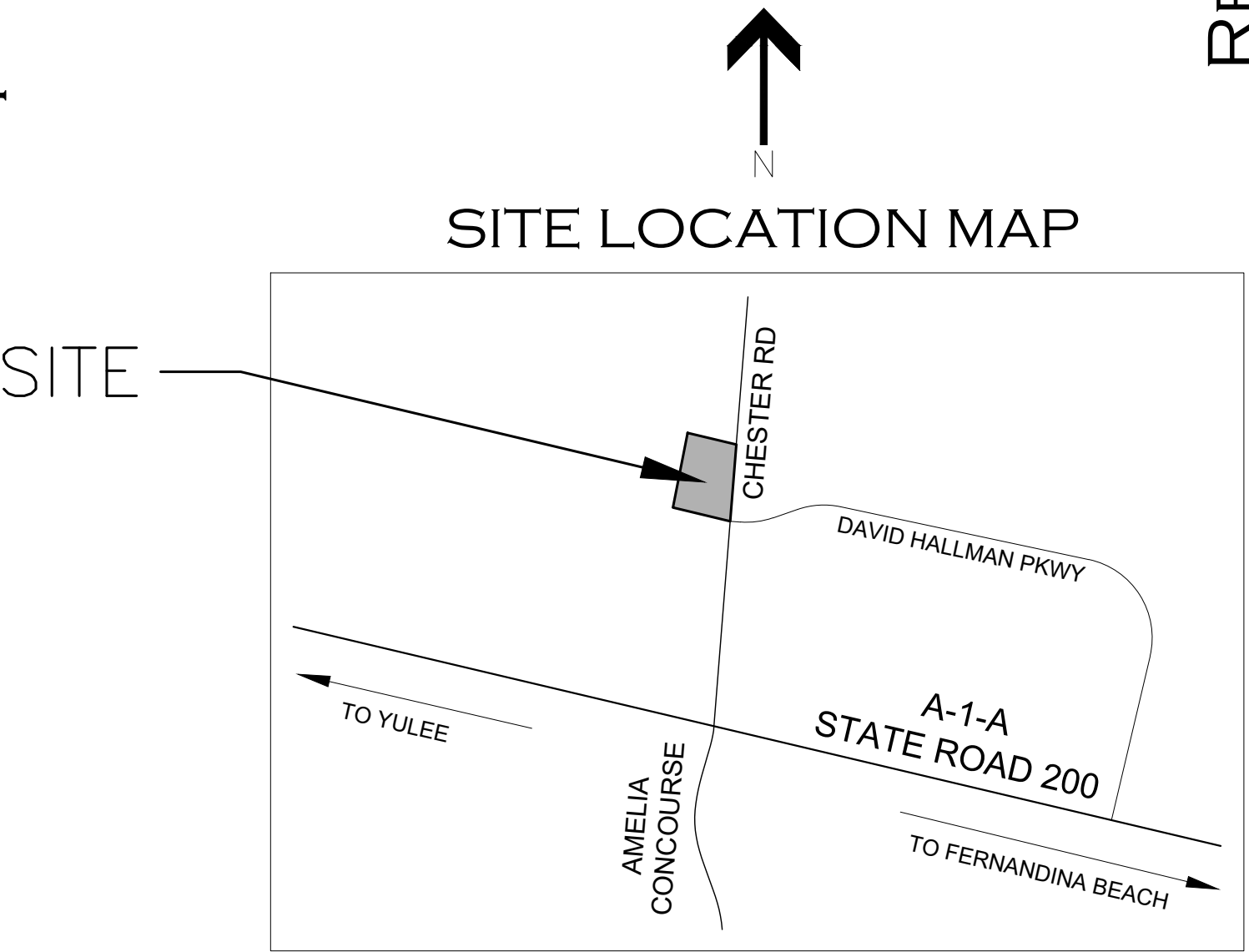
ISSUE DATE: MAY 5, 2021
REVISION DATE: JUNE 1, 2021

G&A Project
No.: 21-10-02

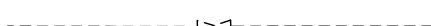
NEW SERVICE STATION
AT SHOPPES AT AMELIA CONCOURSE

FOR
EXPRESS OIL

RELEASED FOR CONSTRUCTION BY _____



K				Scale: NONE	Gillette & Associates, Inc. 20 South 4th Street Fernandina Beach, FL 32034	 GILLETTE & ASSOCIATES, INC. 20 SOUTH 4TH STREET FERNANDINA BEACH, FL 32034 PHONE: (904) 261-8819	EXPRESS OIL SHOPPES AT AMELIA CONCOURSE 463821 SR 200 YULEE, FLORIDA	NEW AUTOMOTIVE SERVICE STATION	COVER SHEET	REGISTERED DESIGN PROFESSIONAL ASA R. GILLETTE, P.E. FLORIDA P.E. NO. 56177	DATE: 06/01/21
J				Project Mgr: AG							
H				Designed by: AG/EC	Certificate of Authorization No. 9332						
G				Drawn by: EC	DO NOT SCALE THIS DRAWING — DIMENSIONS AND NOTES TAKE PREFERENCE. DRAWING IS REDUCED IF LESS THAN 22" x 34"						
F				QA/QC: NG							
E											
D											
C											
B	EC	06/01/21	REVISED PER NASSAU COUNTY COMMENTS								
A	EC	05/05/21	NASSAU COUNTY ENGINEERING REVIEW								
No.	By	Date	Revision								Project No. 21-10-02

