

# CAMP SORENSEN

## NASSAU COUNTY PERMIT SET



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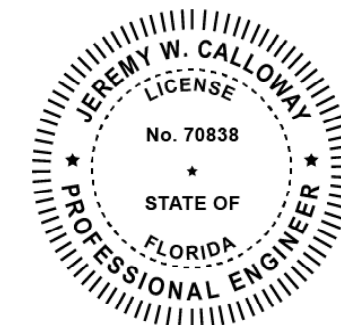
Electrical Engineer  
*Electrical Engineering*



NOTE: All quantities are provided for permitting and bidding use.

Electrical

| Sheet Number | Sheet Title                                                     | Issue Date |
|--------------|-----------------------------------------------------------------|------------|
| G0.1         | COVER SHEET                                                     | 03/12/21   |
| C1.0         | GENERAL NOTES                                                   | 03/12/21   |
| C2.0         | BOUNDARY SURVEY                                                 | 03/12/21   |
| C3.0         | TOPO/TREE SURVEY                                                | 03/12/21   |
| C3.1         | TOPO/TREE SURVEY                                                | 03/12/21   |
| C3.2         | TOPO/TREE SURVEY                                                | 03/12/21   |
| C3.3         | TOPO/TREE SURVEY                                                | 03/12/21   |
| C3.4         | TOPO/TREE SURVEY                                                | 03/12/21   |
| C3.5         | TOPO/TREE SURVEY                                                | 03/12/21   |
| C4.0         | DEMOLITION AND EROSION CONTROL PLAN                             | 03/12/21   |
| C5.0         | OVERALL IMPROVEMENTS PLAN                                       | 03/12/21   |
| C6.0         | GRADING AND DRAINAGE PLAN                                       | 03/12/21   |
| C6.1         | GRADING AND DRAINAGE PLAN                                       | 03/12/21   |
| C7.0         | UTILITY PLAN                                                    | 03/12/21   |
| C8.0         | CONSTRUCTION DETAILS                                            | 03/12/21   |
| C9.0         | SWPP PLAN                                                       | 03/12/21   |
| G0.2         | GENERAL NOTES                                                   | 03/12/21   |
| G0.3         | GENERAL NOTES                                                   | 03/12/21   |
| L1.01        | SITE HARDSCAPE                                                  | 03/12/21   |
| L1.02        | HARDSCAPE - FOCUS AREA 'A'                                      | 03/12/21   |
| L1.03        | HARDSCAPE - FOCUS AREA 'A' - ADMIN BUILDING                     | 03/12/21   |
| L1.04        | HARDSCAPE - FOCUS AREA 'A' - POOL AREA                          | 03/12/21   |
| L1.05        | HARDSCAPE - FOCUS AREA 'A' - REC FIELDS + COURTS                | 03/12/21   |
| L1.06        | DETAILS 'A' - SHERIFF'S STAR GARDEN + PILLARS                   | 03/12/21   |
| L1.07        | DETAILS 'A' - POOL AREA                                         | 03/12/21   |
| L1.08        | DETAILS 'A' - REC FIELDS                                        | 03/12/21   |
| L1.09        | DETAILS 'A' - PAVING PLANS + SECTIONS                           | 03/12/21   |
| L1.11        | HARDSCAPE - FOCUS AREA 'B' - KAYAK LAUNCH                       | 03/12/21   |
| L1.12        | DETAILS 'B' - KAYAK LAUNCH                                      | 03/12/21   |
| L1.21        | HARDSCAPE - FOCUS AREA 'C' - CHAPEL IN THE WOODS                | 03/12/21   |
| L1.22        | DETAILS 'C' - CHAPEL PAVING PLANS AND SECTIONS                  | 03/12/21   |
| L1.23        | DETAILS 'C' - CHAPEL PAVING PLANS AND SECTIONS                  | 03/12/21   |
| L1.24        | DETAILS 'C' - CHAPEL PAVING PLANS AND SECTIONS                  | 03/12/21   |
| L2.1         | SITE LANDSCAPE                                                  | 03/12/21   |
| L2.2         | LANDSCAPE - FOCUS AREA 'A' - ADMIN BLDG, REC FIELDS + POOL AREA | 03/12/21   |
| L2.3         | LANDSCAPE - ENLARGEMENT PLAN - SHERRIFF'S STAR GARDEN           | 03/12/21   |
| L2.4         | LANDSCAPE - FOCUS AREA 'B' KAYAK LAUNCH                         | 03/12/21   |
| L2.5         | LANDSCAPE - FOCUS AREA 'C' - CHAPEL IN THE WOODS                | 03/12/21   |
| L2.6         | LANDSCAPE - NOTES                                               | 03/12/21   |
| L2.7         | LANDSCAPE DETAILS                                               | 03/12/21   |
| L2.8         | LANDSCAPE DETAILS                                               | 03/12/21   |
| L3.1         | IRRIGATION - OVERALL                                            | 03/12/21   |
| L3.2         | IRRIGATION -FOCUS AREA 'A' - ADMIN. BLDG, REC FIELDS + POOL     | 03/12/21   |
| L3.3         | IRRIGATION -FOCUS AREA 'B+C' - KAYAK LAUNCH + CHAPEL            | 03/12/21   |
| L3.4         | IRRIGATION - NOTES + OVERALL SCHEDULE                           | 03/12/21   |
| L3.5         | IRRIGATION - DETAILS                                            | 03/12/21   |
| L3.6         | IRRIGATION - DETAILS                                            | 03/12/21   |



This item has been digitally signed and sealed by Jeremy W. Calloway, P.E. on the date adjacent to the seal.

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ST. MARYS RIVER

APPROXIMATE SHORE LINE ONLY  
ORDINARY HIGH WATER LINE  
NOT ESTABLISHED BY THIS SURVEY

S 80°04'58" E  
40'± (M)  
1/2" (P)  
(C&D)

S 80°04'58" E  
179.04' (M)

3.5'

1" (P)  
5.34' SOUTHERLY  
ALONG CLOSURE LINE

N 80°00'10" W 778.89' (M)

N 80°37'30" W  
165'± (R)

N 80°39'52" W  
105'± (M)

S 80°37'30" E  
165'± (R)

S 80°39'52" E  
105'± (M)

NORTHERLY 800.0'± (R)

N 10°10'14" W 784.2' (M)

CLOSURE LINE 171.71'± (M)

APPROXIMATE SHORE LINE

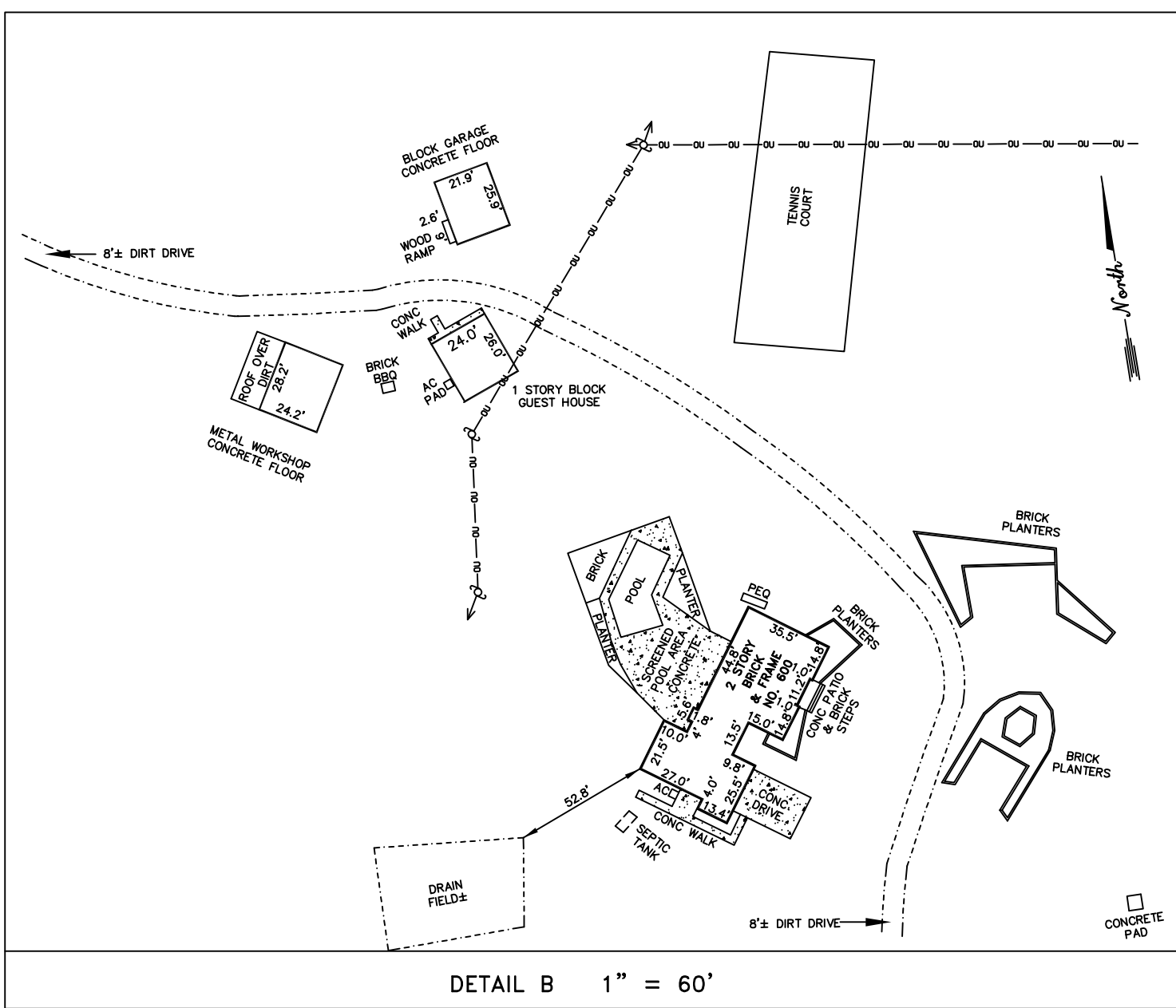
WOOD NATURE WALK

CONCRETE BENCH DECK (TYPICAL)

5.5' CONCRETE NATURE WALK

OBSERVATION DECK

1-1/4" (P)



ST. MARYS RIVER

COUNTY ROAD

RETREAT ACRES ROAD (PAVED)

HOLLY RIDGE LANE (DIRT ROAD)

PARCEL 1 ORB 440, PAGE 505 87.7 ACRES±

PARCEL 2 ORB 466, PAGE 430 39.8 ACRES±

EXCEPTION 1 ACRE± CEMETERY

POINT OF BEGINNING PARCEL 2

20' EASEMENT OR 466, PAGE 429

REMAINS OF WIRE FENCE ALONG LINE

20' WIDE EASEMENT OR 466, PAGE 429

BEARING REFERENCE LINE

LINE NO. BEARING DISTANCE (M)

| LINE NO. | BEARING       | DISTANCE (M) |
|----------|---------------|--------------|
| L1       | S 89°38'35" W | 70.28        |
| L2       | S 89°38'35" W | 70.35        |

| LINE TABLE |               |          |      |
|------------|---------------|----------|------|
| LINE NO.   | BEARING       | DISTANCE | (ft) |
| L1         |               | 70.25    | (ft) |
| L2         | S 89°38'55" W | 70.25    | (ft) |
| L3         | N 13°07'23" E |          | (ft) |
| L4         | N 13°05'50" E | 286.37   | (ft) |
| L5         | S 80°02'50" E |          | (ft) |
| L6         | S 81°02'02" E | 30.29    | (ft) |
| L7         | S 13°07'23" W |          | (ft) |
| L8         | S 13°05'50" W | 282.89   | (ft) |
| L9         | S 80°00'22" E | 80.00    | (ft) |
| L10        | S 80°07'22" E | 60.09    | (ft) |
| L11        |               | 74.23    | (ft) |
| L12        | S 05°50'32" W | 74.29    | (ft) |
| L13        | N 80°37'30" W |          | (ft) |
| L14        | N 80°37'30" W | 123.33   | (ft) |
| L15        | N 80°37'30" W | 208.71   | (ft) |
| L16        | N 80°37'30" W | 208.71   | (ft) |
| L17        | N 08°40'56" E | 208.71   | (ft) |
| L18        |               | 208.71   | (ft) |
| L19        | N 81°18'59" W | 208.65   | (ft) |
| L20        |               | 208.65   | (ft) |
| L21        | S 08°42'55" W | 208.59   | (ft) |

| CURVE TABLE |          |         |               |         |     |
|-------------|----------|---------|---------------|---------|-----|
| CURVE NO.   | RADIUS   | LENGTH  | CHORD BEARING | CHORD   |     |
| C1          | 1489.60' |         |               |         | (R) |
| C1          | 1489.60' | 345.12' | N 06°27'36" E | 344.34' | (M) |
| C2          | 1549.60' |         |               |         | (R) |
| C2          | 1549.60' | 412.22' | S 05°28'35" W | 411.01' | (M) |

# PRELIMINARY

**FLOOD ZONE "Z"** - AREAS DESIGNATED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD / **FLOOD ZONE "X" ("SHAD")** - AREAS OF 0.2% ANNUAL CHANCE FLOOD / AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE / AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

**ASSOCIATED SURVEYORS INC.**  
LAND & ENGINEERING SURVEYS  
3846 BLANDING BOULEVARD  
JACKSONVILLE, FLORIDA 32210  
904-771-6468

CERTIFICATE OF AUTHORIZATION NO. LB\_0005448

I HEREBY CERTIFY THIS SURVEY WAS DONE UNDER THE SUPERVISION AND MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING PURSUANT TO CHAPTER 55-17.050 THROUGH 17.052, FLORIDA ADMINISTRATIVE CODE, CHAPTER 472, F.S.

|         |                                                    |                                                     |
|---------|----------------------------------------------------|-----------------------------------------------------|
| BY:     | CHARLES B. HATCHER<br>FLORIDA CERTIFICATE NO. 3771 | FLORIDA CERTIFICATE NO. 4579<br>RAYMOND J. SCHAEFER |
| JOB NO. | 75725                                              | DATE 12-27-2019                                     |
| SCALE:  | "1" = "200"                                        | DRAWN CLS                                           |

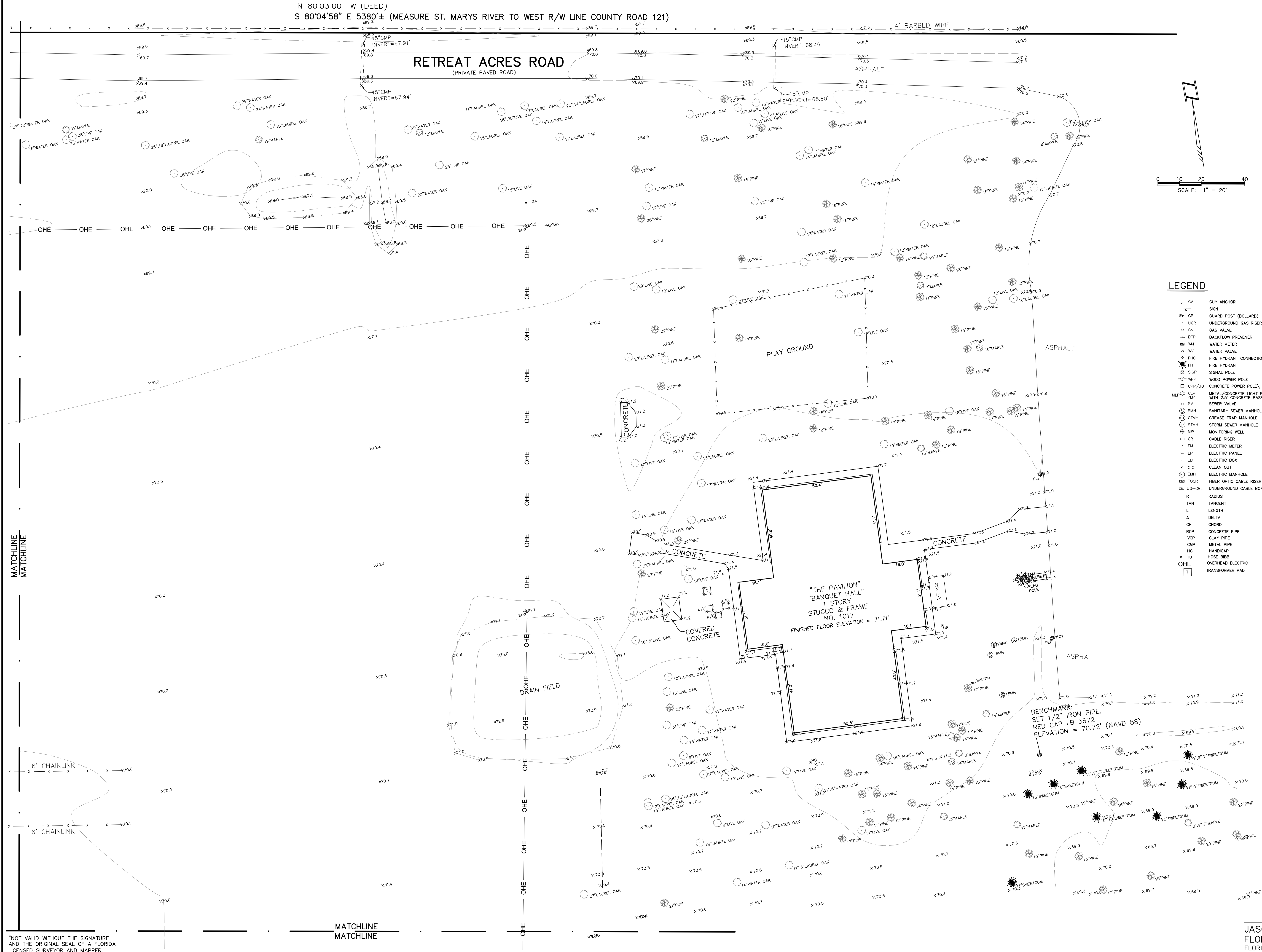
1. BEARINGS ARE BASED ON PLAT BOOK "X", PAGE \_\_\_\_ GENERAL NOTES:  
2. STRUCTURE NO. \_\_\_\_ SHOW HEREON LIES WITHIN FLOOD ZONE "X" AS BEST DETERMINED FROM F.E.M.A.'S FLOOD MAPS PLAN NO. 12032-D 12-17-2010.  
3. THIS IS A SURFACE SURVEY ONLY. THE EXTENT OF UNDERGROUND TIEPILES, PIPES AND UTILITIES IF ANY, NOT LOCATED.  
4. ADJACENT LANDS/AREAS ENVIRONMENTALLY SENSITIVE AREAS IF ANY, NOT LOCATED BY THIS SURVEY.  
5. THIS SURVEY BASED ON LEGAL DESCRIPTIONS PROVIDED. THE PUBLIC RECORDS WERE SEARCHED FOR ALL EASEMENTS, ENCUMBRANCES, E.I.R.'S, RESTRICTIONS, CLOSURES, STAGGERS OR ORDINANCES, ETC.  
6. THE NEARY END OF THIS PROJECT HAS NOT BEEN SURVEYED.  
7. UNLESS OTHERWISE STATED, ALL BORN PIPE FOUND HAVE NO IDENTIFICATION.