SITE / GEOMETRY NOTES		SITE / GEOMETRY NOTES CONT.		INDEX																															
1. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES OF HIS EMPLOYEES, AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTOR'S PRICE FOR PERFORMING THE WORK. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING HIMSELF WITH THE NATURE AND THE EXTENT OF THE WORK AND LOCAL CONDITIONS, EITHER SURFACE OR SUBSURFACE, WHICH MAY AFFECT THE WORK TO BE PERFORMED, AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THIS CONTRACT. THE CONTRACTOR IS URGED TO TAKE COLOR PHOTOGRAPHS ALONG THE ROUTE OF THIS PROJECT TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND TO AID IN RESOLVING POSSIBLE FUTURE COMPLAINTS THAT MAY OCCUR DUE TO CONSTRUCTION OF THE PROJECT. ALL COSTS ASSOCIATED WITH PRELIMINARY INVESTIGATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. 3. ALL IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE DEVELOPER. 4. ELEVATIONS ARE BASED ON NAVD DATUM OF 1988. 5. TOPOGRAPHIC AND BOUNDARY INFORMATION WAS PROVIDED BY: MANZIE AND DRAKE LAND SURVEYING (904-491-5700). 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BUILDING, RIGHT-OF-WAY PERMITS NOT PROVIDED AND INSURANCE REQUIRED FOR THE PROJECT. 7. THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN COUNTY OR STATE RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION & REPAIR. 8. THE CONTRACTOR SHALL ADVISE THE OWNER'S AUTHORIZED REPRESENTATIVE OF PLANNED WORK SCHEDULE. THE CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD, AND THE OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION. 9. "AS-BUILT" DRAWINGS - AS-BUILTS ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR. THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION, AND SUBMITTAL OF AS-BUILT DRAWINGS. 10. "AS-BUILT" RECORD DATA AND INFORMATION SHALL BE MAINTAINED BY THE CONTRACTOR. RECORD DRAWINGS SHALL BE SUPPLIED TO THE ENGINEER. 11. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT. 12. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR ON A DAILY BASIS. 13. ALL EXCESS SUITABLE AND UNSUITABLE MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY THE ENGINEER. 14. ALL EXISTING TREES LISTED TO REMAIN SHALL BE PRESERVED AND PROTECTED. 15. THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES, AND IMPROVEMENTS ON THE DRAWINGS ARE BASED ON LIMITED INFORMATION AND MAY NOT HAVE BEEN FIELD VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS AND FIELD VERIFY LOCATIONS OF EXISTING UTILITIES AND OTHER IMPROVEMENTS PRIOR TO COMMENCING ANY CONSTRUCTION. IF THE LOCATIONS SHOWN ARE CONTRARY TO ACTUAL FIELD LOCATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF THE DISCREPANCY. THE DISCREPANCY SHOULD BE RESOLVED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS NEAR EXISTING UTILITY IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR REPAIRS OR PAYMENTS FOR ALL DAMAGE MADE TO EXISTING UTILITIES OR OTHER IMPROVEMENTS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES, INVERTS, AND TYPE OF MATERIAL OF EXISTING UTILITIES TO WHICH THEY SHALL CONNECT. 16. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER ON ALL MATERIALS, FOR REVIEW AND APPROVAL, PRIOR TO PURCHASE OR CONSTRUCTION OF ANY UTILITY OR STRUCTURE. 17A. UNSUITABLE MATERIALS UNDER WATER, SEWER, OR STORM PIPE AND/OR STRUCTURES SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL COMPACTED TO 98% OF IT'S MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D1557). 17B. ALL FINISH FLOORS SHOWN ON THE PLANS ARE MINIMUM ELEVATIONS 18. ALL WATER & SEWER CONSTRUCTION SHALL BE ACCOMPLISHED BY AN UNDERGROUND UTILITY CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 489 FLORIDA STATUTES. 19. WHEN DEWATERING CAPACITY REQUIRES A PERMIT (CUP), IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT. 20. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY HAZARD. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. WHERE PARALLEL WATER AND SEWER MAINS HAVE LESS THAN 10 FOOT HORIZONTAL SEPARATION, 20 FOOT LENGTHS OF C900 (DR18) WATER QUALITY PIPE SHALL BE USED WITH THE JOINTS STAGGERED AT 10 FOOT INTERVALS. THE PIPES SHALL BE PLACED IN SEPARATE TRENCHES WITH THE WATER MAIN AT LEAST 18 INCHES ABOVE THE SEWER.		21. WATER MAINS CROSSING SANITARY HAZARDS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER MAIN. WHERE WATER AND SEWER MAINS CROSS WITH BETWEEN 18 INCHES AND 6 INCHES OF VERTICAL CLEARANCE, A 20 FOOT SECTION OF C900 (DR18) WATER QUALITY PIPE SHALL BE CENTERED ON THE POINT OF THE CROSSING. THE CONTRACTOR SHALL FIELD VERIFY THE VERTICAL SEPARATION. THE MINIMUM SEPARATION BETWEEN WATER AND SEWER PIPES IS TO BE 6 INCHES OUTSIDE DIAMETER TO OUTSIDE DIAMETER. 22. NO WATER MAIN PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER MANHOLE. 23. BLANK 24. TRACER WIRE SHALL BE PROVIDED ON ALL WATER MAINS AND FORCE MAINS. TRACER WIRE SHALL BE #10 UF SOLID COPPER WIRE, COATED, AND SUITABLE FOR BURIAL. COATING SHALL BE BLUE FOR WATER AND GREEN FOR SEWER MAIN CONNECTIONS. WIRE SHALL BE ATTACHED DIRECTLY TO TOP OF PIPE AND BROUGHT INTO EACH VALVE BOX AND COILED TO ALLOW FOR EASY ACCESS AND EXTENSION ABOVE FINISHED GRADE FOR ATTACHMENT OF LOCATING EQUIPMENT. 25. ALL PIPE LENGTHS ARE APPROXIMATE DIMENSIONS. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM WITH TYPICAL SECTIONS AND DETAILS AS SHOWN ON THE MISCELLANEOUS DETAILS SHEET AND IN ACCORDANCE WITH THE SPECIFICATIONS. 26. ALL UNDERGROUND UTILITIES MUST BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT. 27. GRADES SHOWN ON PLANS ARE EDGE OF PAVEMENT FINISHED GRADES UNLESS OTHERWISE NOTED. 28. SHOULD THE SURFACE OR SUBSURFACE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. 29. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED AND MULCHED UNLESS OTHERWISE SPECIFICALLY STATED. ALL DISTURBED AREAS WITHIN THE NASSAU COUNTY RIGHT OF WAY SHALL BE COVERED WITH BERMUDA SOD. 30. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF SEDIMENT-LADEN RUNOFF RESULTING FROM STORM EVENTS DURING THE CONSTRUCTION PHASE. EROSION CONTROL FACILITIES SHOULD BE INSTALLED EARLY DURING THE CONSTRUCTION PERIOD SO AS TO PREVENT THE TRANSPORT OF SEDIMENT INTO SURFACE WATERS. RE-VEGETATION AND STABILIZATION OF DISTURBED AREAS SHOULD BE ACCOMPLISHED IMMEDIATELY TO REDUCE THE POTENTIAL FOR FURTHER SOIL EROSION. 31. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND COUNTY/CITY BEFORE COMMENCING WORK. 32. MINIMUM COVER OVER PIPES SHALL BE 36" UNLESS OTHERWISE INDICATED. 33. ALL UNDERGROUND UTILITY COMPANIES SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION. 34. IN ADDITION TO THE SPECIFICATIONS AND DETAILS PROVIDED FOR THIS CONTRACT, THE NASSAU COUNTY STANDARD DETAILS AND SPECIFICATIONS (LATEST REVISION) SHALL ALSO BE USED FOR ANY ITEMS NOT COVERED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A SET OF STANDARD DETAILS AND SPECIFICATIONS FROM NASSAU COUNTY. 35. BACKFILL MATERIAL SHALL BE COMPACTED TO 100% (2%) UNDER EXISTING AND PROPOSED ROADWAYS. 36. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN TO BE MADE WITHOUT PRIOR APPROVAL OF THE ENGINEER. 37. STATIONING REFERS TO THE CENTERLINE OF THE ROADWAY EXCEPT AS NOTED ON PLANS. WHERE PAVEMENT SPLITS, THE STATIONING FOLLOWS THE INSIDE EDGE OF PAVEMENT UNTIL ROADWAY TRANSITIONS BACK TO THE TYPICAL ROADWAY SECTION 38. ALL CONSTRUCTION, MATERIAL, AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH COUNTY STANDARDS. 39. A PRECONSTRUCTION MEETING WITH NASSAU COUNTY ENGINEERING SERVICES CONSTRUCTION INSPECTOR IS REQUIRED (904-530-6225).		<table><tr><th>PAGE #</th><th>SHEET</th><th>DESCRIPTION</th></tr><tr><td>1</td><td>CVR</td><td>COVER SHEET</td></tr><tr><td>2</td><td>IN-1</td><td>INDEX SHEET</td></tr><tr><td>3</td><td>NC-1</td><td>NASSAU COUNTY NOTES </td></tr><tr><td>4</td><td>PRE-1</td><td>PREDEVELOPMENT PLAN</td></tr><tr><td>5</td><td>GE-1</td><td>GEOMETRY PLAN</td></tr><tr><td>6</td><td>UT-1</td><td>UTILITY PLAN</td></tr><tr><td>7</td><td>DR-1</td><td>DRAINAGE PLAN</td></tr><tr><td>8</td><td>LS-1</td><td>LANDSCAPE PLAN</td></tr><tr><td>9</td><td>DT-1</td><td>MISCELLANEOUS DETAILS</td></tr></table>		PAGE #	SHEET	DESCRIPTION	1	CVR	COVER SHEET	2	IN-1	INDEX SHEET	3	NC-1	NASSAU COUNTY NOTES 	4	PRE-1	PREDEVELOPMENT PLAN	5	GE-1	GEOMETRY PLAN	6	UT-1	UTILITY PLAN	7	DR-1	DRAINAGE PLAN	8	LS-1	LANDSCAPE PLAN	9	DT-1	MISCELLANEOUS DETAILS
PAGE #	SHEET	DESCRIPTION																																	
1	CVR	COVER SHEET																																	
2	IN-1	INDEX SHEET																																	
3	NC-1	NASSAU COUNTY NOTES 																																	
4	PRE-1	PREDEVELOPMENT PLAN																																	
5	GE-1	GEOMETRY PLAN																																	
6	UT-1	UTILITY PLAN																																	
7	DR-1	DRAINAGE PLAN																																	
8	LS-1	LANDSCAPE PLAN																																	
9	DT-1	MISCELLANEOUS DETAILS																																	
		WATER/SEWER NOTES																																	
		1. SEE JEA WATER AND SEWER DETAILS.																																	
		FIRE NOTES																																	
		1. WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO COMMENCING CONSTRUCTION WORK ON ANY STRUCTURE. (NFPA 1, 16.4.3.1.3, 2009 EDITION)																																	
		2. CLEARANCES OF SEVEN AND ONE HALF FEET (7 FT-6 IN.) IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT, WITH A FOUR FOOT CLEARANCE TO THE REAR OF THE HYDRANT. (NFPA 1, 18.3.4.1, 2009)																																	
		3. NEW FIRE HYDRANT(S) SHALL BE INSTALLED SO THAT POSITIONED NOT MORE THAN 7 FEET 6 INCHES AWAY FROM CURB OR BERM OF THE ROADWAY.																																	
		LEGEND																																	
		EXISTING VALVE	 SAN	PROPOSED SANITARY SEWER																															
		EXISTING WATER LINE	 WM	PROPOSED WATER LINE																															
		EXISTING SANITARY SEWER		PROPOSED SPOT ELEVATION																															
		EXISTING FIRE HYDRANT	S-5	DRAINAGE STRUCTURE																															
		EXISTING PROPERTY LINE	P-1	PIPE																															

K				Scale: NONE	Gillette & Associates, Inc. 20 South 4th Street Fernandina Beach, FL 32034	 GILLETTE & ASSOCIATES, INC. 20 SOUTH 4TH STREET FERNANDINA BEACH, FL 32034 PHONE: (904) 261-8819	EXPRESS OIL SHOPPES AT AMELIA CONCOURSE 463821 SR 200 YULEE, FLORIDA	NEW AUTOMOTIVE SERVICE STATION	INDEX SHEET	REGISTERED DESIGN PROFESSIONAL ASA R. GILLETTE, P.E. FLORIDA P.E. NO. 56177	DATE: 06/01/21
J				Project Mgr: AG							Sheet IN-1
I				Designed by: AG/EC							Page 2 of 9
H				Drawn by: EC	DO NOT SCALE THIS DRAWING — DIMENSIONS AND NOTES TAKE PREFERENCE. DRAWING IS REDUCED IF LESS THAN 22" x 34"						Project No. 21-10-02
G				QA/QC: NG							
F											
E											
D											
C											
B	EC	06/01/21	REVISED PER NASSAU COUNTY COMMENTS								
A	EC	05/05/21	NASSAU COUNTY ENGINEERING REVIEW								
No.	By	Date	Revision								

Nassau County Development Review General Notes:

1. Engineering Plans approval does not constitute permission to violate any adopted Federal, State, or Local law, code, or ordinance.
2. All work within the public streets and right-of-ways shall conform to Nassau County Land Development Codes (LDC), FDOT Standard Indices, Florida Greenbook, Nassau County Roadway and Drainage Standards, and Nassau County Standard Details as necessary. For any discrepancy between standards, the most stringent shall prevail.
3. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 6.2.4, site shall be constructed per approved construction drawings. Any substantial deviation shall be concurrently reviewed by Engineer of Record and Nassau County Development Review Committee prior to field changes.
4. A pre-construction meeting with Nassau County Engineering Services Construction Inspector is required. Attendees shall be Nassau County, Engineer of Record, Contractor, Testing firm, Paving firm, and utility companies per Nassau County Ordinance 99-17 Section 7.2.3. Nassau County may cancel pre-construction meeting if attendee list is inadequate. Nassau County Engineering Services can be reached at 904-530-6225.
5. The contractor shall schedule and coordinate all work with the appropriate Nassau County Construction Inspector assigned to the project per Nassau County Ordinance 99-17 Section 7.2.
6. All work shall be performed in a safe manner. All safety rules and guidelines of O.S.H.A. shall be followed. The contractor shall be wholly responsible for any injuries to his employees and any damage to private property or persons during the course of this project.
7. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 11.8.1, any disturbed areas within Nassau County Right-of-Way shall be sodded.
8. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 7.4.1, at the time of final inspection, grassing shall be a minimum of seventy percent coverage and fully established and/or sodding to be one hundred percent coverage and stabilized.
9. Engineer of Record approved shop drawings shall be provided to Nassau County Construction Inspector a minimum of one week before beginning structure installation.
10. Parking at mail kiosks is required per Nassau County Roadway and Drainage Standards Ordinance 99-17 Section 8.4. Mail kiosk locations are subject to USPS Postmaster approval.
11. The developer's contractor is the single responsible party for the proper implementation of an Erosion Protection Sediment Control (EPSC) within each lot or construction site. This includes the responsibility for the actions/inactions of employees, subcontractors, and/or suppliers.
12. Sidewalks to be provided and built in accordance Florida Building Code. All proposed sidewalks shall meet ADA requirements.
13. The Contractor shall comply with current Florida accessibility standards for all work on this project.
14. Per Ordinance 99-17 Section 8.5.1, minimum cover for water lines and force mains under pavement shall 42" and 36" in green areas.
15. All water, sewer, and storm water construction within Nassau County ROW shall be accomplished by an underground utility contractor licensed under the provisions of Chapter 409 of the Florida Statutes.
16. No work shall be permitted between the hours of 7:00 PM - 7:00AM without prior approval from Nassau County Engineering Services.
17. All trees required to be protected shall be flagged for protection prior to clearing.
18. All grading and placement of compacted fill shall be in accordance with the latest Nassau County Specifications.
19. Any damages (sidewalk, curb, asphalt, ditch grading, et cetera) within Public Right-of-Way shall be repaired or replaced in accordance with Nassau County Specifications. Proposed repair method shall be approved by Nassau County Engineering Services.
20. Any asphalt millings from Nassau County ROW shall be delivered to the Road Department Laydown yard located on Gene Lasserre Boulevard or Pea Farm Road. Please contact the Road Department at (904) 530-6175.
21. Per Nassau County Ordinance 99-17 Section 7.4.2 and 7.4.4, as-built drawings shall be submitted to Nassau County before a final inspection can be scheduled. As-builts submittals will be in accordance with Nassau County as-built requirement checklist. As-built drawings shall be certified by required licensed surveyor and approved by Engineer of Record.

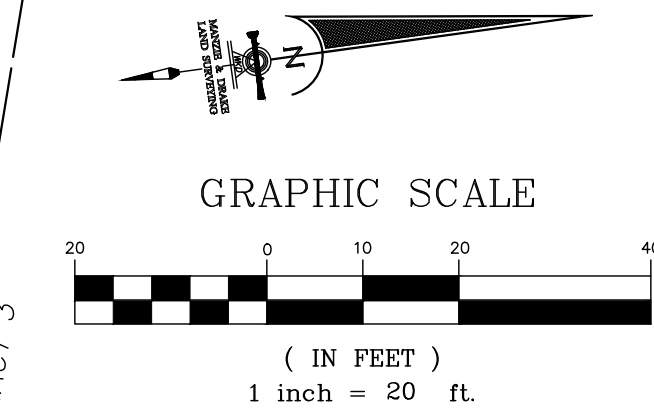
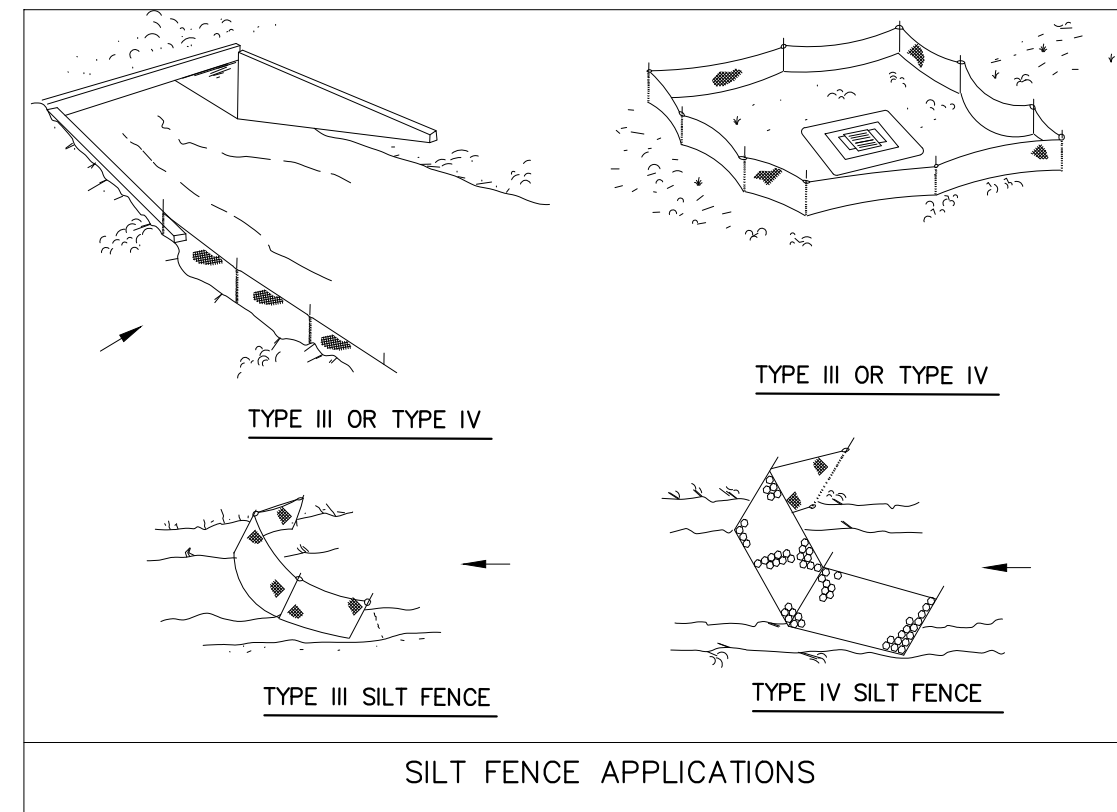
Nassau County Stormwater Drainage Notes:

1. All stormwater drainage facilities within Public Right-of-Way and paved areas, including Nassau County Right-of-Way, turn lanes, residential roadways, drive aisles for multi-family developments, and major drive aisles for commercial developments shall be laser profiled per FDOT Section 430.
2. A builder cannot modify the County's storm water management system including the pipes, inlets, area drains, ditches and related elements typically within the street or within a drainage easement without the prior written approval of the County Engineer or designee.
3. Drainage easements and ditches should remain free of stockpiled soil, sediment, mud, construction materials/waste, et cetera at all times. Positive stormwater flow must be maintained throughout construction.
4. The contractor shall temporarily or permanently stabilize bare soil areas and soil stockpiles when the area is inactive for fourteen days or more or has reached finished grade.
5. Per Ordinance 99-17 Section 11.11.5.4, all gravity flow pipe installations shall have a soil tight joint performance unless specific site factors warrant watertight joint performance.
6. Per Ordinance 99-17 Section 10.6.5.1, immediately install additional Erosion Protection Sediment Control measures if sediment is leaving your site. Failure to contain sediment to your site may result in delayed inspections, notices of violation, citations, fines, penalties, and/or stop work orders.
7. Per 99-17 Section 10.1.2.a-e, stormwater management for a project shall not have adverse effects on adjacent properties, downstream structures, or rights of other landowners.

Nassau County Paving Notes:

1. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 12.2 and 12.4, a construction bond and 26-month maintenance bond will be required for all work within Nassau County Right-of-Way.
2. A pre-pave meeting is required prior to any paving operations within Nassau County ROW, residential subdivisions, or multi-family developments.
3. Approved mix designs must be provided to Nassau County Construction Inspector 48 hours prior to pre-pave meeting or placement of concrete.
4. Contractor is required to have a Certified QC Asphalt Level II Technician during any asphalt operations within Nassau County ROW, residential subdivision, or multi-family developments.
5. All bases shall be primed in accordance with Ordinance 99-17 Section 11.5.2.3, Nassau County Standard Details, and FDOT Standard Specifications.
6. Signage and pavement markings shall be in compliance with Nassau County Standards, Manual on Uniform Traffic Control Devices (MUTCD), and FDOT Standard Plans.
7. Maintenance of Traffic (MOT) shall be in compliance with FDOT Standard Index 600 Series.
8. All work, materials, and testing performed within Nassau County right-of-way and single-family/multi-family developments shall be in accordance with the current revision of Nassau County's Ordinance 99-17 and all current Nassau County Standard Details.
9. Per Ordinance 99-17 Section 11.9.2, all pavement markings within Nassau County ROW shall be lead free thermoplastic meeting Nassau County and FDOT Standard Specification Latest Edition.
10. Removing pavement markings within Nassau County ROW shall be:
 - a. Grinding or hydro-blasting on weathered asphalt surfaces.
 - b. Hydro-blasting only on new asphalt surfaces.
 - c. Paint Blackout is prohibited.
11. Per Ordinance 99-17 Section 8.5.5, any damage to pavement resulting from construction or pavement marking removal within Public ROW not planned as part of the project shall be milled and overlaid for entire width of roadway and length of damage plus 50' in each direction.
12. All underground utilities, or appropriate conduit sleeves, that are to be installed under pavement must be installed prior to preparation of the subgrade for pavement.
13. Single Vertical Joints in roadway construction shall be avoided in Nassau County Right-of-Way using Nassau County Standard Detail #26.
14. All drainage structures shall have traffic bearing grates that meet or exceed the rating for the facilities expected traffic.
15. All concrete shall be a minimum of 3000 psi within Public Right-of-Way.

K				Scale: NONE	Gillette & Associates, Inc. 20 South 4th Street Fernandina Beach, FL 32034	 GILLETTE & ASSOCIATES, INC. 20 SOUTH 4TH STREET FERNANDINA BEACH, FL 32034 PHONE: (904) 261-8819	EXPRESS OIL SHOPPES AT AMELIA CONCOURSE 463821 SR 200 YULEE, FLORIDA	NEW AUTOMOTIVE SERVICE STATION	NASSAU COUNTY NOTES	REGISTERED DESIGN PROFESSIONAL ASA R. GILLETTE, P.E. FLORIDA P.E. NO. 56177	DATE: 06/01/21		
J				Project Mgr: AG							 SHEET NC-1	Page 3 of 9	Project No. 21-10-02
I				Designed by: AG/EC									
H				Drawn by: EC									
G				QA/QC: NG									
F													
E													
D													
C													
B	EC	06/01/21	REVISED PER NASSAU COUNTY COMMENTS										
A	EC	05/05/21	NASSAU COUNTY ENGINEERING REVIEW										
No.	By	Date	Revision										



NOW OR FORMERLY THE LANDS OF
DAYN R. PEFFERLE c/o 360FIVE, LLC
7643 GATE PARKWAY, #104-686
JACKSONVILLE, FL 32256

K				Scale: 1" = 20'	Gillette & Associates, Inc. 20 South 4th Street Fernandina Beach, FL 32034  GILLETTE & ASSOCIATES, INC. 20 SOUTH 4TH STREET FERNANDINA BEACH, FL 32034 PHONE: (904) 261-8819	EXPRESS OIL SHOPPES AT AMELIA CONCOURSE 463821 SR 200 YULEE, FLORIDA	NEW AUTOMOTIVE SERVICE STATION	PREDEVELOPMENT PLAN	REGISTERED DESIGN PROFESSIONAL ASA R. GILLETTE, P.E. FLORIDA P.E. NO. 56177	DATE: 06/01/21
J				Project Mgr: AG						Sheet PRE-1
I				Designed by: AG/EC						Page 4 of 9
H				Drawn by: EC						
G				QA/QC: NG						Project No. 21-10-02
F										
E										
D										
C										
B	EC	06/01/21	REVISED PER NASSAU COUNTY COMMENTS							
A	EC	05/05/21	NASSAU COUNTY ENGINEERING REVIEW							
No.	By	Date	Revision							

PROPERTY
PARCEL ID: 37-2N-27-1950-0005-0000
ZONING: INDUSTRIAL WAREHOUSE (IW)
LAND USE: AUTOMOBILE SERVICE STATION
LOT AREA: 43,530 SF = 1.00 Ac.
FLOOD ZONE: X

MAXIMUM LOT COVERAGE: 50%
PROPOSED BUILDING AREA: 4,724 SF
PROPOSED LOT COVERAGE: 10.9%
MAXIMUM BUILDING HEIGHT: 45 FT
PROPOSED BUILDING HEIGHT: 26 FT
FRONT SETBACK: 50 FT
SECONDARY FRONT SETBACK: 50 FT - (50 FT)*(0.2) = 40 FT
SIDE SETBACK: 20 FT
REAR SETBACK: 25 FT