|        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                     |
|--------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| LEGEND | L _____ BUILDING RESTRICTION LINE<br>C _____ CURB<br>FIN _____ IN REVENUE<br>CO _____ COMPLETED FROM RECORDS<br>S _____ SURFACES & RESTRICTIONS<br>L _____ LOT<br>G _____ GRASS<br>CONC _____ CONCRETE<br>ASPH _____ ASPHALT<br>E _____ ELECTRIC<br>GAS _____ GAS<br>JEA _____ JACKSONVILLE ELECTRIC AUTHORITY<br>A _____ AIR CONDITIONING<br>TEL _____ TELEPHONE<br>LI _____ LICENSED<br>NUB _____ NUB<br>NUB _____ NUB<br>DRK _____ OFFICIAL RECORDING VOLUME<br>QTY _____ QUANTITY<br>PCP _____ POINT OF CORRESPONDENCE<br>PI _____ POINT OF INTERSECTION<br>PR _____ POINT OF REVERSE CURVE<br>PT _____ POINT OF TANGENCY<br>TANG _____ TANGENT<br>CRITICAL _____ CRITICAL | PSR _____ PROFESSIONAL SURVEYOR & MAPPER<br>R _____ RECORDS<br>LSV _____ LICENSED LAND SURVEYOR<br>RVN _____ RIGHT OF WAY<br>TYPE _____ TYPE<br>SET IRON PIPE (SP) OR REBAR (RB)<br>"ASSOCIATION"<br>FOUR CORNER MARK (FCM)<br>CROSS CUT OR DIRT POLE<br>CHAIN LINK FENCE<br>WIRE FENCE<br>OVERLAP SURVEY<br>OVERLAP SURVEY<br>MISER<br>WATER<br>UTILITY POLE<br>RAILROAD<br>GUY ANCHOR<br>CRITICAL |
|--------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

MAP SHOWING SURVEY OF

A PORTION OF THE FRED McMURREN GRANT, SECTION 40,  
TOWNSHIP 3 NORTH, RANGE 23 EAST, NASSAU COUNTY, FLORIDA



LEGEND

- GA GUY ANCHOR
- GP GUARD POST (ROLLARD)
- UGR UNDERGROUND GAS RISER
- GV GAS VALVE
- BFP BACKFLOW PREVENTER
- WM WATER METER
- WV WATER VALVE
- FHC FIRE HYDRANT CONNECTION
- TH FIRE HYDRANT
- SIGP SIGNAL POLE
- WPP WOOD POWER POLE
- CPP/UG CONCRETE POWER POLE UNDERGROUND
- CLP CONCRETE LIGHT POLE WITH 2.5" CONCRETE BASE
- SV SEWER VALVE
- SMH SANITARY SEWER MANHOLE
- STMH GREASE TRAP MANHOLE
- STMH STORM SEWER MANHOLE
- WW MONITORING WELL
- CR CABLE RISER
- EM ELECTRIC METER
- EP ELECTRIC PANEL
- EB ELECTRIC BOX
- C.O. CLEAN OUT
- EMH ELECTRIC MANHOLE
- FOOR FIBER OPTIC CABLE RISER
- UG-CBL UNDERGROUND CABLE BOX
- R RADIUS
- TAN TANGENT
- L LENGTH
- Δ DELTA
- CH CHORD
- ROP CONCRETE PIPE
- VCP CLAY PIPE
- CMP METAL PIPE
- HC HANDICAP
- HB HOSE BIBB
- OHE OVERHEAD ELECTRIC
- T TRANSFORMER PAD

TREE LEGEND

- 12" HICKORY
- 10" HOLLY
- 8" MAPLE
- 11" WATER OAK
- 10" TURKEY OAK
- 15" LIVE OAK
- 10" LAUREL OAK
- 12" PINE
- 10" SWEETGUM
- 12" PECAN
- 7" CHERRY

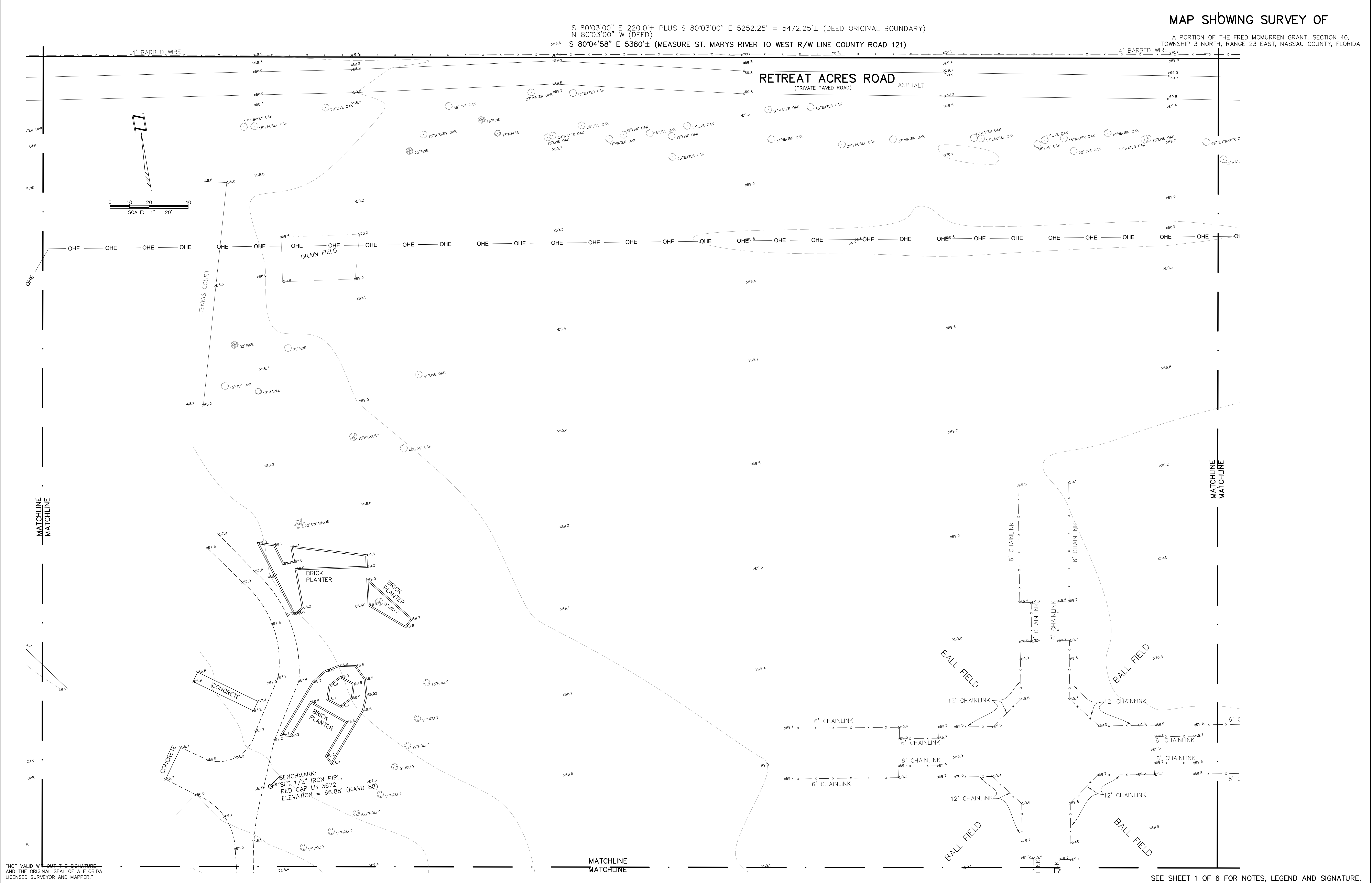
NOTES:  
1. THIS IS A TOPOGRAPHIC SURVEY. ALL BOUNDARY INFORMATION SHOWN HEREON IS FROM A PREVIOUS BOUNDARY SURVEY BY ASSOCIATED SURVEYORS FILE NO. 75725, DATED  
2. BENCHMARKS SHOWN HEREON ARE BASED ON A LEVEL LOOP RAN FROM FLORIDA DEP ROUND CONCRETE MONUMENT WITH BRASS DISK STAMPED "N 596 2003" ELEVATION = 69.48' (NAVD 1988)

THE PROPERTY SHOWN HEREON LIES IN FLOOD ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) AND FLOOD ZONE "A" AS WELL AS CAN BE DETERMINED FROM THE FLOOD INSURANCE RATE MAP NUMBER 12089C0120F REVISED DECEMBER 17, 2010 FOR NASSAU COUNTY, FLORIDA.

THIS SURVEY WAS MADE FOR THE BENEFIT OF FLORIDA SHERIFFS YOUTH RANCHES, INC.

JASON D. BOATWRIGHT, P.S.M.  
FLORIDA. LICENSED SURVEYOR AND MAPPER No. LS 7292  
FLORIDA LICENSED SURVEYING AND MAPPING BUSINESS No. LB 3672

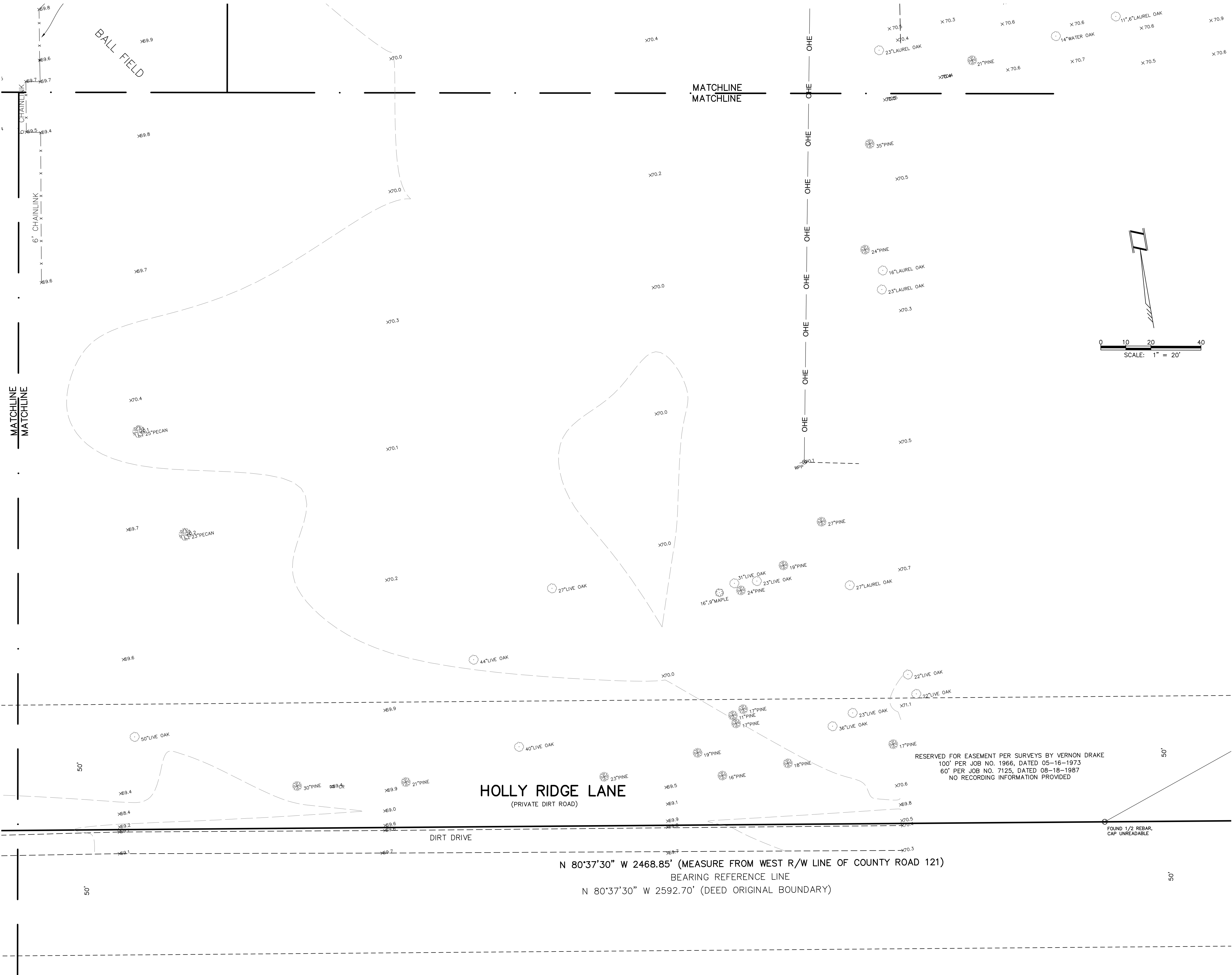
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"NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER."

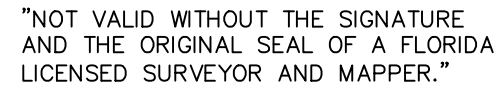
MAP SHOWING SURVEY OF

A PORTION OF THE FRED MCMURREN GRANT, SECTION 40,  
TOWNSHIP 3 NORTH, RANGE 23 EAST, NASSAU COUNTY, FLORIDA



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LICENSED SURVEYOR AND MAPPER."

SEE SHEET 1 OF 6 FOR NOTES, LEGEND AND SIGNATURE.



SEE SHEET 1 OF 6 FOR NOTES, LEGEND AND SIGNATURE.

(PRIVATE PAVED ROAD)

DECK

~~SECRET~~

A PORTION OF THE FRED MCMURREN GRANT, SECTION 40,  
TOWNSHIP 3 NORTH, RANGE 23 EAST, NASSAU COUNTY, FLORIDA

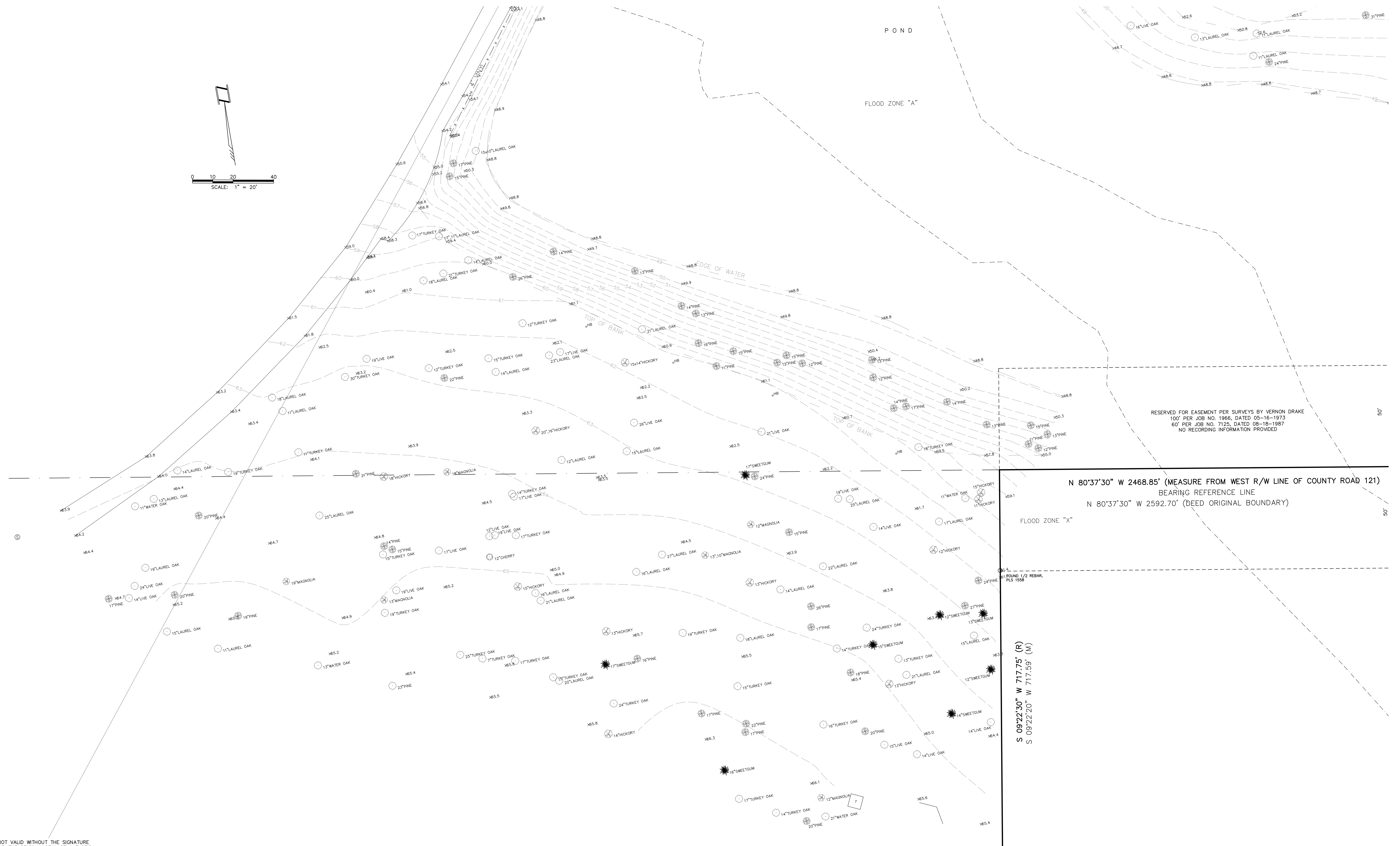
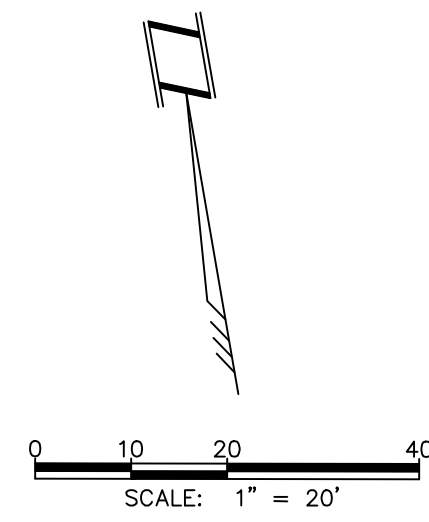
FLOOD ZONE "A"

SEE SHEET 1 OF 6 FOR NOTES, LEGEND AND SIGNATURE.

DATE: FEBRUARY 11, 2021 SHEET 5 OF 6 (904)241-8550

904)241-8550

BOATWRIGHT LAND SURVEYORS, inc. 1500 ROBERTS DRIVE JACKSONVILLE BEACH, FLORIDA



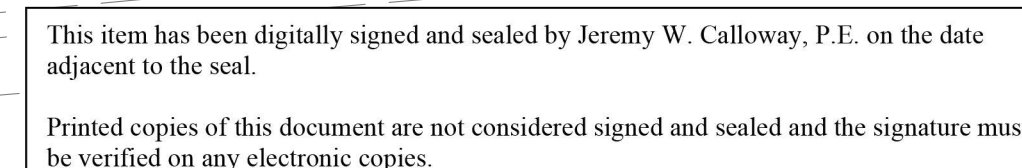
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SEE SHEET 1 OF 6 FOR NOTES, LEGEND AND SIGNATURE.

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# Applicable Local, State, and Federal Guidelines

## Nassau County Landscape Requirements Applicable to the Site

### Section 37.05 Landscaping

A. Applicability.  
2.Developments constructed under previously effective landscaping requirements are not required to comply with this section. However, the requirements of this section shall also apply to the redevelopment, reconfiguration, expansion or change of use of a previously developed site, unless such change falls below the following threshold:a.The existing developed impervious area is seven thousand five hundred (7,500) square feet or less, and the proposed expansion of impervious surface is seven hundred fifty (750) square feet or less.b.The existing developed impervious area is greater than seven thousand five hundred (7,500) square feet, and the proposed expansion of impervious surface is less than two thousand (2,000) square feet, and also less than ten (10) percent of the existing impervious area on the parcel or lot.

B.Plant material. All installed trees, shrubs and groundcovers shall conform to the standards for Florida Grade #1 or better according to the current edition of "Grades and Standards for Nursery plants" published by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry. Synthetic or artificial trees, shrubs, groundcovers or vines are not acceptable substitutes.  
1.The minimum number of trees required by this section shall be either qualifying existing trees preserved on-site or more than one species listed in Tables 37-1 or 37-2. Trees planted in addition to these minimum requirements of this section may be any species of canopy tree or palm except for the prohibited species listed herein. In order to prevent a monoculture, new landscaping should not include more than fifty (50) percent of any one genus or twenty-five (25) percent of any one species. All trees shall be planted in a minimum dimension of ten (10) feet. This minimum planting area must be free of all pavement and vehicle overhang in order to prevent possible tree damage. All trees shall have a minimum trunk diameter, measured six (6) inches above ground level, in accordance with Table 37-3.  
2.Shrubs shall have a minimum height of eighteen (18) inches when planted. When planted as a hedge, the maximum spacing is 30 inches on center. All shrubs used for visual screening shall be of a plant species that is capable of reaching a height of four (4) feet within twenty-four (24) months under normal growing conditions.  
3.Groundcovers shall be planted in such manner as to present a finished appearance and complete coverage within one (1) year after planting.

C.Minimum tree planting requirements by use.  
3.Non-residential developments. In addition to the buffer and perimeter landscaping adjacent to a right-of-way requirements found in this section, each commercial and/or industrial development must provide a minimum of ten (10) percent of the lot or parcel as pervious green space planted with one or more species of tree listed in Tables 37-1 or 37-2 for every five hundred (500) square feet of such green space.

D.Perimeter landscaping adjacent to rights-of-way and streets: Except for individual one- and two-family dwellings, all developments located along a public or private right-of-way or street shall be required to provide the following perimeter landscaping. Perimeter landscaping adjacent to rights-of-way/streets and required screening of vehicle use areas as considered in this section and those uncomplimentary use buffers defined in section 37.06  
2.Other arterial and collector roadways. All other arterial and collector roadways, as identified by the comprehensive plan, shall provide a strip of pervious land adjacent and parallel to the right-of-way line having an average width of fifteen (15) feet and a minimum width of seven and one-half (7½) feet along the entire street frontage except for permitted driveways. This perimeter landscaping strip shall contain a minimum of three (3) canopy trees per one hundred (100) linear feet of property frontage and three (3) understory trees per one hundred (100) linear feet of property frontage. The canopy trees shall consist of more than one species listed in Tables 37-1 or 37-2 and meeting the material standards of this section.

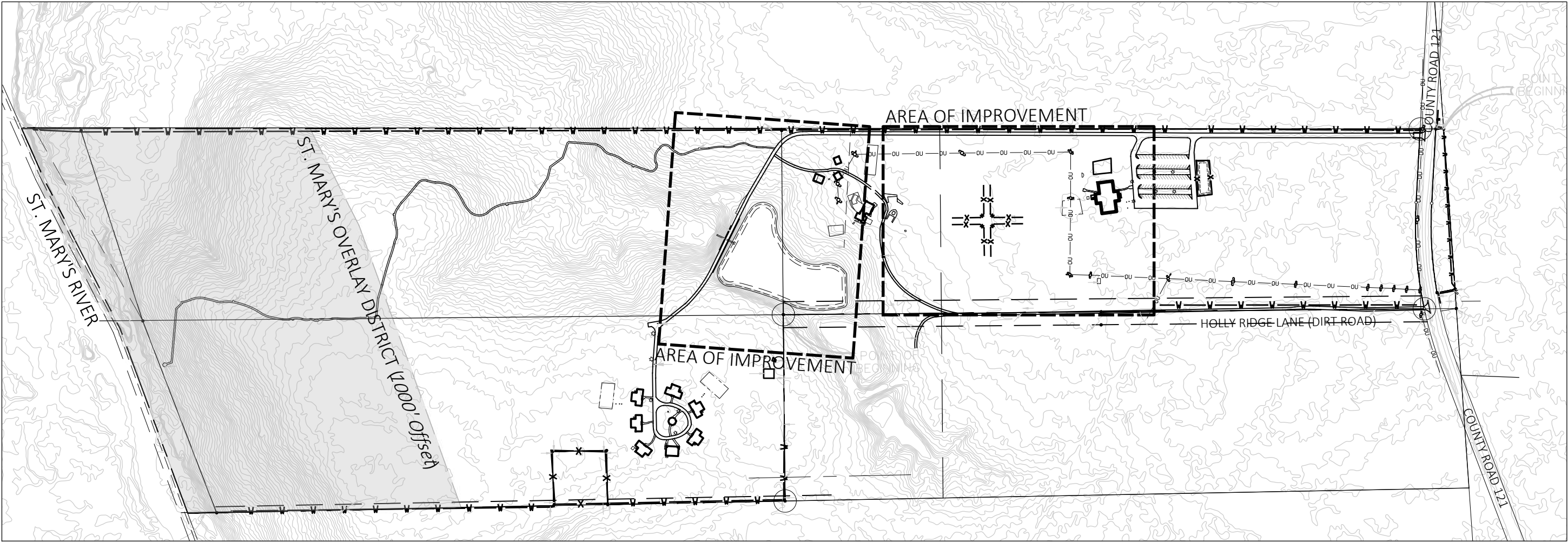
E.Intersection sight distance clearance:1.At the intersection of two (2) streets, all landscaping within that area defined by the Florida Department of Transportation sight triangle, as outlined in the FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on the State Highway System shall be installed and maintained below three (3) feet in height or above eight (8) feet in height.2.When a driveway intersects a right-of-way, clear unobstructed cross visibility shall be provided within the site triangle formed by such intersection. The sight triangle shall be measured from the point of intersection, fifteen (15) feet along the access way and then fifteen (15) feet along the right-of-way, with the third side being a line connecting the two (2) points. Cross visibility within the sight triangle shall be unobstructed between the height of three (3) feet and eight (8) feet measured from the ground line.

F.Interior landscaping regulations:1.Except for one- and two-family dwellings, all off-street parking areas shall contain interior landscaping islands at a ratio of one (1) island for each ten (10) parking spaces. Rows of parking spaces abutting a sidewalk adjacent to a building are exempt from required landscape islands except for terminal islands at the end of each row. Such landscaped areas are creditable to the minimum landscape requirements for multi-family, mobile home park, travel trailer park and non-residential developments.2.Each separate interior landscaped island shall contain a minimum of one hundred sixty-six (166) square feet and shall be at least ten (10) feet wide as measured from back of curb. A minimum of one (1) canopy tree shall be planted in each interior landscaping island with the remaining area adequately planted with shrubs, ground cover, or other approved landscaping materials.3.All interior landscaping shall be protected from vehicle encroachment by curbing or wheel stops.4.Interior landscaping shall be located in a manner, which will divide or interrupt the broad expanse of paving. Landscaped areas shall subdivide rows of parking spaces into a maximum of ten (10) consecutive spaces. Each group of ten (10) shall have terminal islands at each end. This maximum may be adjusted to provide for the preservation of existing canopy trees.

G.Landscaping site plan regulations:1.For all projects subject to this section of the Code, landscaping site plans shall be submitted with the preliminary binding site plan (PBSP), when a PBSP is not required, it shall be submitted with the site engineering plans. The landscaping site plan shall contain the following information in graphic and tabular form:a.Impervious lands (for the purpose of this Code, impervious lands include, but may not be limited to, total area of all structures, all pavement areas, stormwater retention facilities measured at the normal high-water level, and wetlands).b.Pervious strips adjacent to rights-of-way (reference section 37.05.D).c.Uncomplimentary land use buffers (reference section 37.06 LDC).d.Interior landscaping areas (reference section 37.05.F LDC).e.A planting schedule demonstrating consistency with this Code shall be included for all landscape plans.

H.Xeriscape.  
1.All plantings shall be grouped in zones according to water requirements and shall be irrigated in zones separating high water use areas from drought tolerant zones. The zones are as follows:a.High water use zone: A zone containing plants which are associated with moist soils and require supplemental water in addition to natural rainfall to survive. This zone includes most turf grasses.b.Moderate water use zone: A zone containing plants which survive on natural rainfall with supplemental water during seasonal dry periods.c.Low water use zone: A zone containing plants which survive on natural rainfall without supplemental water.2.Fifty (50) percent of the plants used in all vehicular use area landscape designs should be drought tolerant and located in groupings according to zones designated by the water requirements.3.Turf grass areas should be consolidated and limited to those areas on the site that receive pedestrian traffic, provide for recreational uses, provide soil erosion control such as berms, slopes and swales, where turf grass is used as a design unifier or other similar practical use.4.All planting areas shall be mulched with approximately three (3) inches of organic mulch, such as pine bark or shredded hardwood chips.

## NASSAU COUNTY GENERAL LAND USE : OPEN RURAL (OR) Overlay District : ST. MARY'S



### General Land Use Designation :OPEN RURAL (OR)

The parcel is designated Agricultural on the Future Land Use Map with a zoning designation of Open Rural (OR). The OR zoning district allows "private outdoor recreational uses such as parks and playgrounds, sport fields and courts, swimming pools, camps, camping areas and private indoor recreational and entertainment facilities such as bowling alleys, gymnasiums. spas, exercise facilities, swimming pools, meeting rooms, theaters, and game rooms and similar uses" as a Conditional Use.

Section 36.04 Conditional Uses  
The conditional uses of the underlying zoning designation shall apply, as set forth in article 28, section 28.14.

Section 28.09. - Travel trailer parks and campgrounds.  
(A)Development guidelines:(1)Location and access: A travel trailer park or campground shall be so located that no entrance nor exit from a park shall discharge traffic into any residential district. A travel trailer park or campground fronting on a public street shall have a minimum of one hundred-fifty (150) feet of frontage.(2)Permitted use: Spaces in the travel trailer park and campground shall be used exclusively for temporary portable housing. Permanent occupancy for dwelling purposes is prohibited. Spaces shall be rented by the day or week only.(3)Accessory uses: Management headquarters, recreational facilities, toilets, showers, coin-operated laundry facilities, and other uses and structures customarily incidental to the operation of a travel trailer park or campground are permitted as accessory uses.(4)Yard requirements: Twenty-five (25) feet front, rear and side yards shall be provided for travel trailer parks or campgrounds.(5)Relation of spaces to exterior streets: No space intended for occupancy shall be so located that any part intended for occupancy for sleeping purposes shall be within fifty (50) feet of the right-of-way line of any arterial street or within twenty-five (25) feet of the right-of-way line of any other street.(6)Design of access to park: All traffic into or out of the park shall be through entrances and exits designed for the safe and convenient movement of traffic.(7)Off-street parking, loading and maneuvering space: Each travel trailer park or campground shall provide adequate off-street parking, loading and maneuvering space. In connection with the use of any travel trailer park or campground, no parking, loading, or maneuvering incidental to parking, or loading shall be permitted on any public street, sidewalk or public right-of-way.(B)Site plan: A site plan is required for all travel trailer park and campground developments in Nassau County. All site plans shall be submitted and processed in accordance with Class III requirements of section 5.07 of this ordinance.  
(Ord. No. 2010-08, § 7, 7-26-10)

Section 28.12 Agricultural Zoning  
All lands which become classified as open rural for ad valorem tax purposes by the Nassau County Tax Assessor, shall be considered to be in the Open Rural (OR) District during the time such classification is maintained regardless of the zoning district shown on the Zoning Atlas for such lands. All uses, restrictions and regulations provided in the OR District shall apply to such lands during the time such classification is maintained.

### St. Mary's Overlay District NOTE: NO IMPROVEMENTS INCLUDED WITHIN THIS ZONE.

Article 36 St. Mary's Overlay District

Section 36.02. - Permitted uses and structures.  
The permitted uses and structures of the underlying zoning shall apply, as set forth in article 28, section 28.15.  
(Ord. No. 2003-34, § 1, 6-23-03)

Section 36.03. - Permitted accessory uses and structures.  
The permitted accessory uses and structures of the underlying zoning shall apply, as set forth in article 28, section 28.15.  
(Ord. No. 2003-34, § 1, 6-23-03)

Section 36.04. - Conditional uses.  
The conditional uses of the underlying zoning designation shall apply, as set forth in article 28, section 28.14.  
(Ord. No. 2003-34, § 1, 6-23-03)

Section 36.05. - Minimum lot requirements.  
A.Minimum lot width:1.One hundred (100) feet for lots directly adjacent to the riverbank.2.Lots not directly adjacent to the riverbank shall be the same as the underlying zoning district; see Ordinance 97-19, as set forth herein.B.Minimum lot area:1.Lots directly located on the riverbank—One (1) acre.2.Lots not located directly on the riverbank shall be the same as the underlying zoning district; see Ordinance 97-19, as set forth herein.  
(Ord. No. 2003-34, § 1, 6-23-03)

Section 36.06. - Minimum yard requirements.  
A.Front yard: The front yard requirements of the underlying zoning district shall apply, as set forth herein.B.Side yard: The side yard requirements of the underlying zoning district shall apply, as set forth herein.C.Rear yard: The rear yard requirements of the underlying zoning district shall apply, as set forth herein.  
(Ord. No. 2003-34, § 1, 6-23-03)

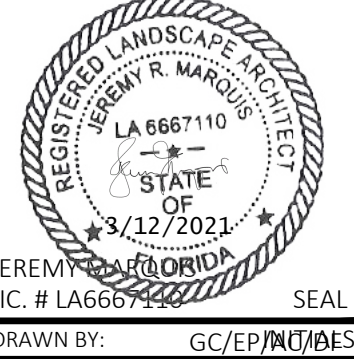
Section 36.07. - Building restrictions.  
The building restrictions of the underlying zoning district shall apply, as set forth herein.  
(Ord. No. 2003-34, § 1, 6-23-03)

Section 36.08. - Special requirements.  
On-site sewage and disposal systems are prohibited within one hundred (100) feet of the riverbank, measured from the mean high-water line of the tidally influenced portions or from the normal annual flood line of the St. Marys River (whichever is more restrictive). "Tidally influenced" shall mean subject to the ebb and flow of the tides and has its boundary a mean high-water line as defined in section 177.27(15), Florida Statutes.  
(Ord. No. 2003-34, § 1, 6-23-03)



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|               |                                                |               |
|---------------|------------------------------------------------|---------------|
| CAMP SORENSEN | 607 RETREAT ACRES ROAD, HILLARD, FLORIDA 32046 | GENERAL NOTES |
|---------------|------------------------------------------------|---------------|

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| PERMIT SUBMITTAL | 03/12/21         |
| 60% DWG SET      | 02/19/21         |
| 30% DWG SET      | 01/29/21         |
| SYM              | DESCRIPTION DATE |

|                  |        |
|------------------|--------|
| SIZE:            | ANSI D |
| PRIME PROJECT #: | 21.2.0 |
| ML+H PROJECT #:  | 21.2.0 |

DRAWING NO.: G0.2

Nassau County Landscape Requirements Applicable to the Site (cont.) & Tables

I.Firewise. Landscape within the wildlife/urban interface are subject to wildfire hazard and should incorporate Firewise landscaping techniques. Such techniques include:1.Creating a defensible space zone around buildings. Such zones shall provide space for fire suppression equipment in the event of an emergency and progressively limit plantings near structures to carefully spaced fire resistant species.2.Placing low growing species and groundcovers beneath canopy trees and rooflines to avoid creating a continuous fuel source from ground to tree or roof.3.Utilizing driveways, lawn areas and walkways to provide firebreaks between large areas of dense vegetation.4.Selective thinning of fire prone plant species in existing vegetation areas to reduce fuel loads. A list of fire prone species is available from the Division of Forestry.