MAXIMUM IMPERVIOUS SURFACE RATIO: 75%
 TOTAL PROPOSED IMPERVIOUS AREA: 27,718 SF
 PROPOSED IMPERVIOUS SURFACE RATIO: 63.7%
 REQUIRED PERVIOUS GREEN SPACE: 10% OF LOT = 4,353 SF
 PROPOSED PERVIOUS GREEN SPACE: 10,954 SF = 25.2% OF LOT

COMMERCIAL: 300 SF/SPACE
TOTAL PARKING REQUIRED:
(4,724 SF)*(1 SPACE/300 SF) = 16 SPACES
PROPOSED PARKING: 18 SPACES
TOTAL REGULAR SPACES: 17 SPACES
TOTAL ADA SPACES: 1 SPACE

NORTH: COMMUNITY (POND)
REQUIRED BUFFER: NONE

SOUTH: PRIVATE INTERNAL DRIVING AISLE
REQUIRED BUFFER: 10' PERIMETER LANDSCAPE STRIP

EAST: CHESTER ROAD
REQUIRED BUFFER: 15' PERIMETER LANDSCAPE STRIP

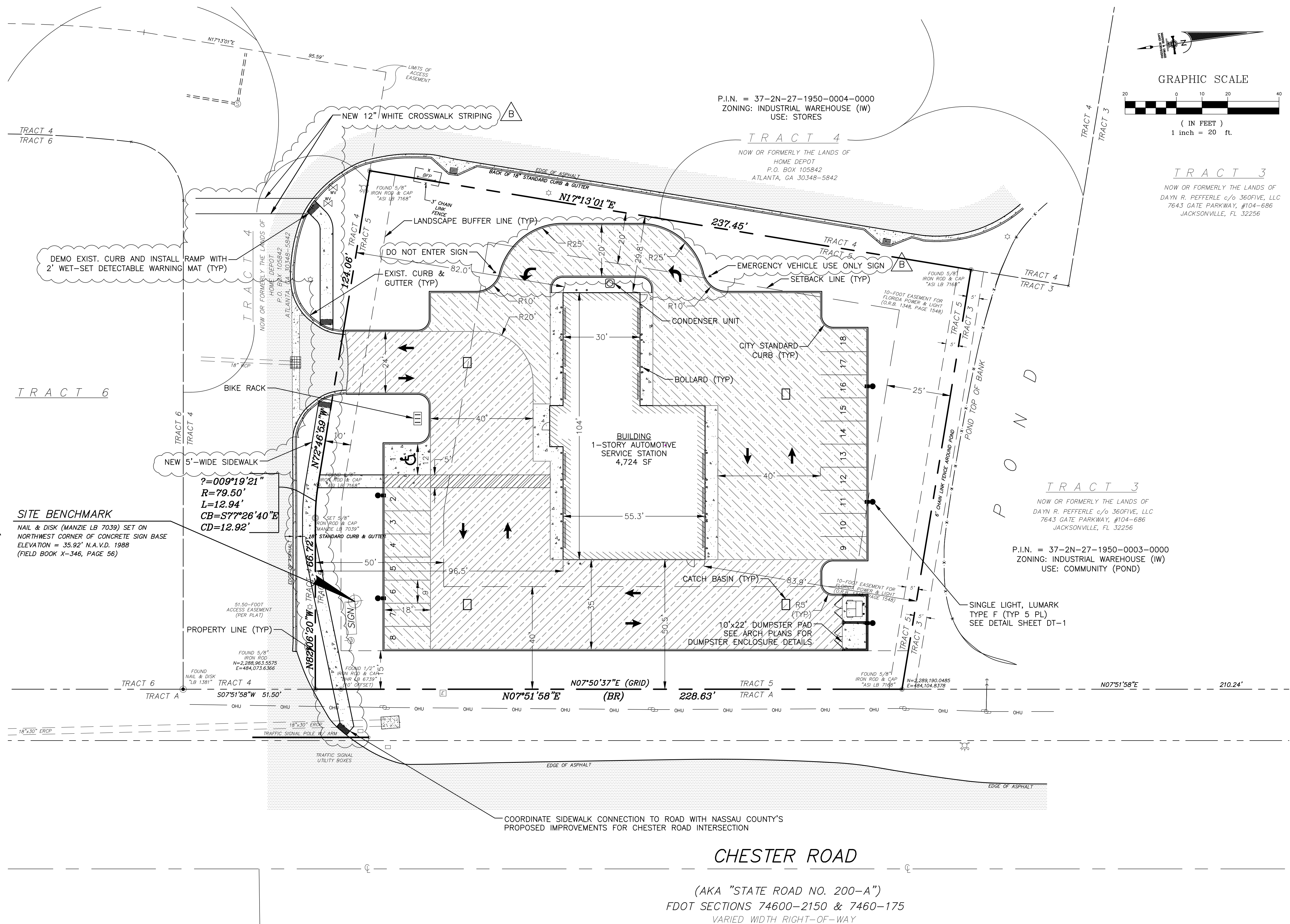
WEST: COMMERCIAL STORE
REQUIRED BUFFER: NONE

SUPPLEMENTARY NOTES
NO WELLS WITHIN 200 FEET OF THE SITE.

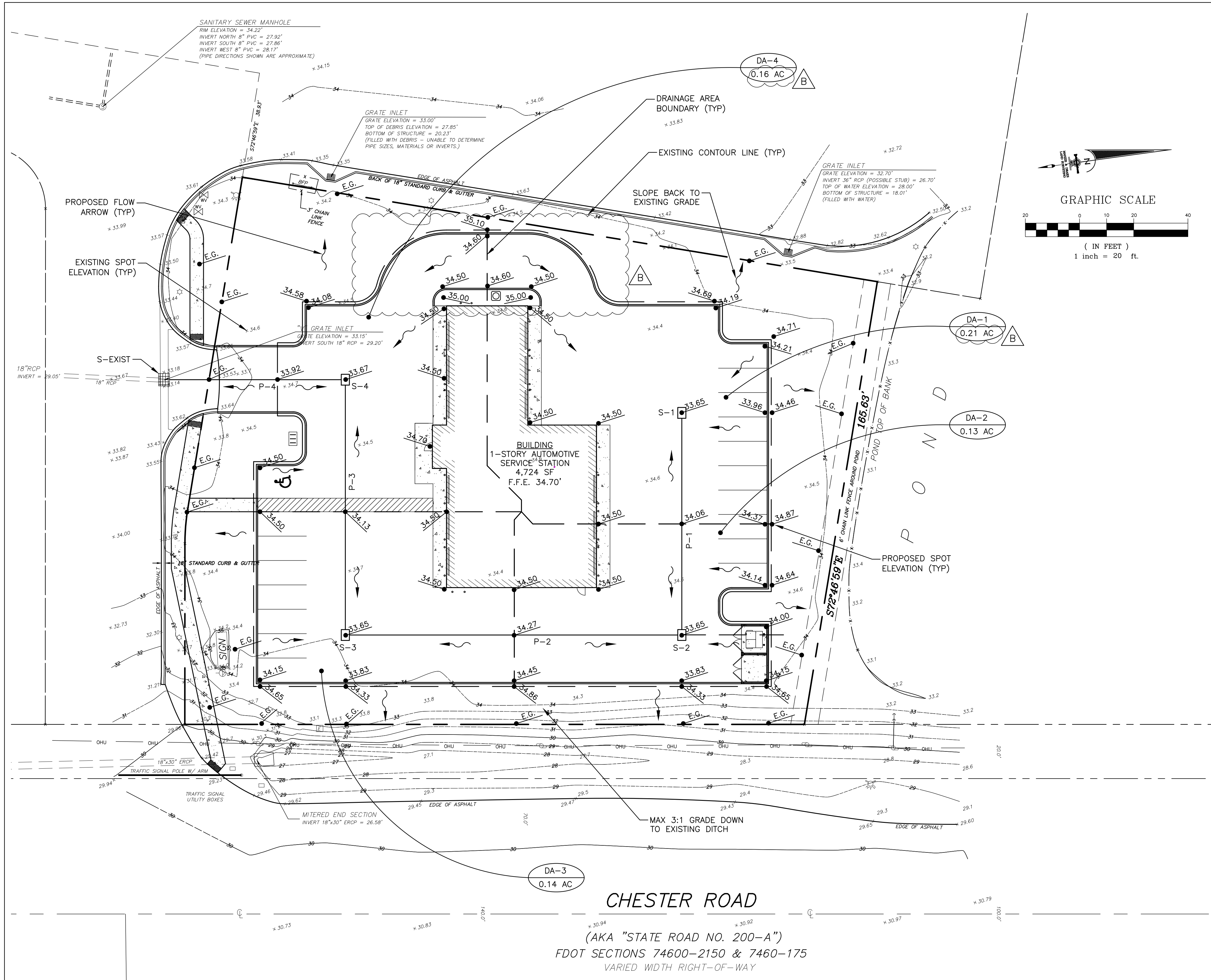
SIGNAGE SHALL BE PERMITTED SEPARATELY AND IN ACCORDANCE
(WITH NASSAU COUNTY LDC 35.09(F): STATE ROAD 200/A1A OVERLAY

ADDITIONAL SITE LIGHTING TO BE BUILDING MOUNTED.

	PROPOSED S.D. ASPHALT
	PROPOSED H.D. ASPHALT
	PROPOSED CONCRETE
	EXIST. ASPHALT
	EXIST. CONCRETE



K				Scale: 1" = 20'	Gillette & Associates, Inc. 20 South 4th Street Fernandina Beach, FL 32034  GILLETTE & ASSOCIATES, INC. 20 SOUTH 4TH STREET FERNANDINA BEACH, FL 32034 PHONE: (904) 261-8819	EXPRESS OIL SHOPPES AT AMELIA CONCOURSE 463821 SR 200 YULEE, FLORIDA	NEW AUTOMOTIVE SERVICE STATION	GEOMETRY PLAN	REGISTERED DESIGN PROFESSIONAL ASA R. GILLETTE, P.E. FLORIDA P.E. NO. 56177	DATE: 06/01/21
J				Project Mgr: AG						Sheet
I				Designed by: AG/EC						GE-1
H				Drawn by: EC						Page 5 of 9
G				QA/QC: NG						Project No. 21-10-02
F										
E										
D										
C										
B	EC	06/01/21	REVISED PER NASSAU COUNTY COMMENTS							
A	EC	05/05/21	NASSAU COUNTY ENGINEERING REVIEW							
No.	By	Date	Revision							



K			
J			
I			
H			
G			
F			
E			
D			
C			
B	EC	06/01/21	REVISED PER NASSAU COUNTY COMMENTS
A	EC	05/05/21	NASSAU COUNTY ENGINEERING REVIEW
No.	By	Date	Revision

Scale: 1" = 20'
Project Mgr: AG
Designed by: AG/EC
Drawn by: EC
QA/QC: NG

Gillette & Associates, Inc. 20 South 4th Street Fernandina Beach, FL 32034
Certificate of Authorization No. 9332
DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE. DRAWING IS REDUCED IF LESS THAN 22" x 34"

G & A[®]
GILLETTE & ASSOCIATES, INC.
20 SOUTH 4TH STREET FERNANDINA BEACH, FL 32034
PHONE: (904) 261-8819

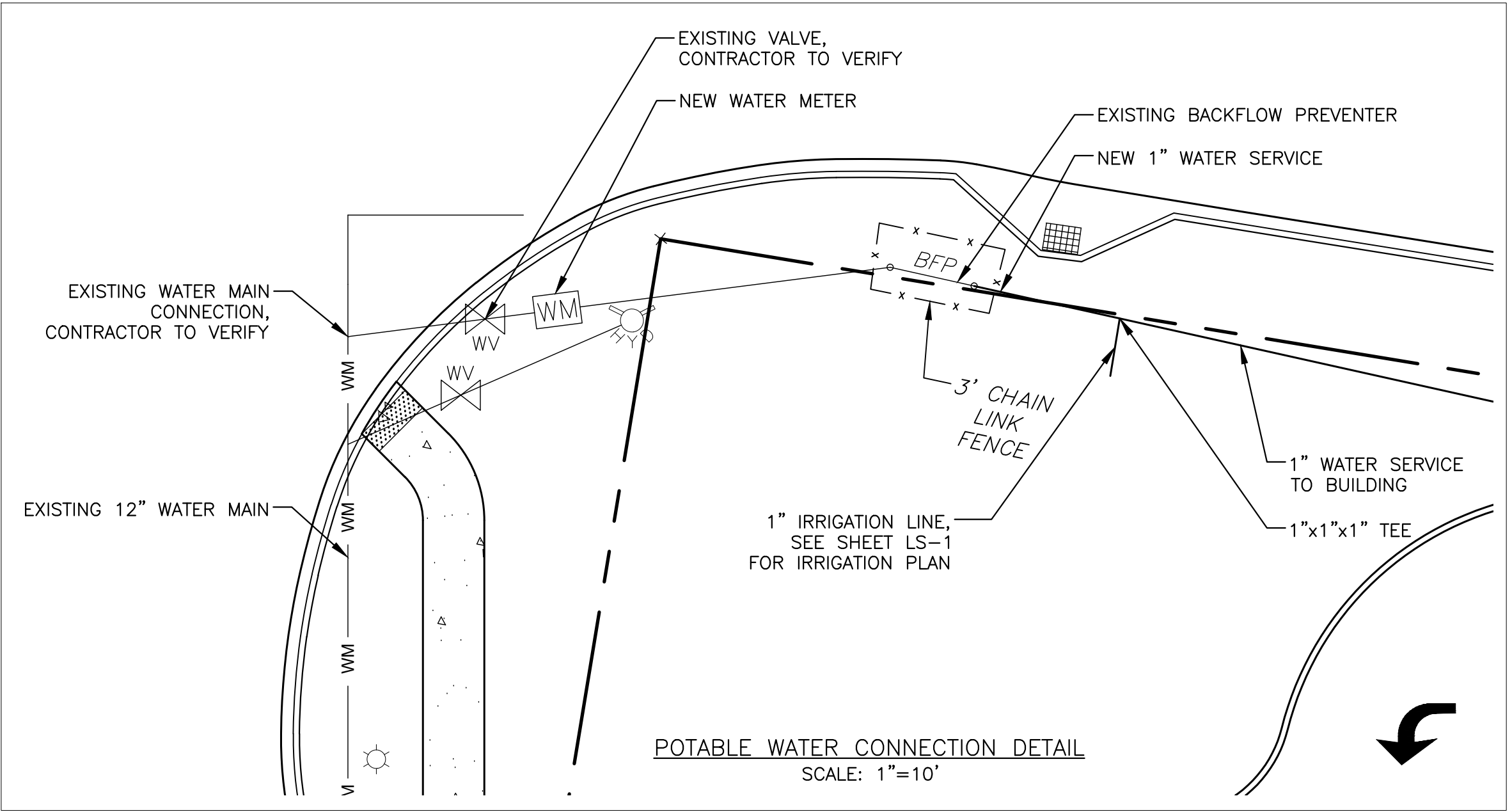
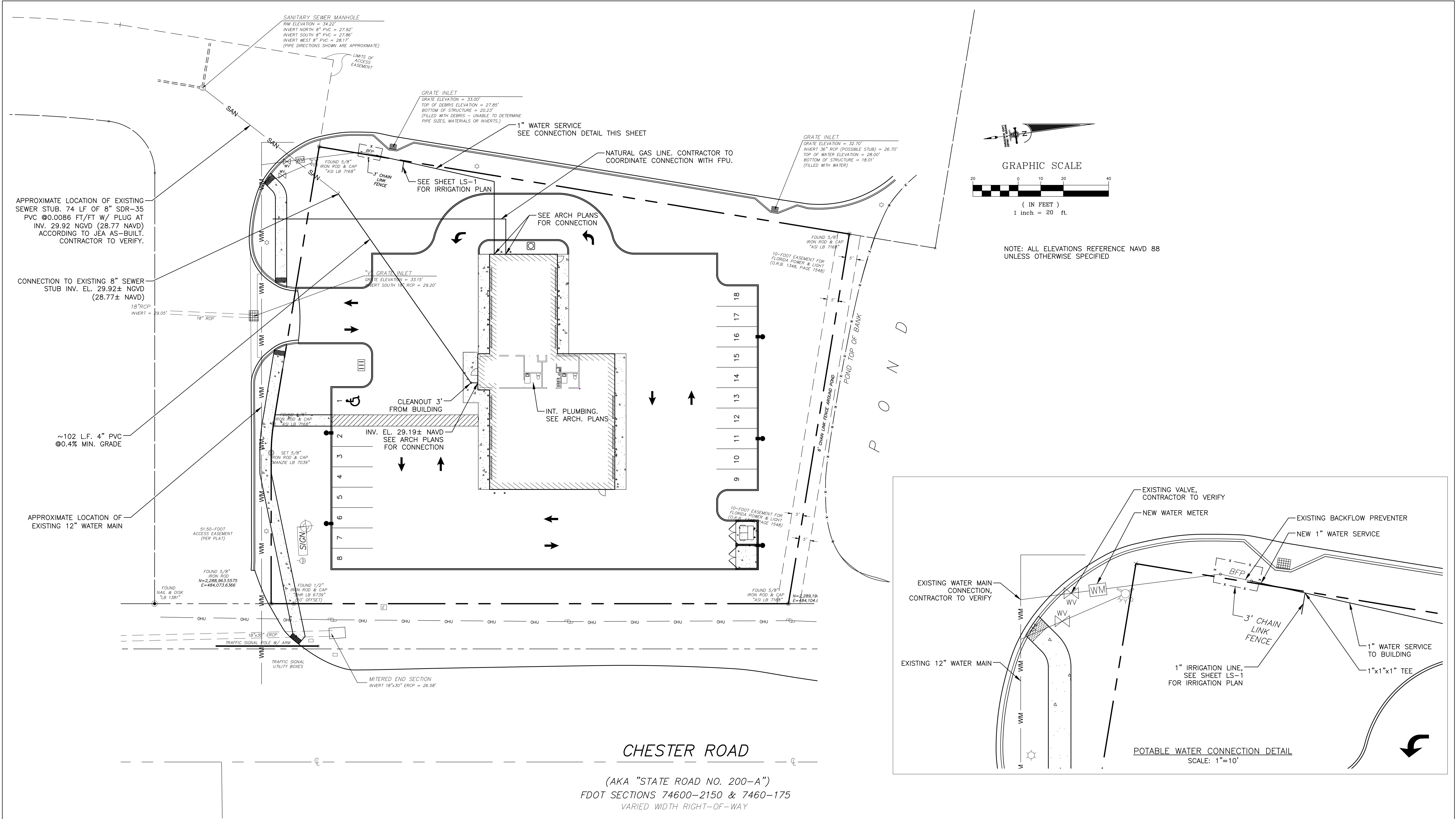
EXPRESS OIL SHOPPES AT AMELIA CONCOURSE 463821 SR 200 YULEE, FLORIDA

NEW AUTOMOTIVE SERVICE STATION

DRAINAGE PLAN

REGISTERED DESIGN PROFESSIONAL
ASA R. GILLETTE, P.E. FLORIDA P.E. NO. 56177

DATE: 06/01/21
Sheet DR-1
Page 6 of 9
Project No. 21-10-02



K				Scale: 1" = 20'	Gillette & Associates, Inc. 20 South 4th Street Fernandina Beach, FL 32034	G & A [®] GILLETTE & ASSOCIATES, INC. 20 SOUTH 4TH STREET FERNANDINA BEACH, FL 32034 PHONE: (904) 261-8819	EXPRESS OIL SHOPPES AT AMELIA CONCOURSE 463821 SR 200 YULEE, FLORIDA	NEW AUTOMOTIVE SERVICE STATION	UTILITY PLAN	REGISTERED DESIGN PROFESSIONAL ASA R. GILLETTE, P.E. FLORIDA P.E. NO. 56177	DATE: 06/01/21
J				Project Mgr: AG	Certificate of Authorization No. 9332						Sheet UT-1
I				Designed by: AG/EC	DO NOT SCALE THIS DRAWING — DIMENSIONS AND NOTES TAKE PREFERENCE. DRAWING IS REDUCED IF LESS THAN 22" x 34"						Page 7 of 9
H				Drawn by: EC							Project No. 21-10-02
G				QA/QC: NG							
F											
E											
D											
C											
B	EC	06/01/21		REVISED PER NASSAU COUNTY COMMENTS							
A	EC	05/05/21		NASSAU COUNTY ENGINEERING REVIEW							
No.	By	Date		Revision							

IMPERVIOUS AREA
 MAXIMUM IMPERVIOUS SURFACE RATIO: 75%
 TOTAL PROPOSED IMPERVIOUS AREA: 27,718 SF
 PROPOSED IMPERVIOUS SURFACE RATIO: 63.7%

NORTH: COMMUNITY (POND)
REQUIRED BUFFER: NONE

SOUTH: PRIVATE INTERNAL DRIVING AISLE
REQUIRED BUFFER: 10' PERIMETER LANDSCAPE STRIP
FRONTAGE LENGTH: 204 FT
REQUIRED PLANTINGS:

- 2 CANOPY TREES PER 100 FT OF FRONTAGE = 4 CANOPY TREES
 - 3 UNDERSTORY TREES PER 100 FT OF FRONTAGE = 6 UNDERSTORY TREES
 - VEHICLE USE SCREENING HEDGE
- PROPOSED PLANTINGS:
- 4 CANOPY TREES
 - 6 UNDERSTORY TREES
 - SCREENING HEDGE