J.Prohibited trees. Any species identified on the most recent Florida Exotic Pest Plant Council Invasive Plant list (Category I or II) is expressly forbidden from being planted or used as required or supplemental landscaping material. Invasive non-native vegetation in general is a public nuisance that degrades landscaped and natural areas.

Section 37.06. - Buffers between certain uses.  
2.Minimum landscape buffer types required on abutting property boundaries between uses are shown in Table 37-5 below. If the Future Land Use Map and existing use of the property are inconsistent, the buffer requirement will be based upon whichever use results in a more intensive buffer.

3.Minimum buffer width and planting specifications for required buffer types are indicated in the following table.

4.Buffer landscaping and screening:a.Medium and fast growing canopy trees shall be chosen from Table 37-1 having a dense, evergreen crown to provide maximum visual separation between abutting properties.b.Shrubs shall be spaced to provide a natural appearance and inhibit free movement of pedestrian traffic except at a mutually agreed upon pedestrian connection. Where screening is proposed consisting of a fence or wall, shrubs are not required.c.Where screening is required, it shall consist of one or more of the following materials:(1)A five (5) foot masonry wall stuccoed on the side facing the abutting property.(2)A solid six (6) foot fence constructed of resistant materials such as vinyl, cypress or pressure treated wood.(3)Existing dense vegetation.(4)A berm three (3) feet in height located entirely within the buffer and having the requisite number of shrubs planted along the crown.  
(Ord. No. 2008-01, § 3, 1-31-08; Ord. No. 2020-09, § 2(Exh. C), 2-10-20)

| 1/28/2021 Nassau County, FL Code of Ordinances |                          |                     |                |                |                   |  |
|------------------------------------------------|--------------------------|---------------------|----------------|----------------|-------------------|--|
| Table 37-1. Nassau County Native Canopy Trees  |                          |                     |                |                |                   |  |
| Name                                           | Common Name              | Mature Height (ft.) | Rate of Growth | Salt Tolerance | Drought Tolerance |  |
| Acer rubrum                                    | Red Maple                | 35—50               | Fast           | Low            | Med               |  |
| Betula nigra                                   | River Birch              | 45—65               | Fast           | Low            | Low               |  |
| Bumelia spp                                    | Buckthorn                | 20—40               | Med            | M/L            | M/High            |  |
| Carpinus caroliniana                           | American hornbeam        | 25—35               | Slow           | Low            | Low               |  |
| Carya glabra                                   | Pignut hickory           | 80—120              | Fast           | Low            | High              |  |
| Cercis canadensis                              | Redbud                   | 20—30               | Med            | Low            | High              |  |
| Cornus florida                                 | Flowering dogwood        | 20—30               | Med            | Low            | High              |  |
| Diospyros virginiana                           | Persimmon                | 30—60               | Med            | Low            | Med               |  |
| Fagus grandifolia                              | American Beech           | 50—100              | Slow           | Med            | Med               |  |
| Ilex attenuata                                 | East Palatka Holly       | 30—45               | Med            | Med            | High              |  |
| Ilex cassine                                   | Dahoon Holly             | 25—40               | Med            | Med            | Med               |  |
| Ilex opaca                                     | American Holly           | 30—45               | Slow           | Med            | Med               |  |
| Juniperus silicicola                           | Southern Red Cedar       | 25—30               | Med            | High           | High              |  |
| Juniperus virginiana                           | Eastern Red Cedar        | 10—40               | Slow           | Med            | Med               |  |
| Liquidambar styraciflua                        | Sweetgum                 | 60—100              | Fast           | Med            | High              |  |
| Liriodendron tulipifera                        | Tulip Tree/Yellow Poplar | 80—100              | Fast           | Low            | Low               |  |
| Magnolia grandiflora                           | Southern Magnolia        | 60—100              | Med            | High           | High              |  |
| Magnolia virginiana                            | Magnolia/Sweetbay        | 40—60               | Med            | Low            | Low               |  |
| Nyssa sylvatica                                | Black Tupelo             | 50—80               | Med            | Low            | Low               |  |
| Ostrya virginiana                              | Eastern Hophorn beam     | 20—40               | Med            | Low            | High              |  |
| Quercus alba                                   | White Oak                | 50—80               | Med            | High           | Med               |  |
| Quercus austrina                               | Bluff Oak                | 25—40               | Med            | Low            | Low               |  |
| Quercus chapmanii                              | Chapman Oak              | 30—45               | Slow           | Med            | High              |  |
| Quercus laurifolia                             | Laurel Oak               | 60—100              | Fast           | Low            | High              |  |
| Quercus shumardii                              | Shumard Oak              | 40—60               | Slow           | Low            | Med               |  |
| Quercus myrtillofolia                          | Myrtle Oak               | 10—25               | Slow           | Med            | High              |  |
| Quercus virginiana                             | Live Oak                 | 50—60               | Med            | High           | High              |  |
| Taxodium distichum                             | Bald Cypress             | 60—100              | Med            | Med            | High              |  |
| Tilia floridana                                | Florida Basswood         | 30—60               | Fast           | Low            | Low               |  |
| Ulmus alata                                    | Winged elm               | 20—40               | Med            | Low            | High              |  |
| Ulmus americana                                | American Elm             | 80—100              | Fast           | Low            | Med               |  |

| 1/28/2021 Nassau County, FL Code of Ordinances |                    |  |
|------------------------------------------------|--------------------|--|
| Table 37-4 Understory Trees                    |                    |  |
| Cornus florida                                 | Flowering Dogwood  |  |
| Chionanthus virginicus                         | White Fringetree   |  |
| Magnolia x saulangeana                         | Saucer Magnolia    |  |
| Prunus angustifolia                            | Chickasaw Plum     |  |
| Ilex cassine                                   | Dahoon Holly       |  |
| Ilex attenuata                                 | East Palatka Holly |  |
| Lagerstroemia spp.                             | Crape Myrtle       |  |
| Juniperus chinensis                            | Chinese Juniper    |  |
| Calistemon spp.                                | Bottlebrush        |  |
| Gordonia lasianthus                            | Loblolly Bay       |  |

| 1/28/2021 Nassau County, FL Code of Ordinances     |                    |                     |
|----------------------------------------------------|--------------------|---------------------|
| Table 37-2. Supplemental Tree List for Landscaping |                    |                     |
| Name                                               | Common Name        | Mature Height (ft.) |
| Ulmus parvifolia                                   | Chinese elm        | 40—50               |
| Carya illinoensis                                  | Pecan              | 70—100              |
| Quercus michauxii                                  | Swamp chestnut oak | 60—70               |
| Ilex attenuata                                     | East Palatka holly | 30—45               |
| Ilex attenuata                                     | Savannah holly     | 30—45               |
| Ilex cornuta                                       | Chinese holly      | 20—30               |
| Taxodium ascendens                                 | Pond cypress       | 60—100              |
| Quercus nuttallii                                  | Nuttall oak        | 50—80               |
| Plantanus occidentalis                             | Sycamore           | 70—150              |

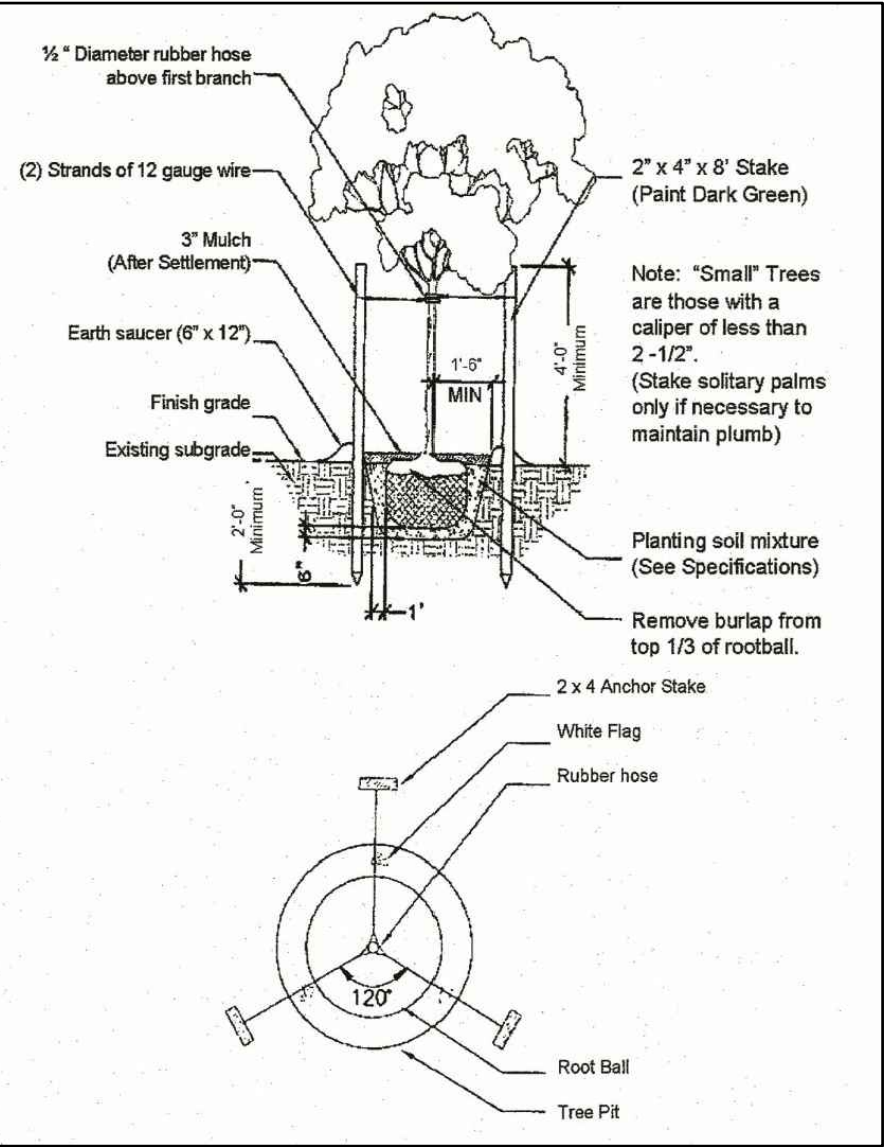
1/28/2021

Nassau County, FL Code of Ordinances

| Table 37-5. Minimum Buffers by Type                       |      |                               |                          |                                         |                         |                      |            |
|-----------------------------------------------------------|------|-------------------------------|--------------------------|-----------------------------------------|-------------------------|----------------------|------------|
| Proposed Use of Subject Property                          |      | One or two-family dwelling(s) | Multi-family dwelling(s) | Institutional (churches, schools, etc.) | Neighborhood Commercial | All other Commercial | Industrial |
| Timber-leased                                             | None | None                          | None                     | None                                    | None                    | None                 | None       |
| One or two-family dwelling(s)                             | None | None                          | L                        | L                                       | L                       | M                    | M          |
| Multi-family dwelling(s)                                  | None | M                             | None                     | M                                       | M                       | M                    | M          |
| Institutional (churches, schools, public buildings, etc.) | L    | L                             | L                        | None                                    | L                       | M                    | M          |
| Neighborhood commercial, office park                      | L    | L                             | L                        | L                                       | None                    | L                    | L          |
| All other Commercial                                      | L    | H                             | M                        | H                                       | M                       | None                 | None       |
| Industrial                                                | M    | H                             | H                        | H                                       | M                       | L                    | None       |
| Key to buffer types: See Table 37-6                       |      |                               |                          |                                         |                         |                      |            |

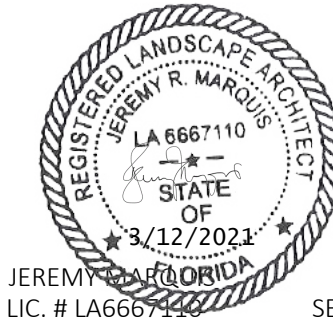
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|------------------------------------------------|---------------|-----------------------------|--------|-----------|
| Table 37-6. Minimum Buffer Specifications      |               |                             |        |           |
| Buffer Type From Table 37-5                    | Minimum Width | Plant Material per 100 l.f. |        | Screening |
|                                                |               | Canopy Trees                | Shrubs |           |
| L=Low Density                                  | 10 feet       | 3                           | 67     | No        |
| M=Medium Density                               | 15 feet       | 4                           | 67     | Yes       |
| H=High Density                                 | 25 feet       | 5                           | 90     | Yes       |

| 1/28/2021 Nassau County, FL Code of Ordinances           |          |
|----------------------------------------------------------|----------|
| Table 37-3. Minimum Tree Caliper at the Time of Planting |          |
| Existing tree replacement                                | 3 inches |
| All other plantings except below                         | 3 inches |
| Individual single-family lots/homes                      | 2 inches |



NOTE: ALL TREES PLANTED SHALL BE STAKED OR GUYED FOR A PERIOD OF AT LEAST SIX (6) MONTHS IN ACCORDANCE WITH THE FOLLOWING PLANTING DETAIL.





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CAMP SORENSEN

## HARDSCAPE - FOCUS AREA 'A'

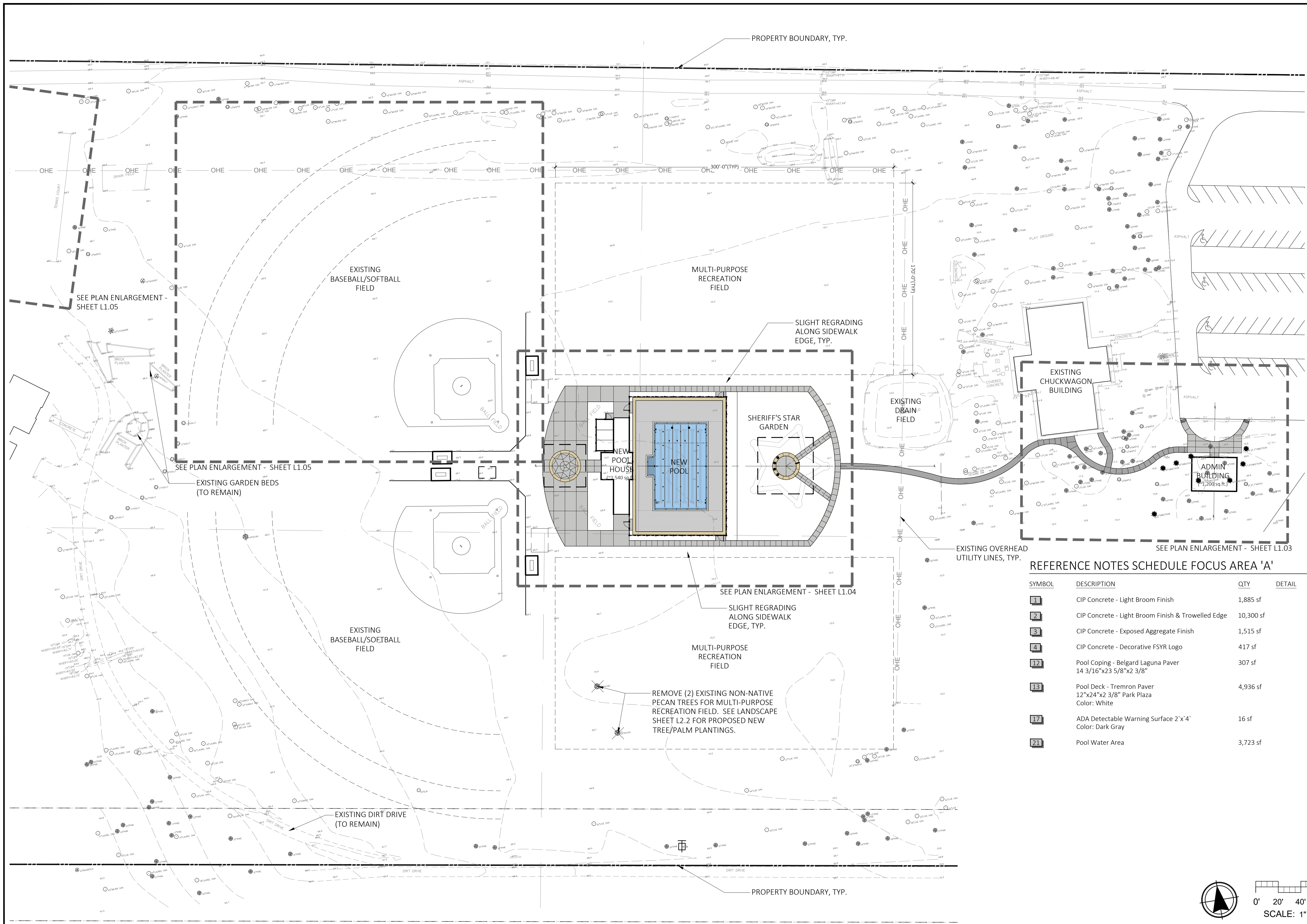
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|     | PERMIT SUBMITTAL | 03/1 |
|     | 60% DWG SET      | 02/1 |
|     | 30% DWG SET      | 01/2 |
| SYM | DESCRIPTION      | DATE |

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| SIZE:            | ANS |
| PRIME PROJECT #: | 21. |
| ML+H PROJECT #:  | 21. |

DRAWING NO.

L1.C





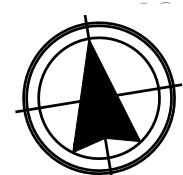


AK

— EXISTING OVERHEAD POWER LINE, TYP.

EXISTING  
SPORT COURT

## SPORT COURT - ENLARGEMENT



0' 5' 10' 20'

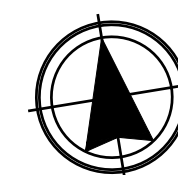
SCALE: 1" = 10'-0"

— EXISTING OVERHEAD POWER LINE, TYP.