EAST: CHESTER ROAD
REQUIRED BUFFER: 15' PERIMETER LANDSCAPE STRIP
FRONTAGE LENGTH: 229 FT
REQUIRED PLANTINGS:

- 3 CANOPY TREES PER 100 FT OF FRONTAGE = 6 CANOPY TREES
 - 3 UNDERSTORY TREES PER 100 FT OF FRONTAGE = 6 UNDERSTORY TREES
 - VEHICLE USE SCREENING HEDGE
- PROPOSED PLANTINGS:
- 6 CANOPY TREES
 - 6 UNDERSTORY TREES
 - SCREENING HEDGE

WEST: COMMERCIAL STORE
REQUIRED BUFFER: NONE

PERVIOUS GREEN SPACE
REQUIRED PERVIOUS GREEN SPACE: 10% OF LOT = 4,353 SF
PROPOSED PERVIOUS GREEN SPACE: 12,632 SF = 29.0% OF LOT
REQUIRED TREES:

1 CANOPY TREE/500 SF OF REQ. PERVIOUS GREEN SPACE
(4,353 SF)*(1 CANOPY TREE/500 SF) = 9 CANOPY TREES
PROPOSED TREES: 9 CANOPY TREES

DUMPSTER WALL: 42 FT

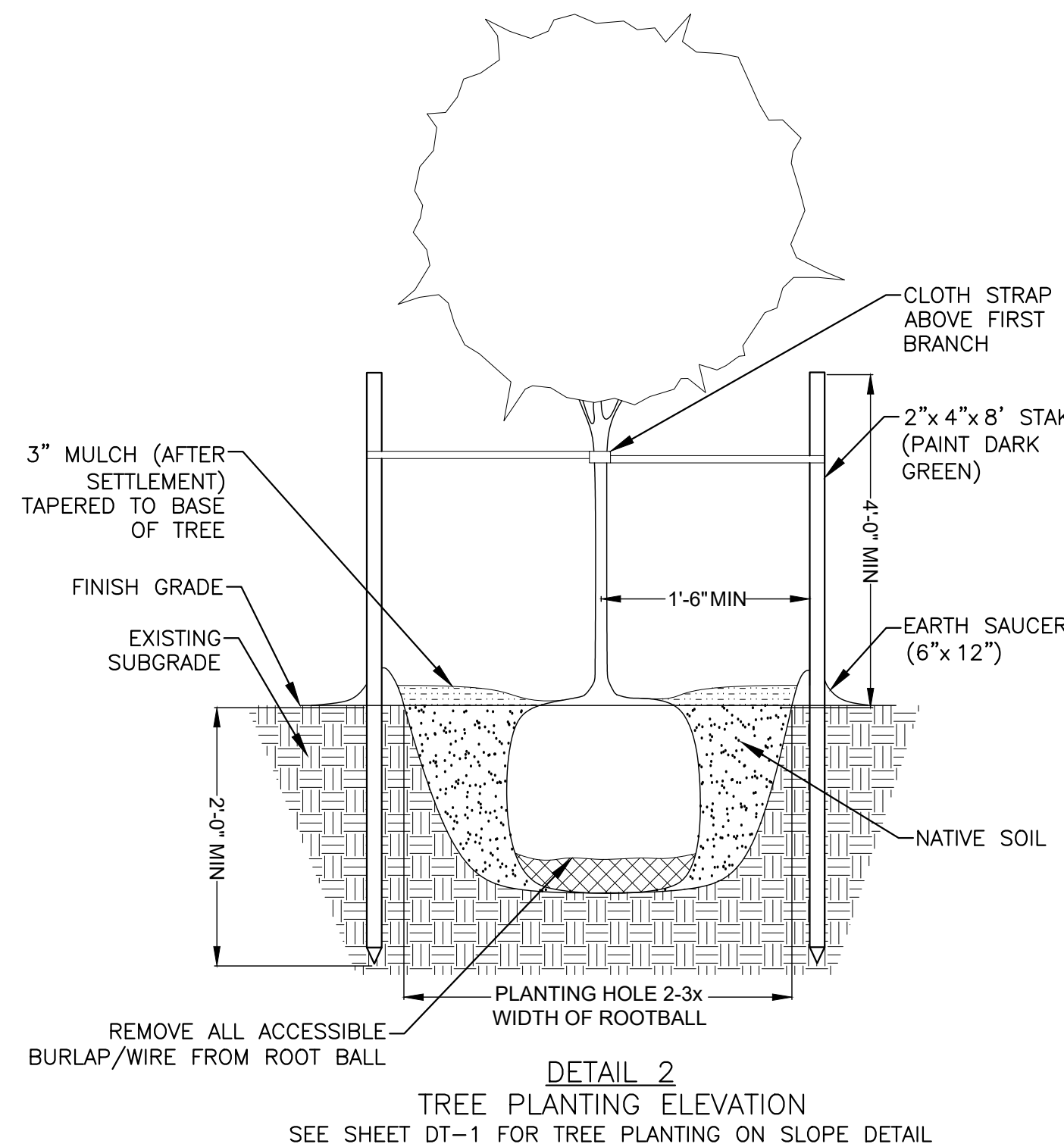
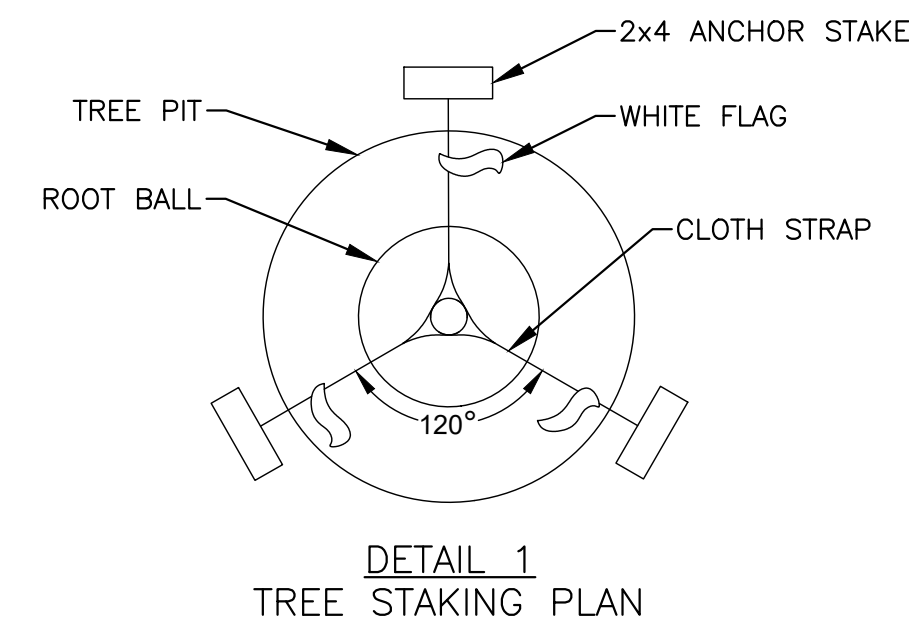
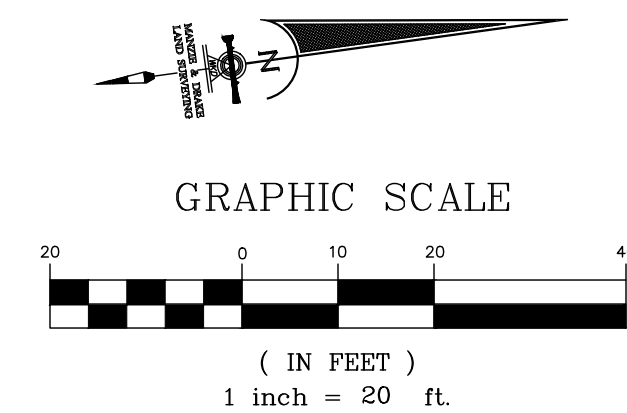
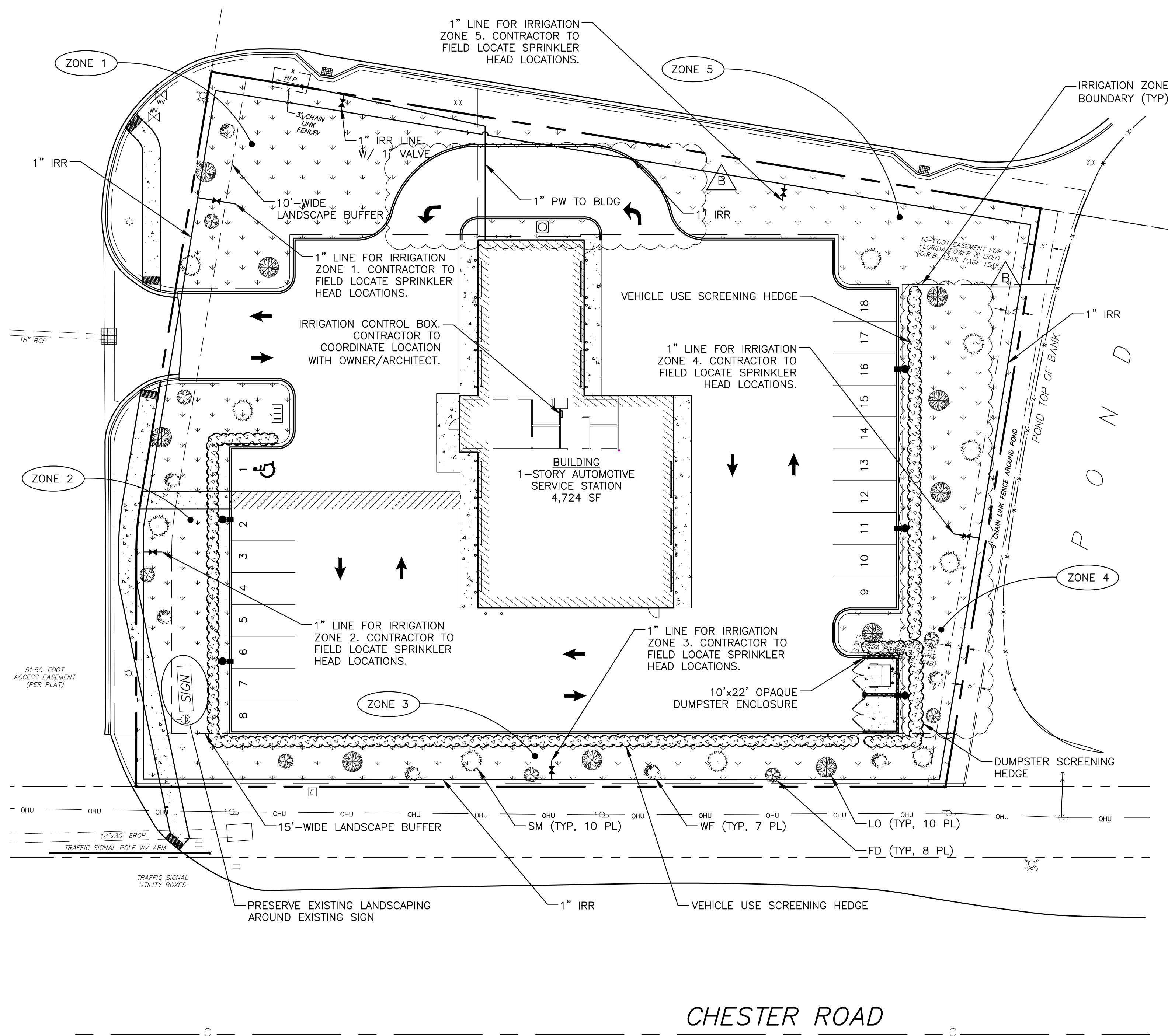
- REQUIRED PLANTINGS:
 - 1 SHRUB EVERY 2 FEET = 21 SHRUBS
 - 1 TREE PER 10 LINEAR FEET OF WALL = 4 TREES
- PROPOSED PLANTINGS:
 - 21 SHRUBS
 - 4 TREES

ALL TREES SHALL BE STAKED OR GUYED FOR A PERIOD OF AT LEAST SIX (6) MONTHS IN ACCORDANCE WITH THE DETAILS ON THIS SHEET.

NASSAU COUNTY LAND DEVELOPMENT CODE SECTION 37.05 (J):
THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF ALL
LANDSCAPE AREAS REQUIRED BY THIS SECTION. MAINTENANCE INCLUDES
IRRIGATING, TRIMMING, FERTILIZING AND CARRYING OUT THOSE ACTIVITIES
NECESSARY TO KEEP THE PLANT MATERIAL IN A HEALTHY AND GROWING
CONDITION, MAINTAIN VISUAL CLEARANCE AND ALLOW PASSAGE OF VEHICLES,
AND PEDESTRIANS ON PUBLIC ROADS AND NON-EXCLUSIVE EASEMENTS.

NASSAU COUNTY LAND DEVELOPMENT CODE SECTION 37.05 (B):
ALL INSTALLED TREES, SHRUBS AND GROUNDCOVERS SHALL CONFORM TO THE
STANDARDS FOR FLORIDA GRADE #1 OR BETTER ACCORDING TO THE CURRENT
EDITION OF "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY
THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION
OF PLANT INDUSTRY. SYNTHETIC OR ARTIFICIAL TREES, SHRUBS, GROUNDCOVERS
OR VINES, OR OTHER SUBSTITUTES IN CHOOSING PLANT MATERIALS,
CONSIDERATION SHOULD BE GIVEN TO THE AMOUNT OF SUN OR SHADE, THE
WETNESS OR DRYNESS OF THE SOIL, THE EFFECTS OF SALT SPRAY (WHERE
APPLICABLE), THE AMOUNT OF IRRIGATION REQUIRED AND THE MATURE SIZE AND
SPACIAL NEEDS OF PLANTS CHOSEN.

EACH ZONE TO CONTAIN A MAXIMUM OF 13 SPRINKLER HEADS.



PLANT SCHEDULE				
SYMBOL	QTY.	KEY	SPECIES	SIZE/REMARKS
	10	LO	QUERCUS VIRGINIANA LIVE OAK	3" CAL MIN.
	10	SM	MAGNOLIA GRANDIFLORA 'LITTLE GEM' LITTLE GEM SOUTHERN MAGNOLIA	3" CAL MIN.
	8	FD	CORNUS FLORIDA FLOWERING DOGWOOD	3" CAL MIN.
	7	WF	CHIONANTHUS VIRGINICUS WHITE FRINGETREE	3" CAL MIN.
	~173 422' OF SCREENING	-	PITTOSPORUM TOBIRA CHEESEWOOD	18" HT. MIN. PLANTED AT 24" O.C. ALONG DUMPSTER SCREENING HEDGE 18" HT. MIN. PLANTED AT 30" O.C. ALONG OTHER SCREENING HEDGES
	~15,321 SF	-	STENOTAPHRUM SECUNDATUM ST. AUGUSTINE GRASS	

K				Scale: 1" = 20'	Gillette & Associates, Inc. 20 South 4th Street Fernandina Beach, FL 32034	 GILLETTE & ASSOCIATES, INC. 20 SOUTH 4TH STREET FERNANDINA BEACH, FL 32034 PHONE: (904) 261-8819	EXPRESS OIL SHOPPES AT AMELIA CONCOURSE 463821 SR 200 YULEE, FLORIDA	NEW AUTOMOTIVE SERVICE STATION	LANDSCAPE PLAN	REGISTERED DESIGN PROFESSIONAL ASA R. GILLETTE, P.E. FLORIDA P.E. NO. 56177	DATE: 06/01/21
J				Project Mgr: AG							Sheet LS-1
I				Designed by: AG/EC							Page 8 of 9
H				Drawn by: EC							Project No. 21-10-02
G				QA/QC: NG	DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE. DRAWING IS REDUCED IF LESS THAN 22" x 34"						
F											
E											
D											
C											
B	EC	06/01/21	REVISED PER NASSAU COUNTY COMMENTS								
A	EC	05/05/21	NASSAU COUNTY ENGINEERING REVIEW								
No.	Bv	Date	Revision								

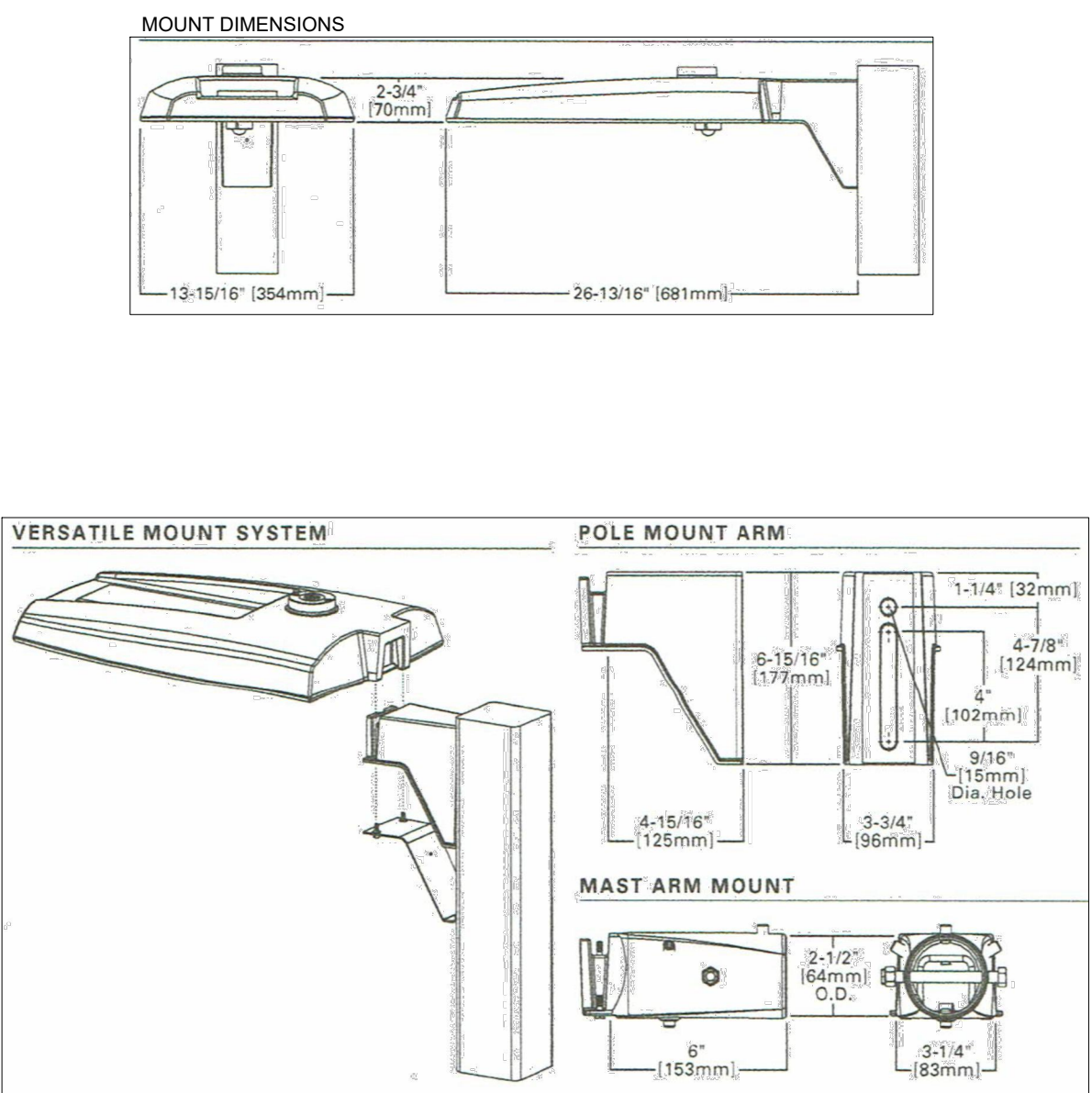
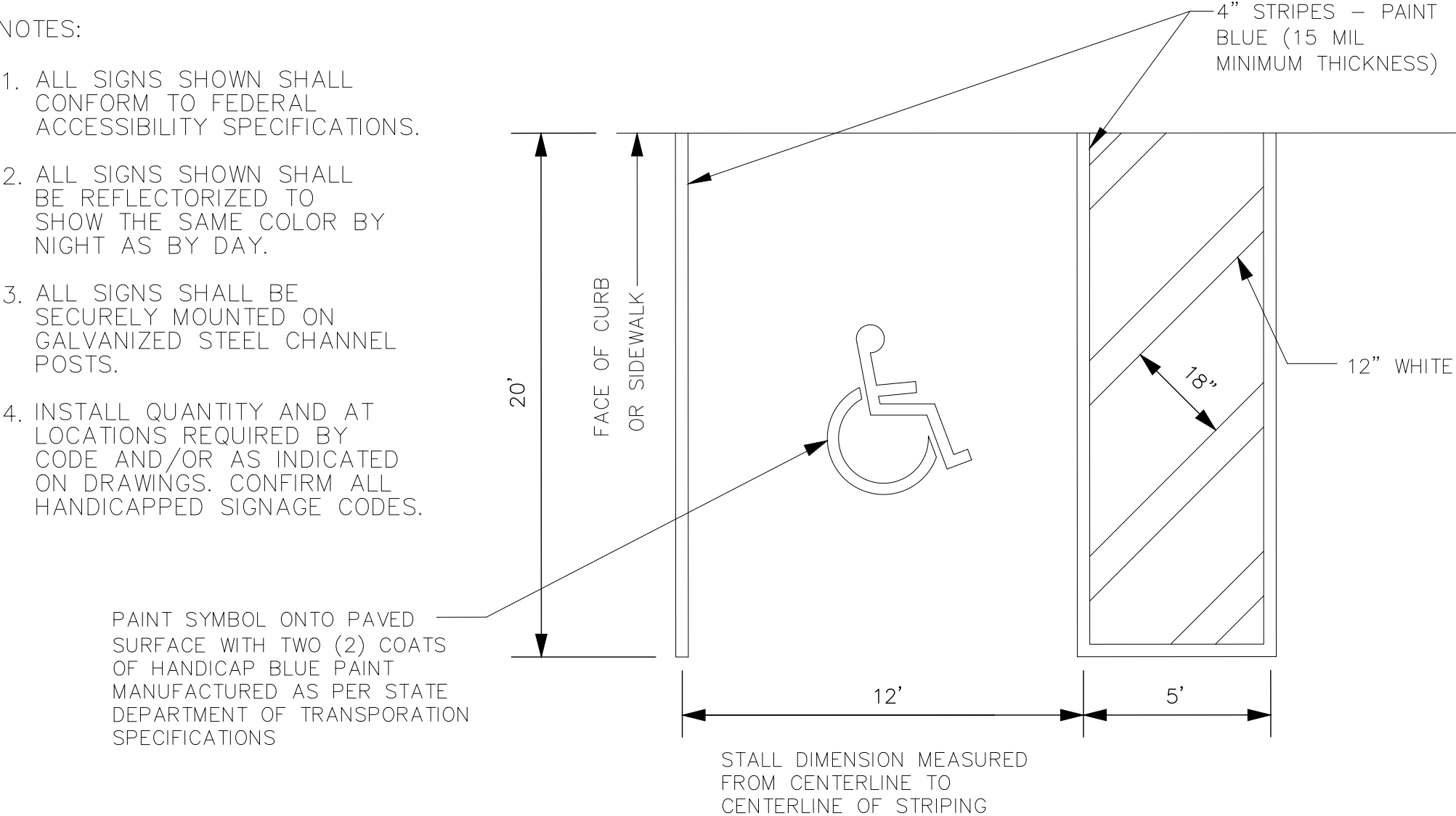
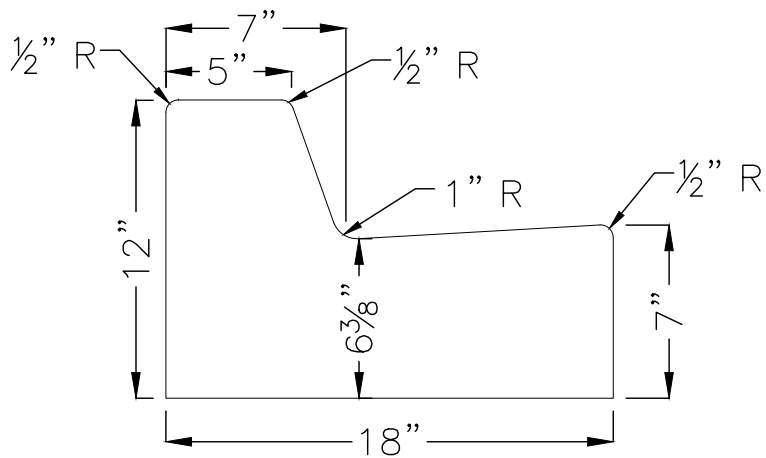