RETREAT ACRES ROAD  
(PRIVATE PAVED ROAD)

EXISTING  
BASEBALL/SOFTBALL FIELD, TYP.  
69.5 TOTAL (2) FIELDS

## BALL FIELD - ENLARGEMENT



SCALE: 1" = 20'-0"



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JEREMY BLAIR  
LIC. # LA6667139

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## HARDSCAPE - FOCUS AREA 'A' - REC FIELDS + COURTS

|     |                  |          |
|-----|------------------|----------|
|     | PERMIT SUBMITTAL | 03/12/21 |
|     | 60% DWG SET      | 02/19/21 |
|     | 30% DWG SET      | 01/29/21 |
| SYM | DESCRIPTION      | DATE     |

|                  |        |
|------------------|--------|
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| PRIME PROJECT #: | 21.2.0 |
| ML+H PROJECT #:  | 21.2.0 |

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L1.05



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## DETAILS 'A' - SHERIFF'S STAR GARDEN + PILLARS

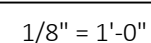
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| PRIME PROJECT #: | 21.2.0 |
| ML+H PROJECT #:  | 21.2.0 |

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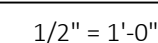
L1.06


$$3'' = 1'-0''$$

P-CO-CAM-02



~~P-CO-CAM-11~~

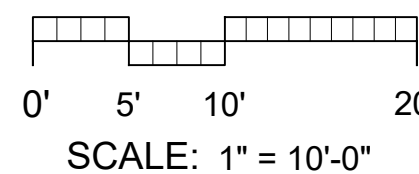


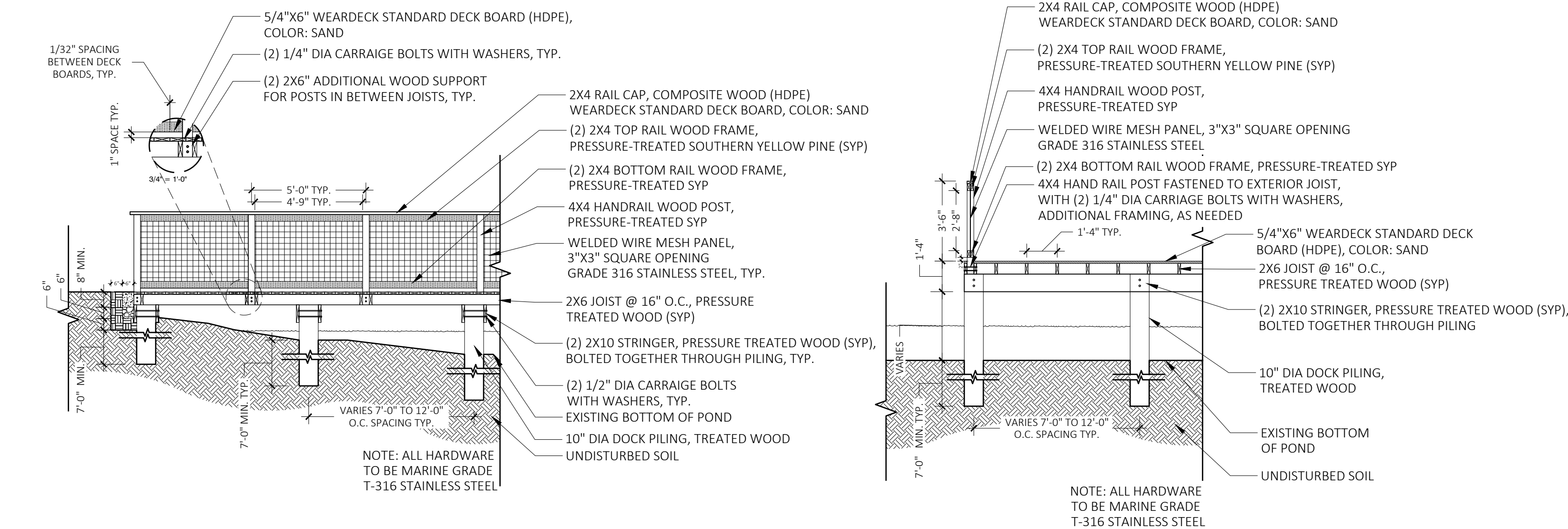
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P-CO-CAM-06

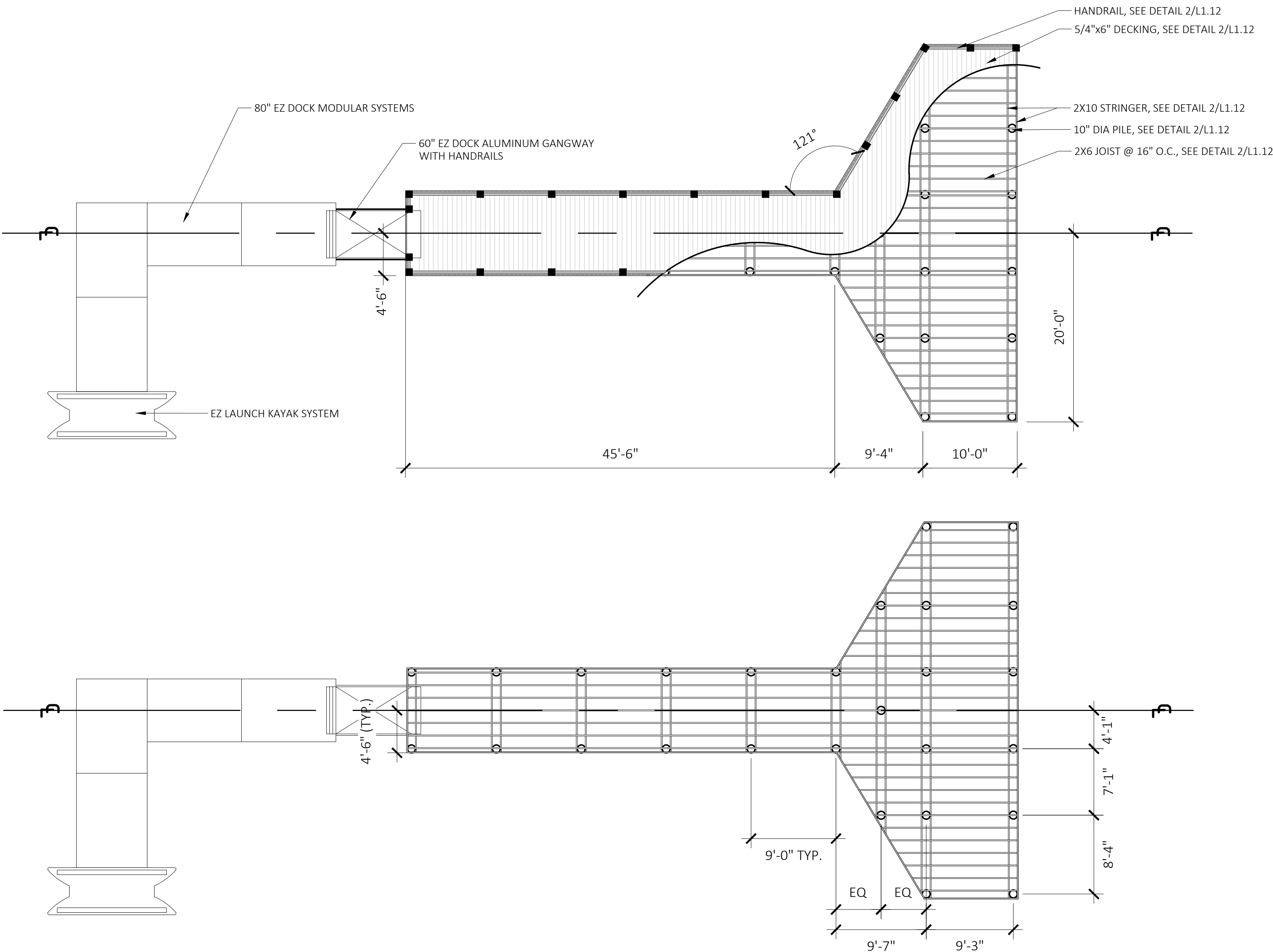




2 DOCK AND KAYAK LAUNCH SECTION

1/4" = 1'-0"

P-CO-CAM-05



1 DOCK AND KAYAK LAUNCH FRAMING LAYOUT

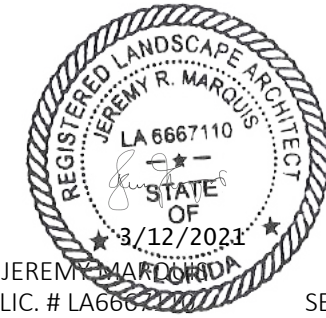
1/8" = 1'-0"

P-CO-CAM-04



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DETAILS 'B' - KAYAK LAUNCH

PERMIT SUBMITTAL 03/12/21

60% DWG SET 02/19/21

30% DWG SET 01/29/21

SYM DESCRIPTION DATE

SIZE: ANSI D

PRIME PROJECT #: 21.2.0

ML+H PROJECT #: 21.2.0

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L1.12



JEREMY MARSHALL  
LIC # 1A666794

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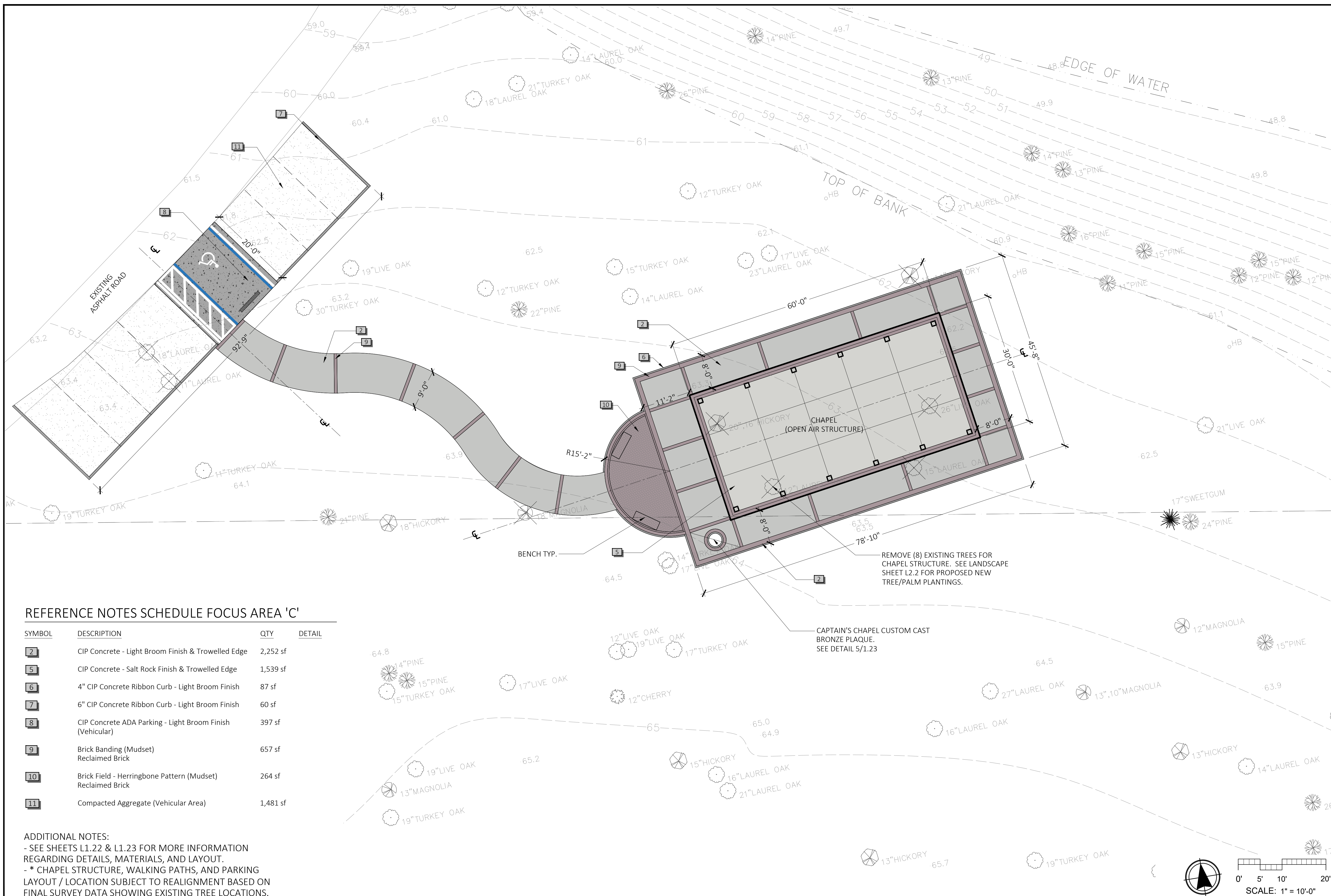
## HARDSCAPE - FOCUS AREA 'B' - CHAPEL IN THE WOODS

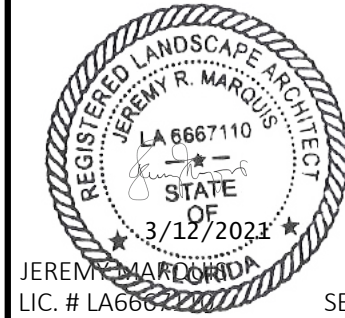
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**CAMP SORENSEN**

607 RETREAT ACRES ROAD, HILLARD, FLORIDA 32046

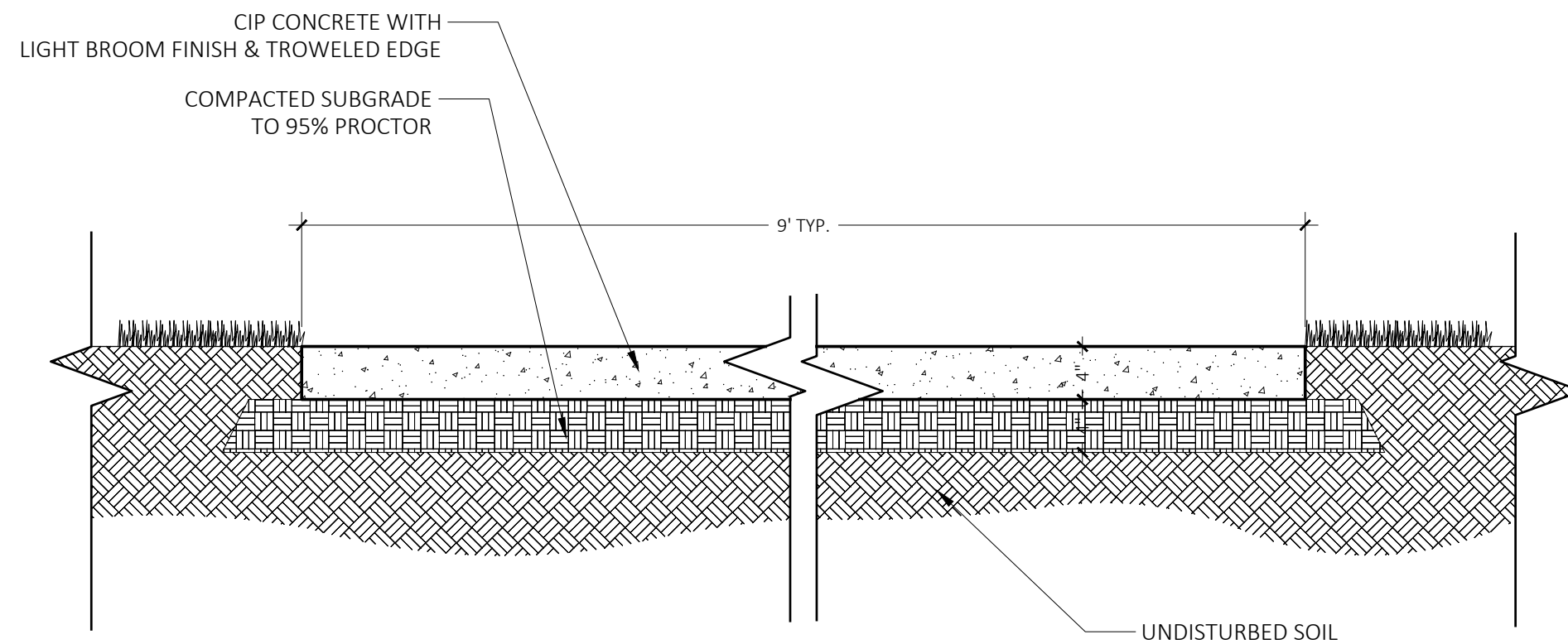
**DETAILS 'C' - CHAPEL PAVING PLANS AND SECTIONS**

[illegible]

|                  |     |
|------------------|-----|
| SIZE:            | ANS |
| PRIME PROJECT #: | 21. |
| ML+H PROJECT #:  | 21. |

DRAWING NO.:

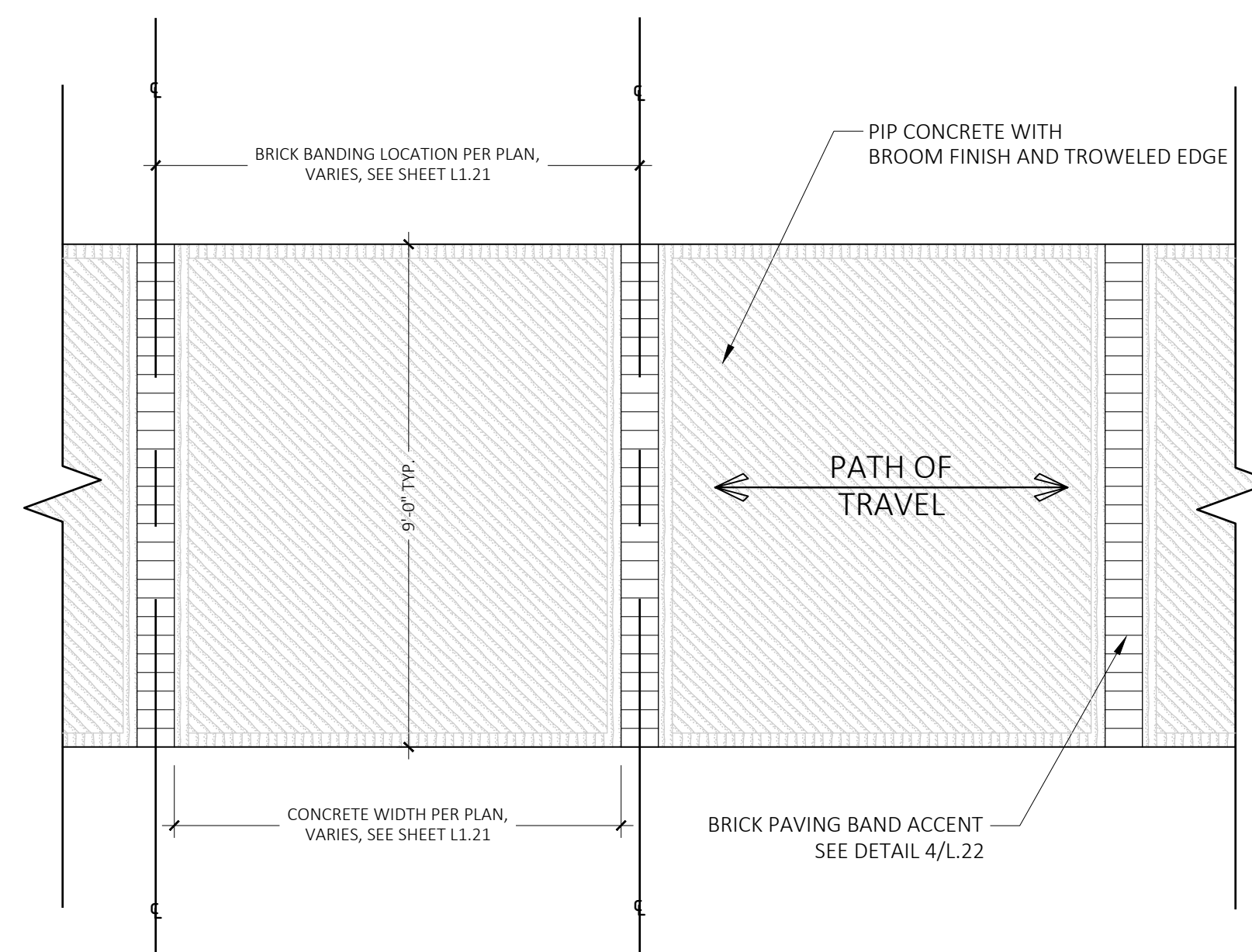
L1.2



### 4 CAPTAIN'S CHAPEL ENTRY PATH - SECTION

$$1'' = 1' - 0'$$

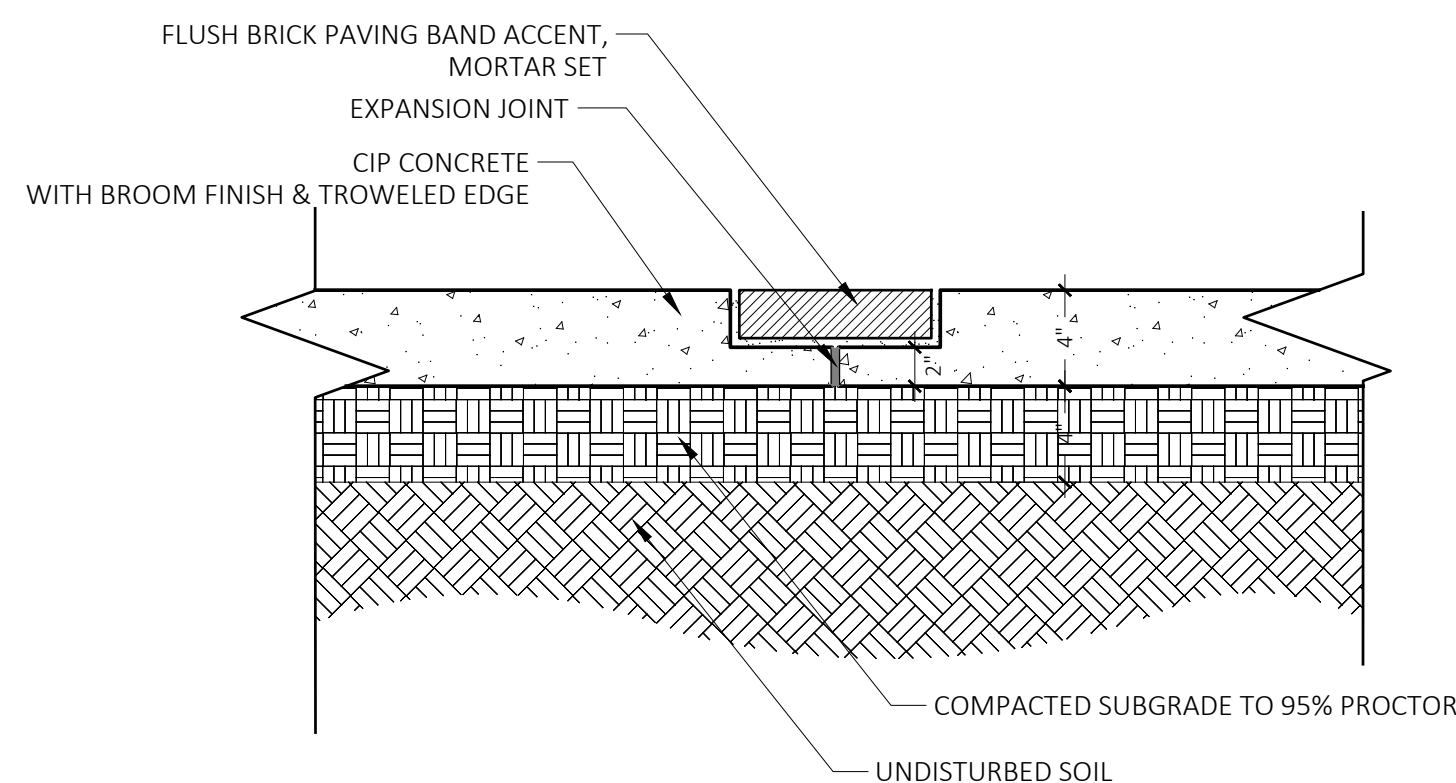
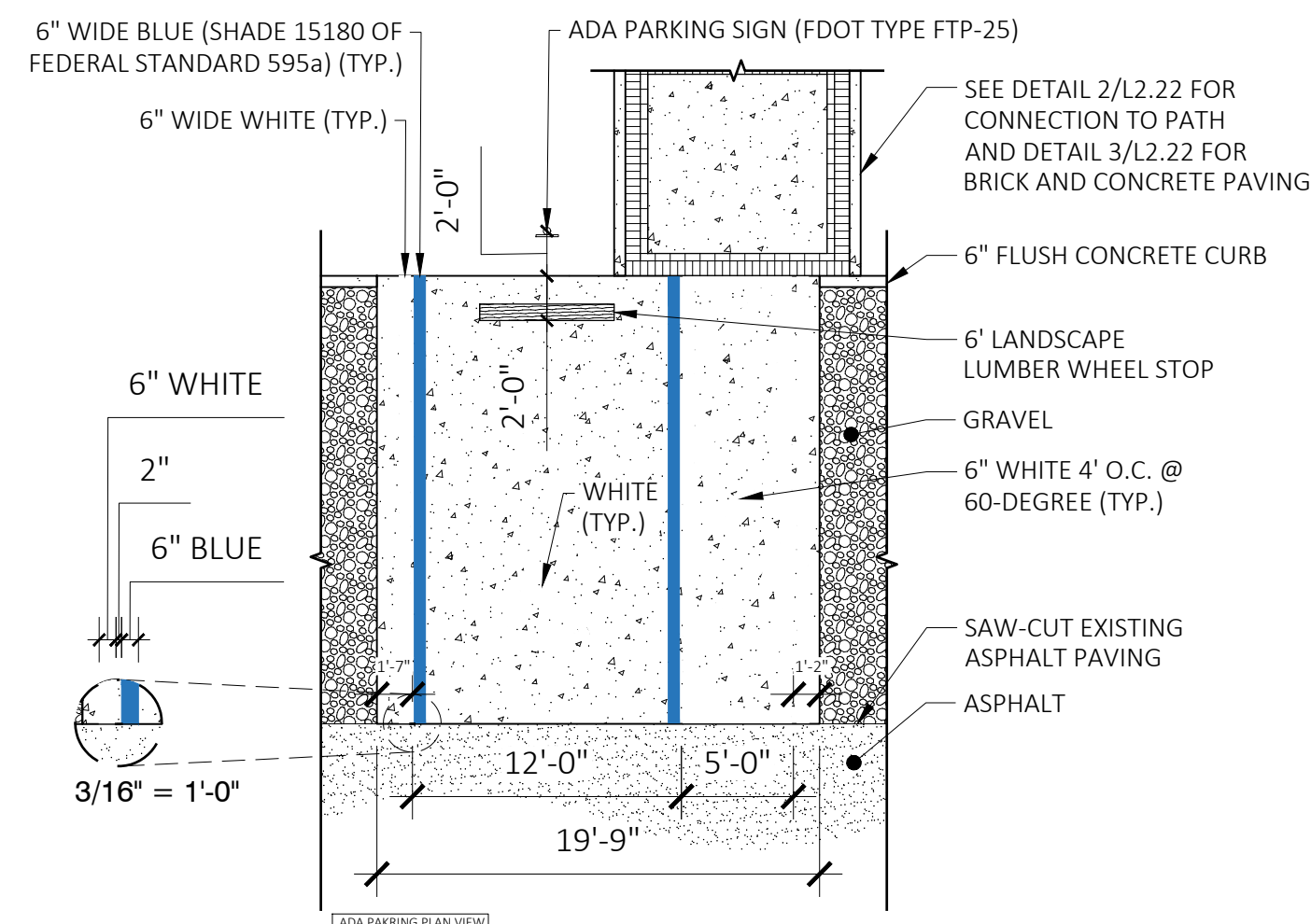
P-CO-CAM-32



3 CAPTAIN'S CHAPEL ENTRY PATH - PLAN VIEW

$$3/8'' = 1'-0$$

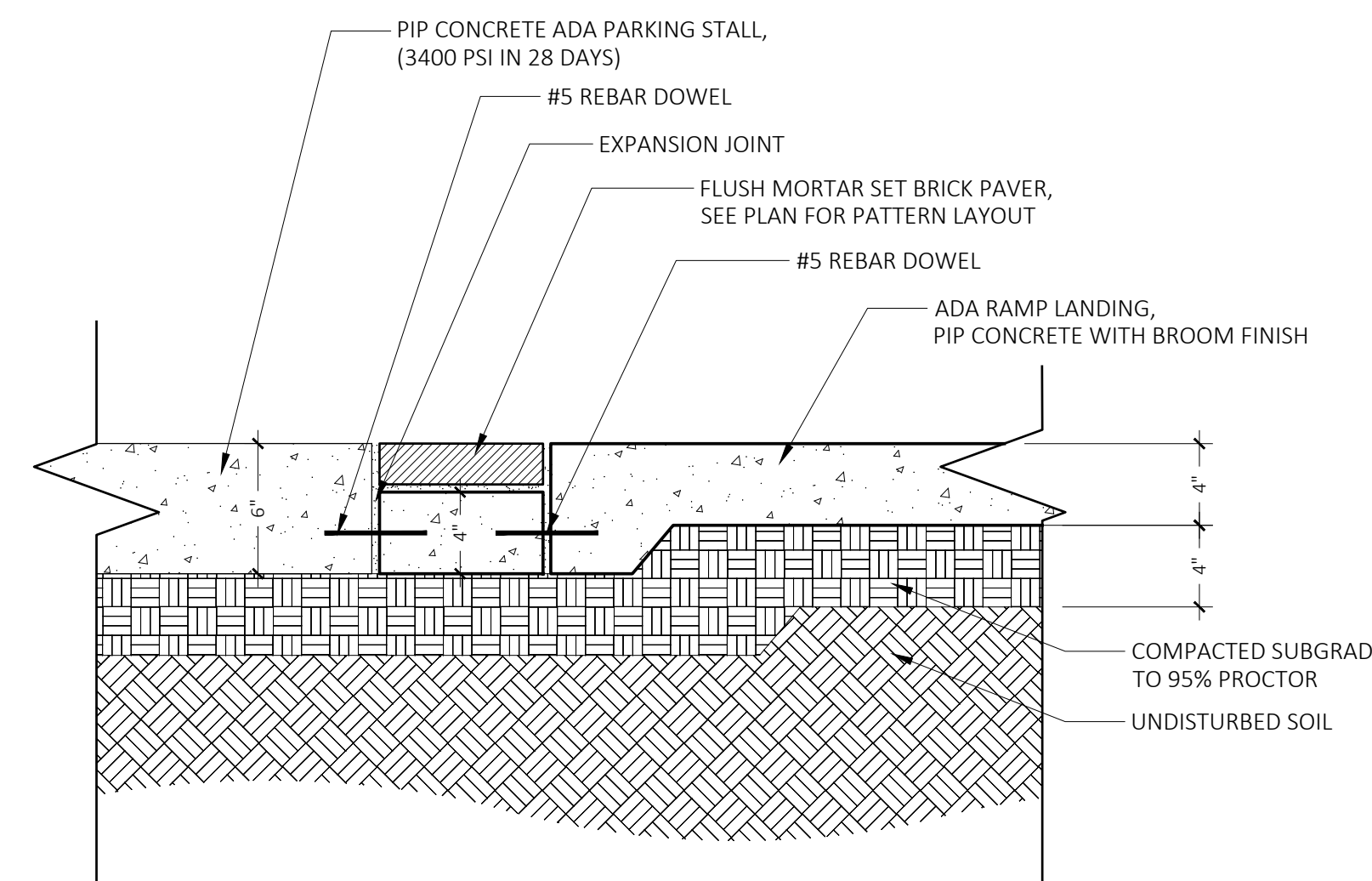
P-CO-CAM-35



### 5 BRICK PAVING BAND ACCENT - TYPICAL SECTION

$$1\frac{1}{2}'' = 1'-0''$$

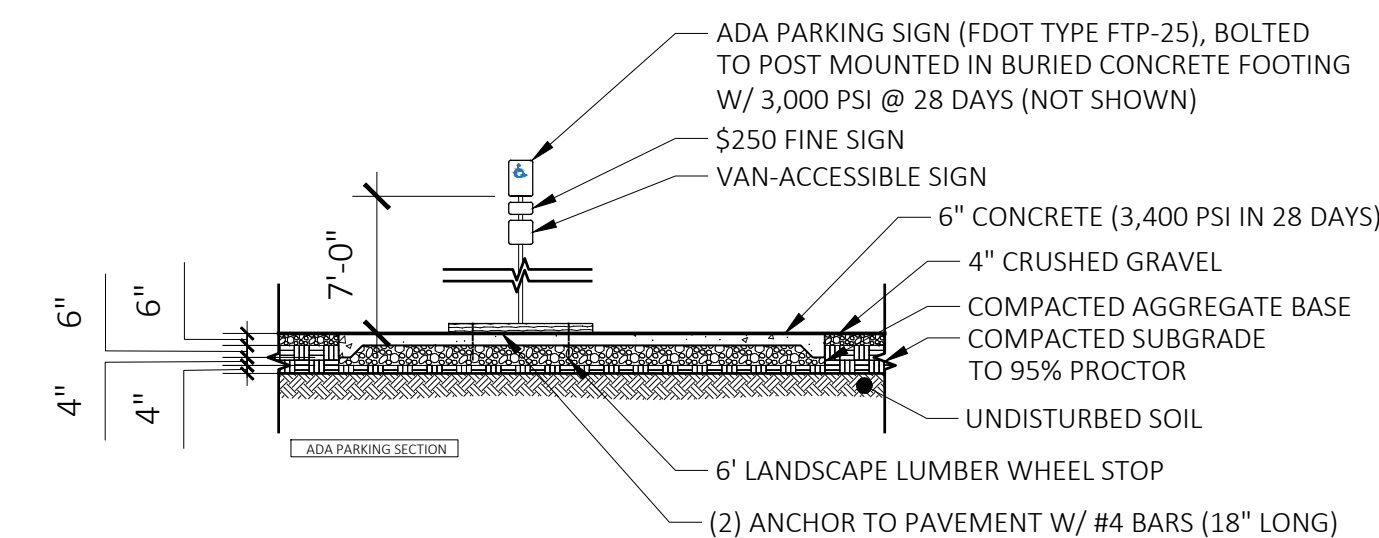
P-CO-CAM-33



2 CAPTAIN'S CHAPEL ENTRY PATH - CONNECTION TO ADA STALL

$$1\frac{1}{2}'' = 1'-0''$$

P-CO-CAM-3C



1 ADA PARKING SPACE

$$1/8'' = 1'-0'$$

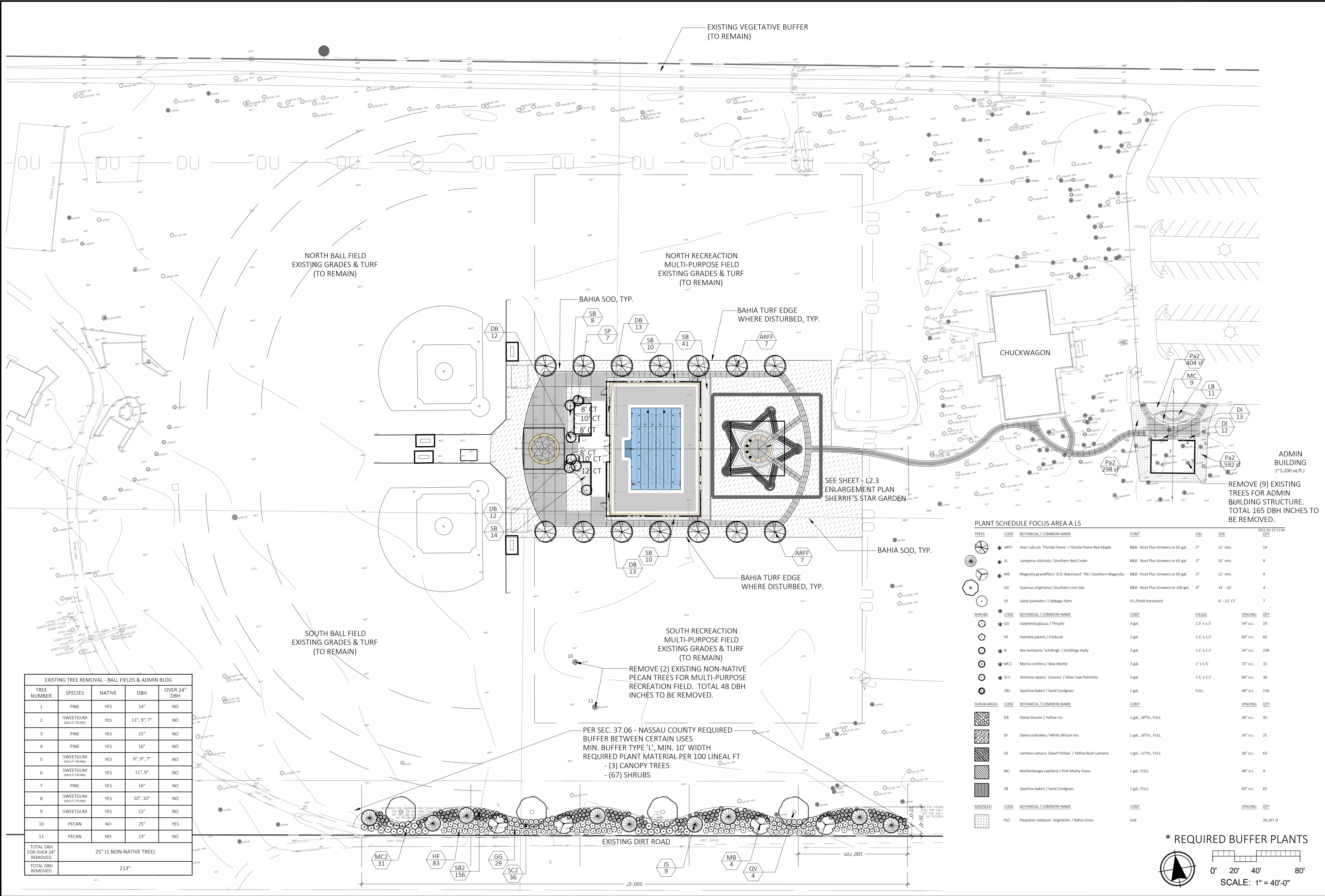
P-CO-CAM-09



P-CO-CAM-38

L1.24





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Ph 904.825.6747 www.halback.com  
FL IA6667110