Diagram illustrating a preformed expansion joint in a concrete slab. The joint is shown as a vertical gap in the slab, filled with joint material. The width of the joint is indicated as $3/8"$. The height of the slab is indicated as $4"$. The joint material is labeled "PREFORMED EXPANSION JOINT MATERIAL". The entire assembly is labeled "EXPANSION JOINT".



TREE ON SLOPE 5% (20:1) TO 50% (2:1)
(EXISTING SOIL MODIFIED)

1. PROVIDE POLE/LT
FIXTURE WITH ALL
REQUIRED HARDWARE
FOR MTG.
2. PROVIDE/INSTALL
CONDUIT, AND
PULLSTRING, JEA
SHALL
PROVIDE/INSTALL
CONDUCTORS, POLE,
MTG ARM, AND
LIGHT FIXTURE.
INSTALL ALL PER
UTILITY CO
REQUIREMENTS.
3. PROVIDE AND
INSTALL CONCRETE
LIGHT POLE PER
MANUFACTURERS
RECOMMENDATIONS
TO WITHSTAND
LOCAL EPA WIND
SPEED RATINGS FOR
AREA OF
INSTALLATION
(130MPH MINIMUM).

Diagram illustrating the cross-section of a pavement structure, showing the following layers from top to bottom:

- 1½" IMPROVED BITUMINOUS CONCRETE WEARING SURFACE LAYER, ½" MAXIMUM AGGREGATE SIZE MIX, ESAL RANGE A, B, AND C
- TACK COAT
- 2½" IMPROVED BITUMINOUS CONCRETE UPPER BINDER LAYER, 1" MAXIMUM AGGREGATE SIZE MIX, ESAL RANGE A, B, AND C
- BITUMINOUS TREATMENT (PRIME)
- 8" CRUSHED AGGREGATE BASE COURSE, TYPE B
- 24" CONSTRUCTED SUB-BASE 100% COMPACTION

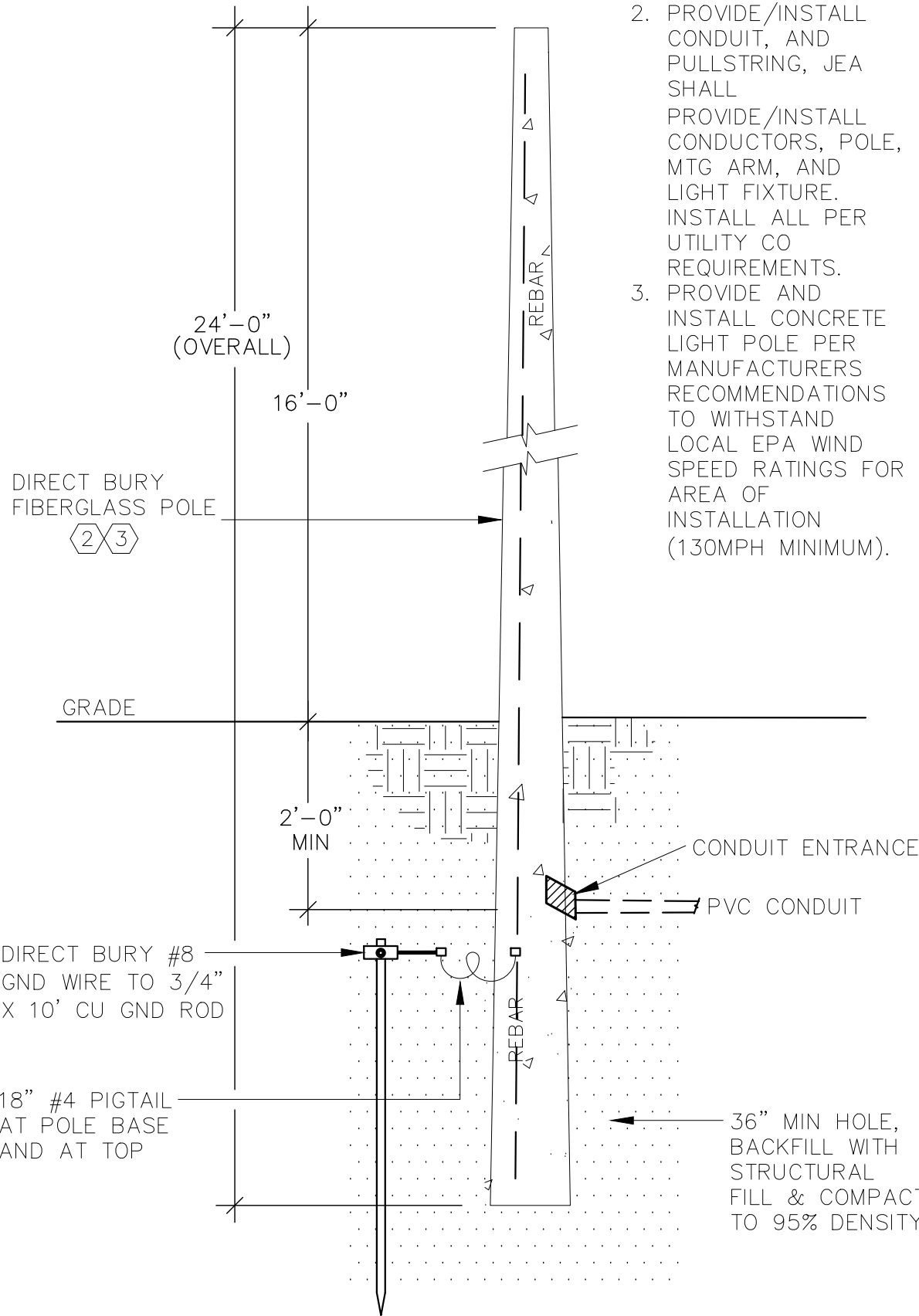
Diagram illustrating the cross-section of a pavement structure, showing the following layers from top to bottom:

- 1½" IMPROVED BITUMINOUS CONCRETE WEARING SURFACE LAYER, ½" MAXIMUM AGGREGATE SIZE MIX, ESAL RANGE A, B, AND C
- TACK COAT
- 1½" IMPROVED BITUMINOUS CONCRETE UPPER BINDER LAYER, 1" MAXIMUM AGGREGATE SIZE MIX, ESAL RANGE A, B, AND C
- BITUMINOUS TREATMENT (PRIME)
- 6" CRUSHED AGGREGATE BASE COURSE, TYPE B
- 24" CONSTRUCTED SUB-BASE 100% COMPACTION

TURN DOWN AS REQUIRED
TO KEEP "A" $\geq$ 3"

AT GRADE

AT ASPHALT PAVEMENT



DATE: 06/01/21

$$D1 = 1$$

Page 9 of 9

Project No. 21-10-02

K				Scale:	Gillette & Associates, Inc. 20 South 4th Street Fernandina Beach, FL 32034	 G & A GILLETTE & ASSOCIATES, INC. 20 SOUTH 4TH STREET FERNANDINA BEACH, FL 32034 PHONE: (904) 261-8819	EXPRESS OIL SHOPPES AT AMELIA CONCOURSE 463821 SR 200 YULEE, FLORIDA	NEW AUTOMOTIVE SERVICE STATION	MISCELLANEOUS DETAILS	REGISTERED DESIGN PROFESSIONAL ASA R. GILLETTE, P.E. FLORIDA P.E. NO. 56177	DATE: 06/01/21
J				Project Mgr: AG							Sheet DT-1
I				Designed by: AG/EC	Certificate of Authorization No. 9332						Page 9 of 9
H				Drawn by: EC	DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PREFERENCE, DRAWING IS REDUCED IF LESS THAN 22" x 34"						Project No. 21-10-02
G				QA/QC: NG							
F											
E											
D											
C											
B	EC	06/01/21	REVISED PER NASSAU COUNTY COMMENTS								
A	EC	05/05/21	NASSAU COUNTY ENGINEERING REVIEW								
No.	By	Date	Revision								