JEREMY MARQUIS  
LIC. # LA6667110  
DRAWN BY: GC/CHM/TJMS

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## CAMP SORENSEN

607 RETREAT ACRES ROAD, HILLARD, FLORIDA 32046

LANDSCAPE - FOCUS AREA 'A' - ADMIN BLDG, REC FIELDS + POOL AREA

|     |                  |          |
|-----|------------------|----------|
|     | PERMIT SUBMITTAL | 03/12/21 |
|     | 60% DWG SET      | 02/19/21 |
|     | 30% DWG SET      | 01/29/21 |
| SYM | DESCRIPTION      | DATE     |

SIZE: ANSI D  
PRIME PROJECT #: 21.2.0  
ML+H PROJECT #: 21.2.0

DRAWING NO.: L2.2





PLANT SCHEDULE FOCUS AREA B LS

| SHRUB AREAS | CODE | BOTANICAL / COMMON NAME                    | CONT         | SPACING  | QTY    |
|-------------|------|--------------------------------------------|--------------|----------|--------|
|             | SB   | Spartina bakeri / Sand Cordgrass           | 1 gal., FULL | 60" o.c. | 81     |
| SOD/SEED    | CODE | BOTANICAL / COMMON NAME                    | CONT         | SPACING  | QTY    |
|             | Pa2  | Paspalum notatum 'Argentine' / Bahia Grass | Sod          |          | 973 sf |

REFERENCE NOTES SCHEDULE DOCK / KAYAK LAUNCH AREA

| SYMBOL | DESCRIPTION                | QTY    | DETAIL |
|--------|----------------------------|--------|--------|
|        | 8"-12" - Limestone Rip/Rap | 918 sf |        |

ADDITIONAL NOTES:  
- REFERENCE FOCUS AREA 'B' KAYAK LAUNCH HARDSCAPE PLAN & DETAILS ON SHEETS L1.11 & L1.12.



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JEREMY MARQUIS  
LIC. # LA6667110

DRAWN BY: GC/EM/MLH

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CAMP SORENSEN

607 RETREAT ACRES ROAD, HILLARD, FLORIDA 32046

LANDSCAPE - FOCUS AREA 'B' KAYAK LAUNCH

PERMIT SUBMITTAL 03/12/21

60% DWG SET 02/19/21

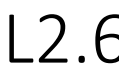
30% DWG SET 01/29/21

SYM DESCRIPTION DATE

SIZE: ANSI D  
PRIME PROJECT #: 21.2.0  
ML+H PROJECT #: 21.2.0

DRAWING NO.: L2.4



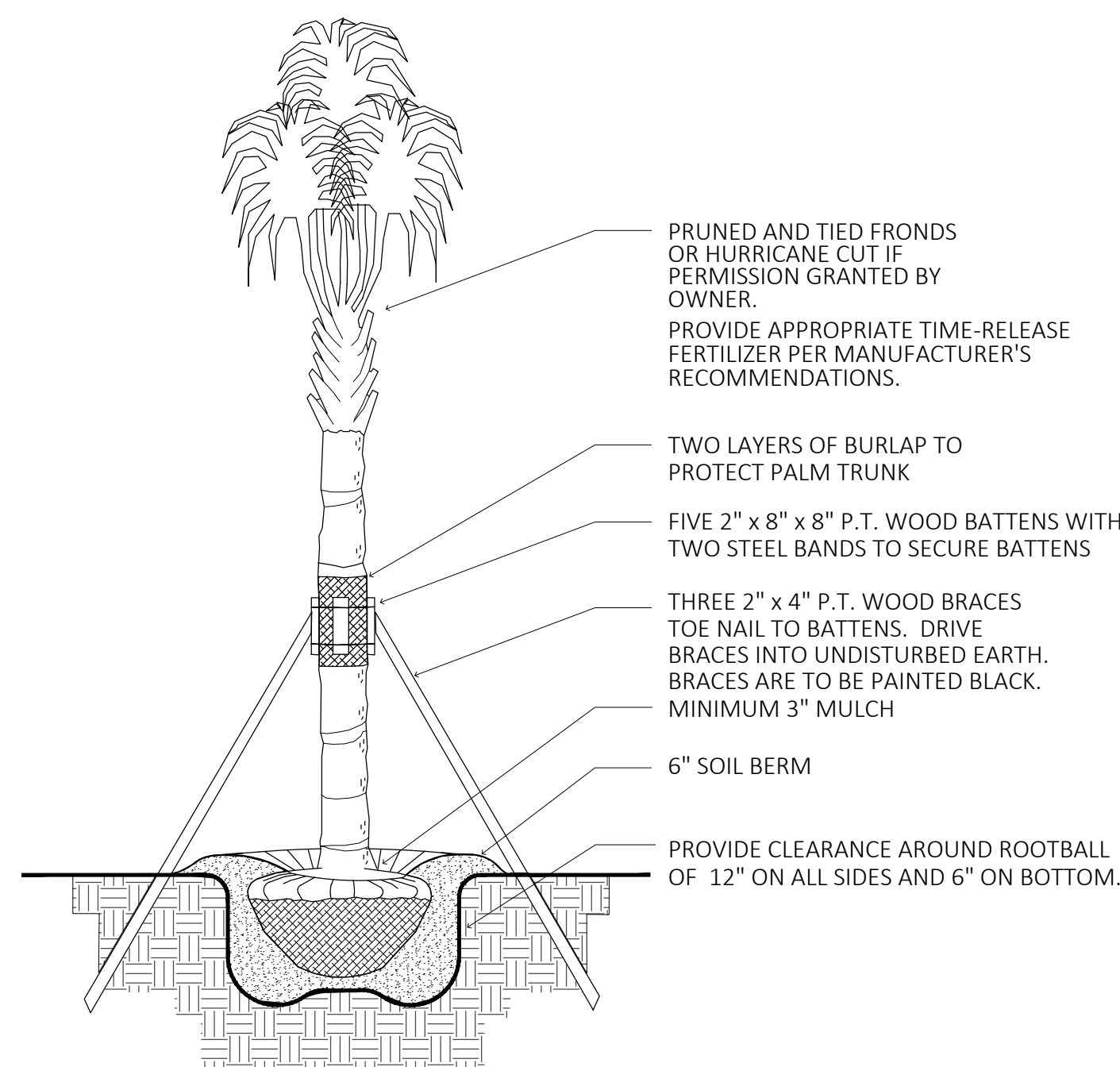




JEREMY MARCO  
LIC. # LA6667119

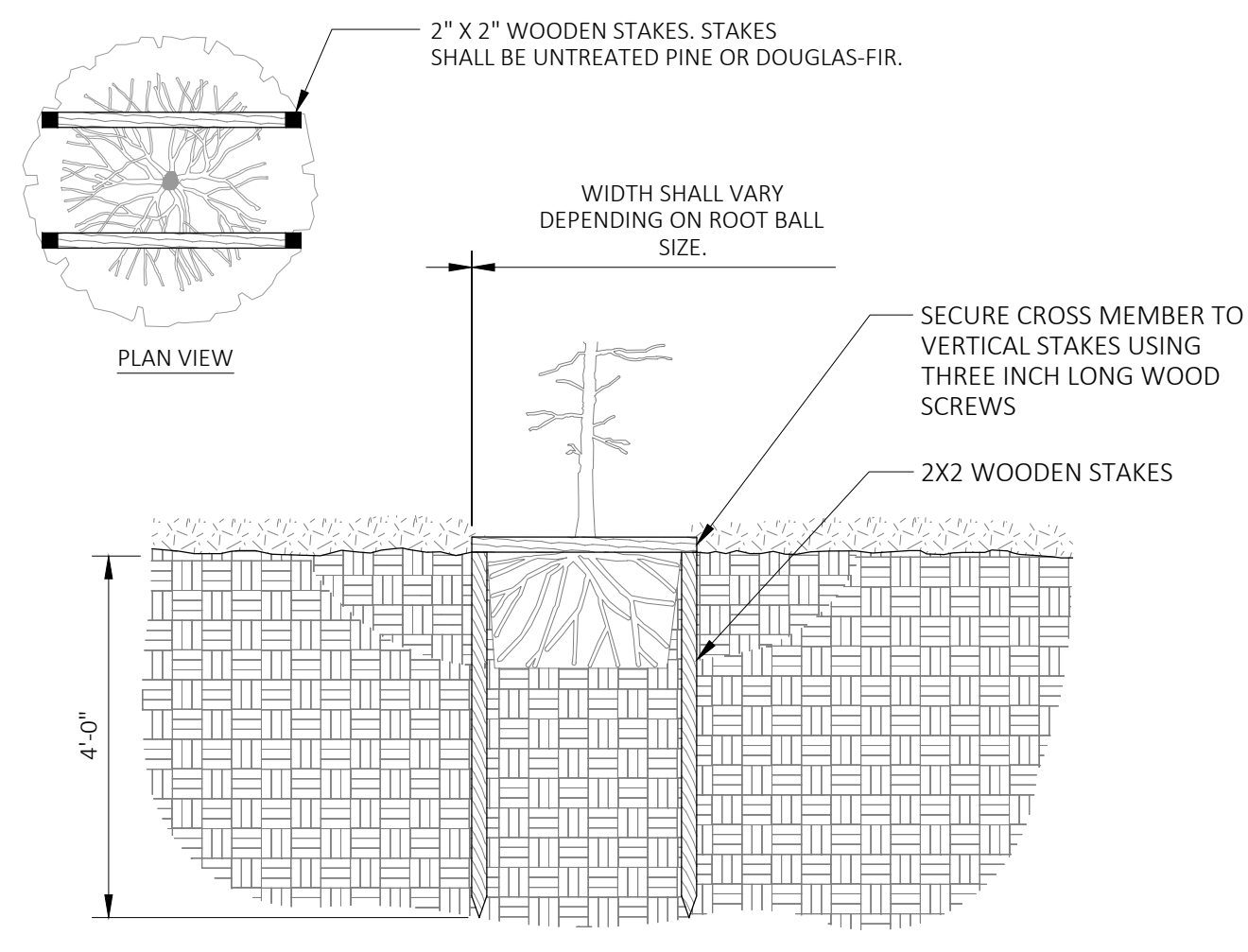
DRAWN BY: GC/EP INITIALS

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### 5. PALM PLANTING DETAIL

5) NOT TO SCALE

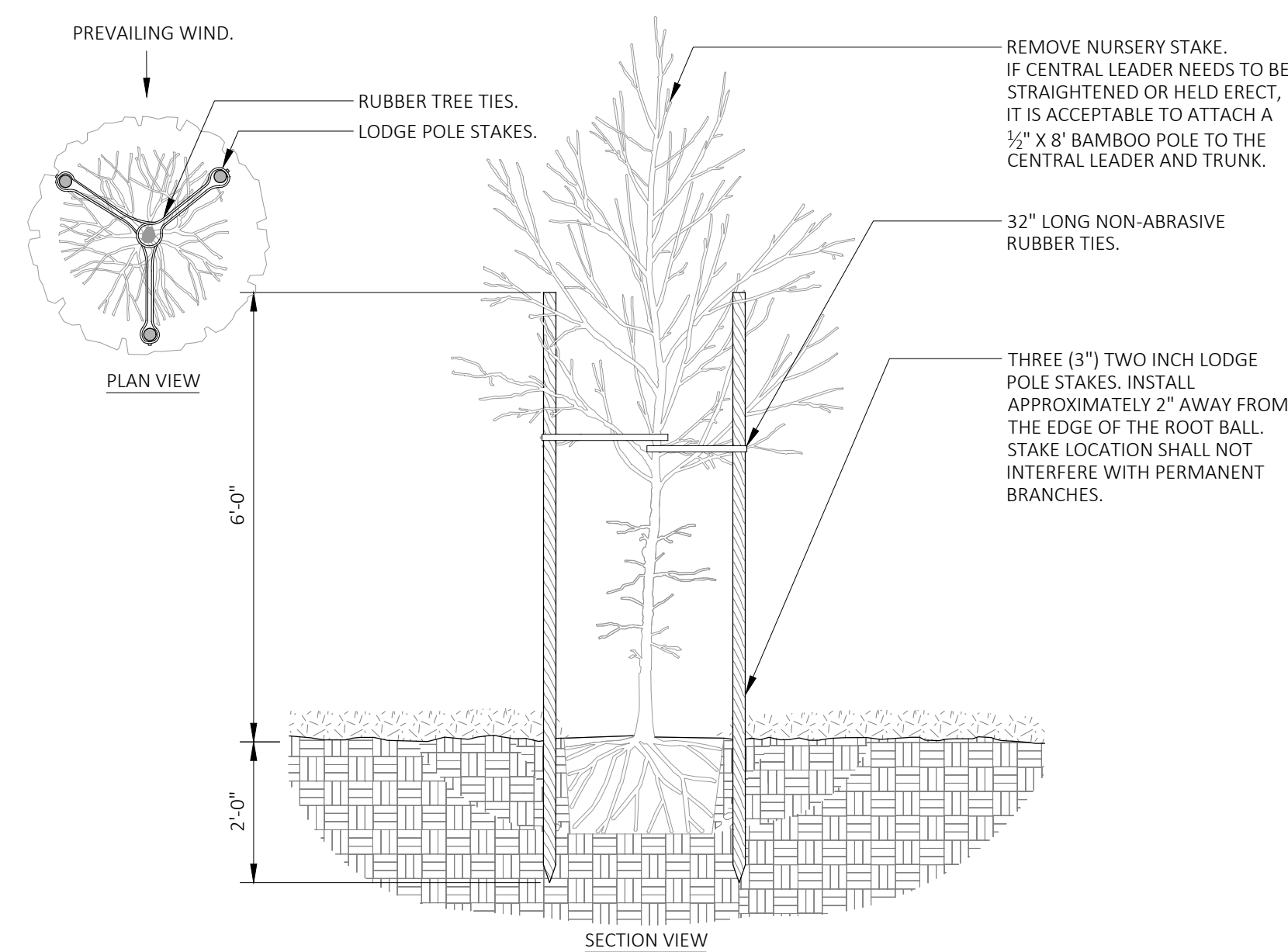


• TREE STAKING - STAPLE (TREES <12' OA.)

4) NOT TO SCALE

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00-01

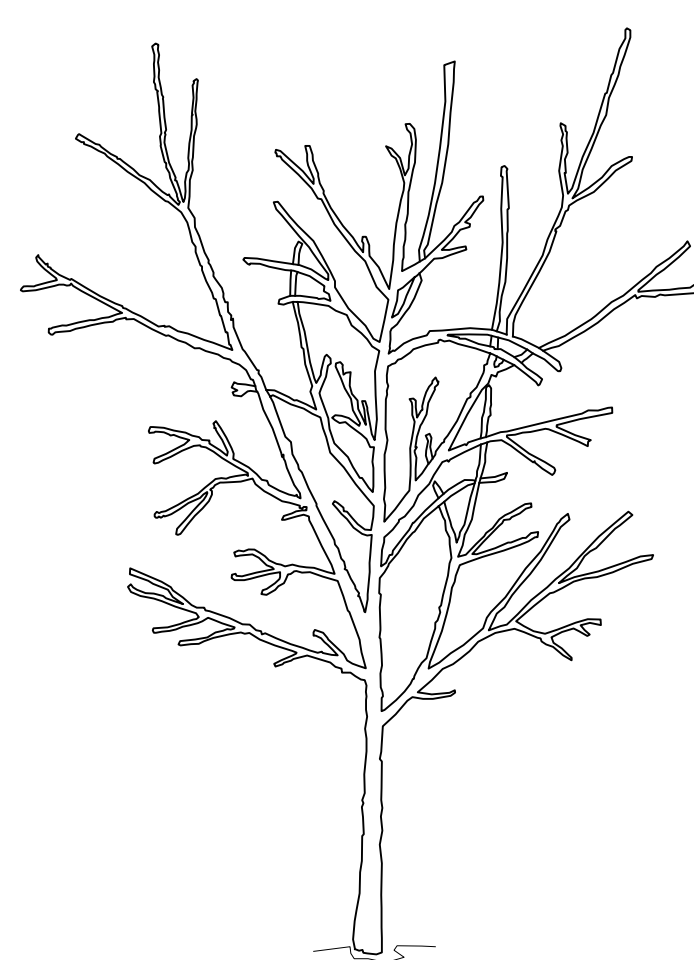


② TREE STAKING - LODGE POLES (3) (TREES >12' OA.)

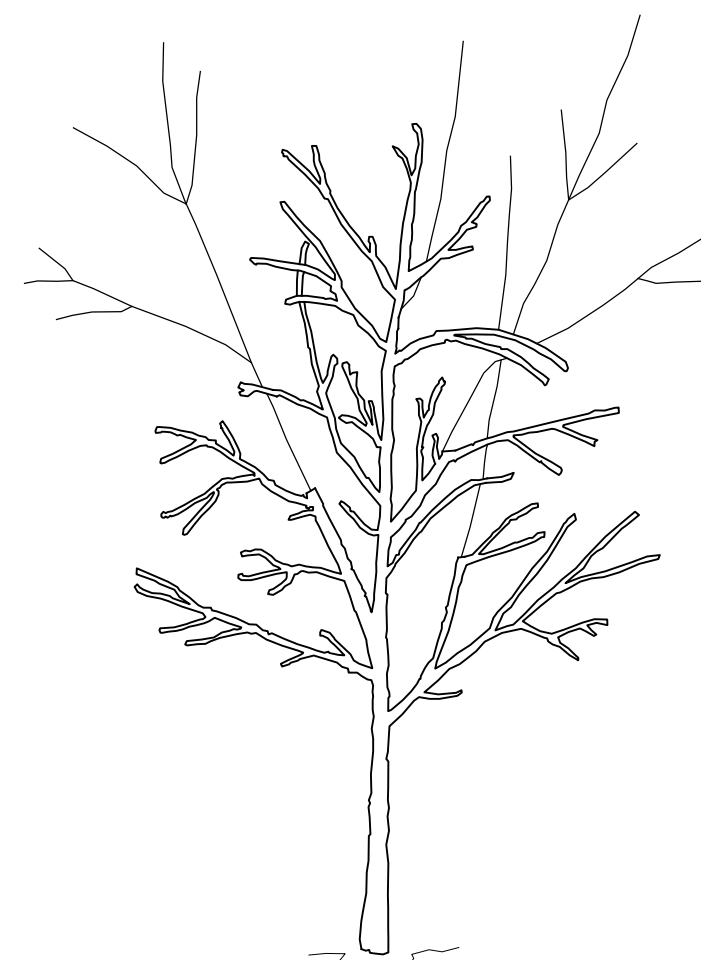
2 NOT TO SCALE

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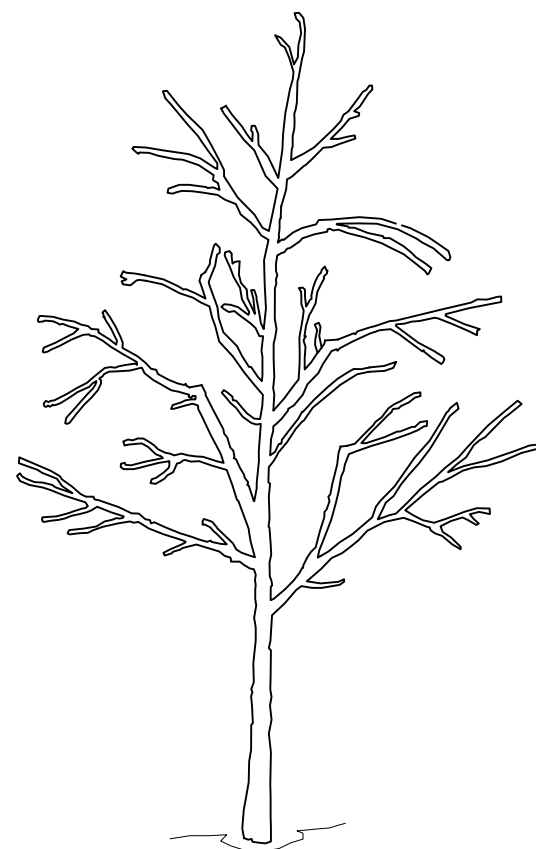
00 -02



BEFORE PLANTING, TREE HAS THREE CODOMINANT STEMS. THE TWO THAT COMPETE WITH THE ONE IN THE CENTER SHOULD BE PRUNED TO SUPPRESS THEIR GROWTH.



TWO COMPETING STEMS WERE REDUCED SUBSTANTIALLY, IN THIS CASE REMOVING ABOUT 70% OF THEIR FOILAGE USING REDUCTION CUTS.



AFTER PRUNING, TREE HAS ONLY ONE DOMINANT STEM

NOTES:

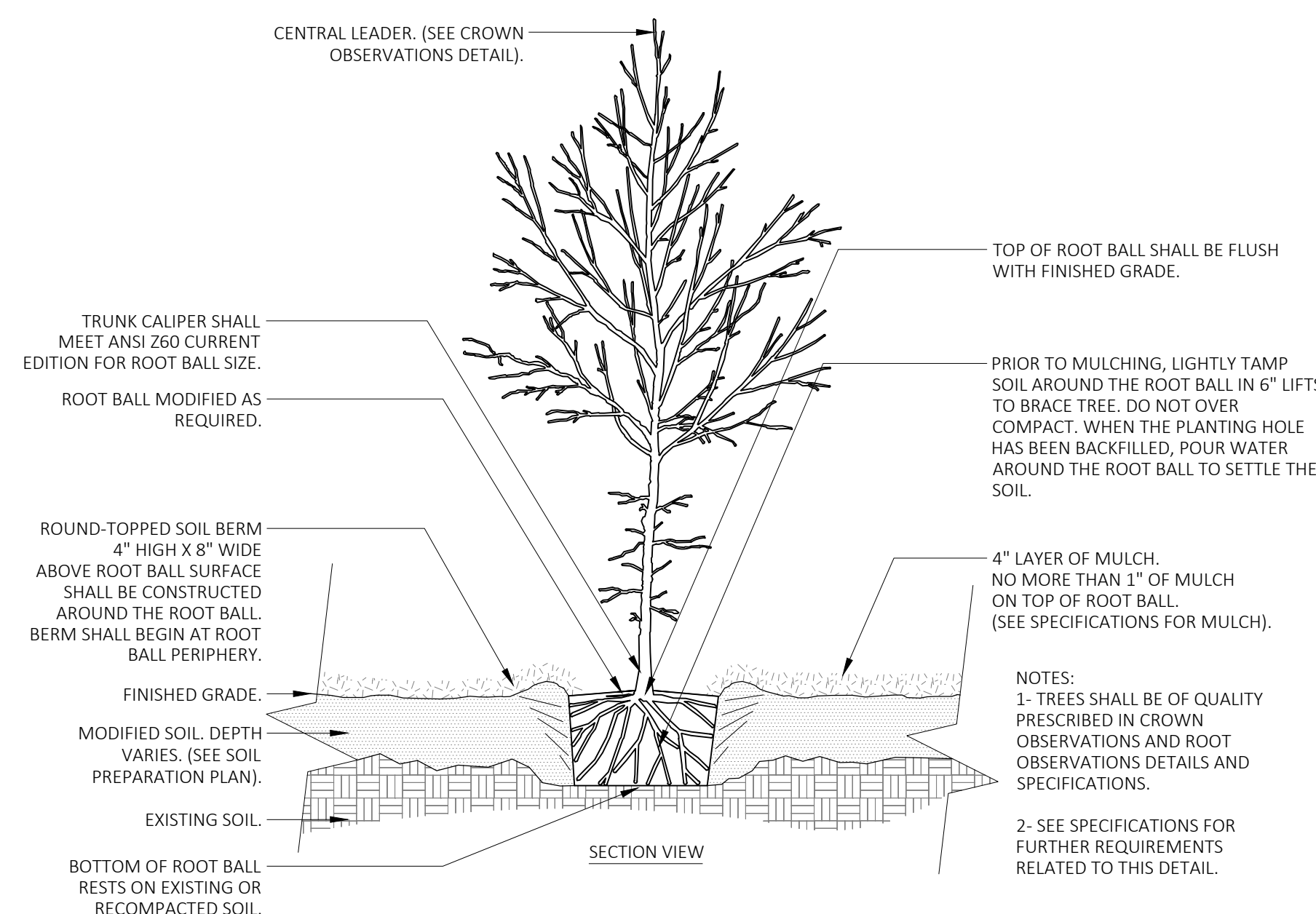
1- ALL TREES SHOWN ARE REJECTABLE UNLESS THEY UNDERGO RECOMMENDED TREATMENT.  
2- TREE SHALL MEET CROWN OBSERVATION DETAIL FOLLOWING CORRECTION.

 CROWN CORRECTION DETAIL

3 NOT TO SCALE

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00-19



 TREE W/ BERM (EXISTING SOIL MODIFIED)

NOT TO SCALE

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CAMP SORENSEN

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607 RETREAT ACRES ROAD, HILLARD, FLORIDA 32046

## LANDSCAPE DETAILS

|     |                  |          |
|-----|------------------|----------|
|     |                  |          |
|     |                  |          |
|     |                  |          |
|     |                  |          |
|     |                  |          |
|     |                  |          |
|     |                  |          |
|     |                  |          |
|     |                  |          |
|     | PERMIT SUBMITTAL | 03/12/21 |
|     | 60% DWG SET      | 02/19/21 |
|     | 30% DWG SET      | 01/29/21 |
| SYM | DESCRIPTION      | DATE     |

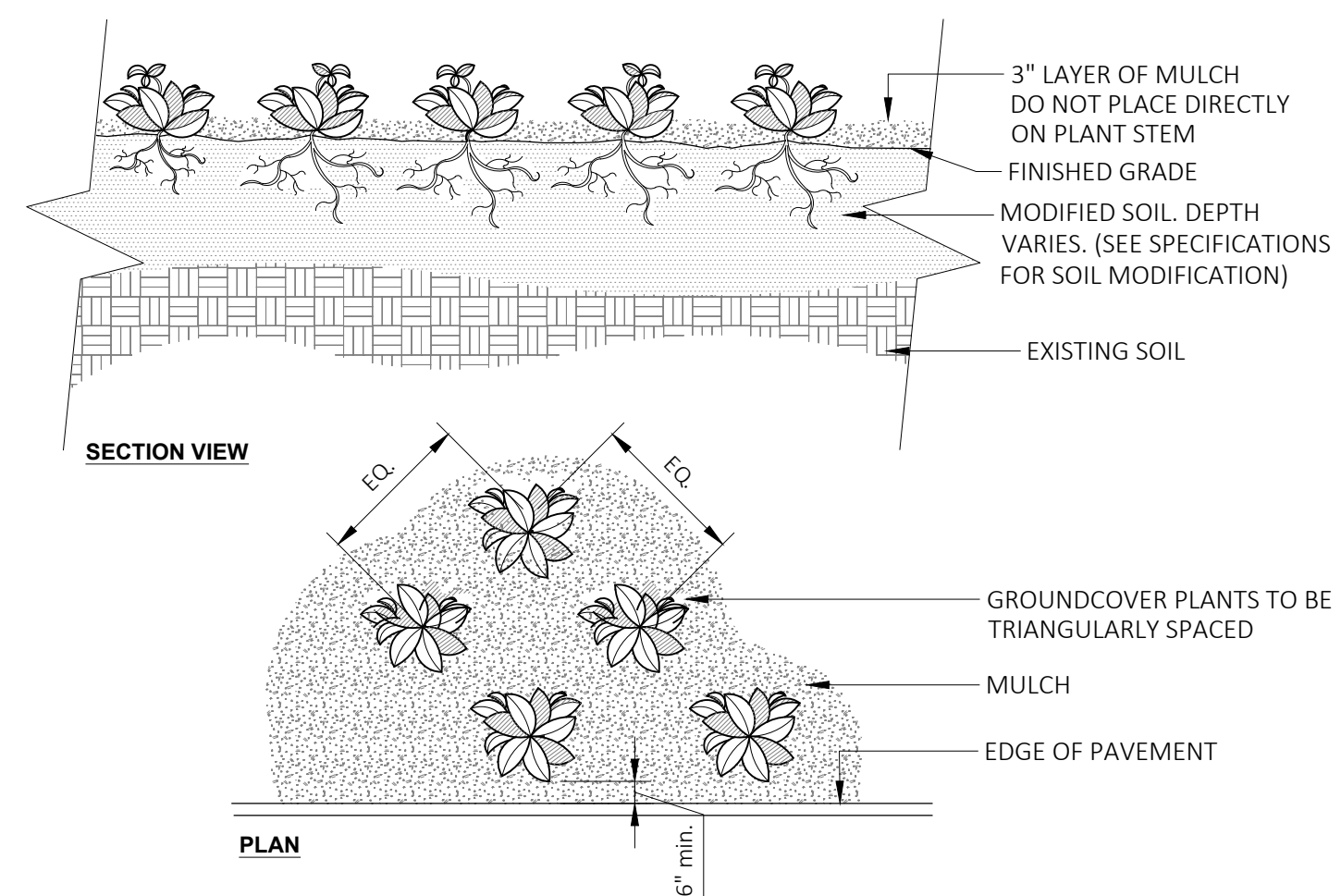
|                  |        |
|------------------|--------|
| SIZE:            | ANSI D |
| PRIME PROJECT #: | 21.2.0 |
| ML+H PROJECT #:  | 21.2.0 |

DRAWING NO.

L2.7



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NOTES:

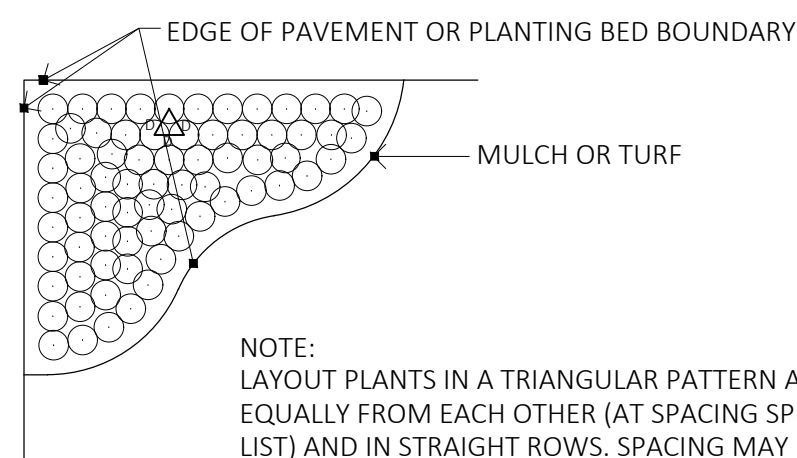
- 1- SEE PLANTING LEGEND FOR GROUNDCOVER SPECIES, SIZE, AND SPACING DIMENSION.
- 2- SMALL ROOTS ( $\frac{1}{2}$ " OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE TIME OF PLANTING. (SEE ROOT BALL SHAVING CONTAINER DETAIL.)
- 3- SETTLE SOIL AROUND ROOT BALL OF EACH GROUNDCOVER PRIOR TO MULCHING.

**c** GROUNDCOVER

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6 GROUP  
NOT TO SCALE

00 -04

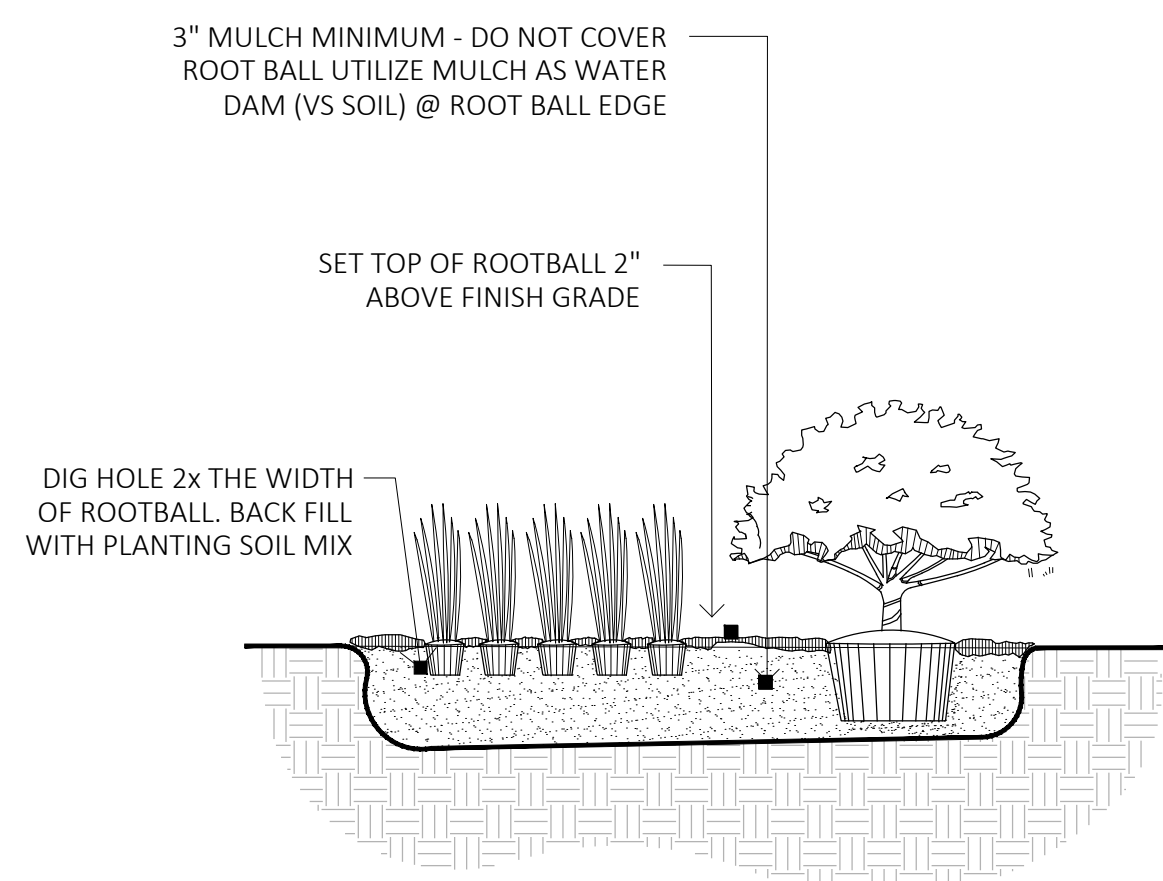


NOTE:  
LAYOUT PLANTS IN A TRIANGULAR PATTERN AS SHOWN, SPACED EQUALLY FROM EACH OTHER (AT SPACING SPECIFIED IN THE PLANT LIST) AND IN STRAIGHT ROWS. SPACING MAY BE ADJUSTED SLIGHTLY TO CREATE SMOOTH FLOWING BEDLINES AS SHOWN ON LANDSCAPE PLANS. PROVIDE 6" - 12" UNIFORM CLEARANCE (MULCH STRIP) BETWEEN PLANT FOLIAGE AND EDGE OF BEDLINE (TYP.).

### 4 SHRUB SPACING DETAIL

NOT TO SCALE

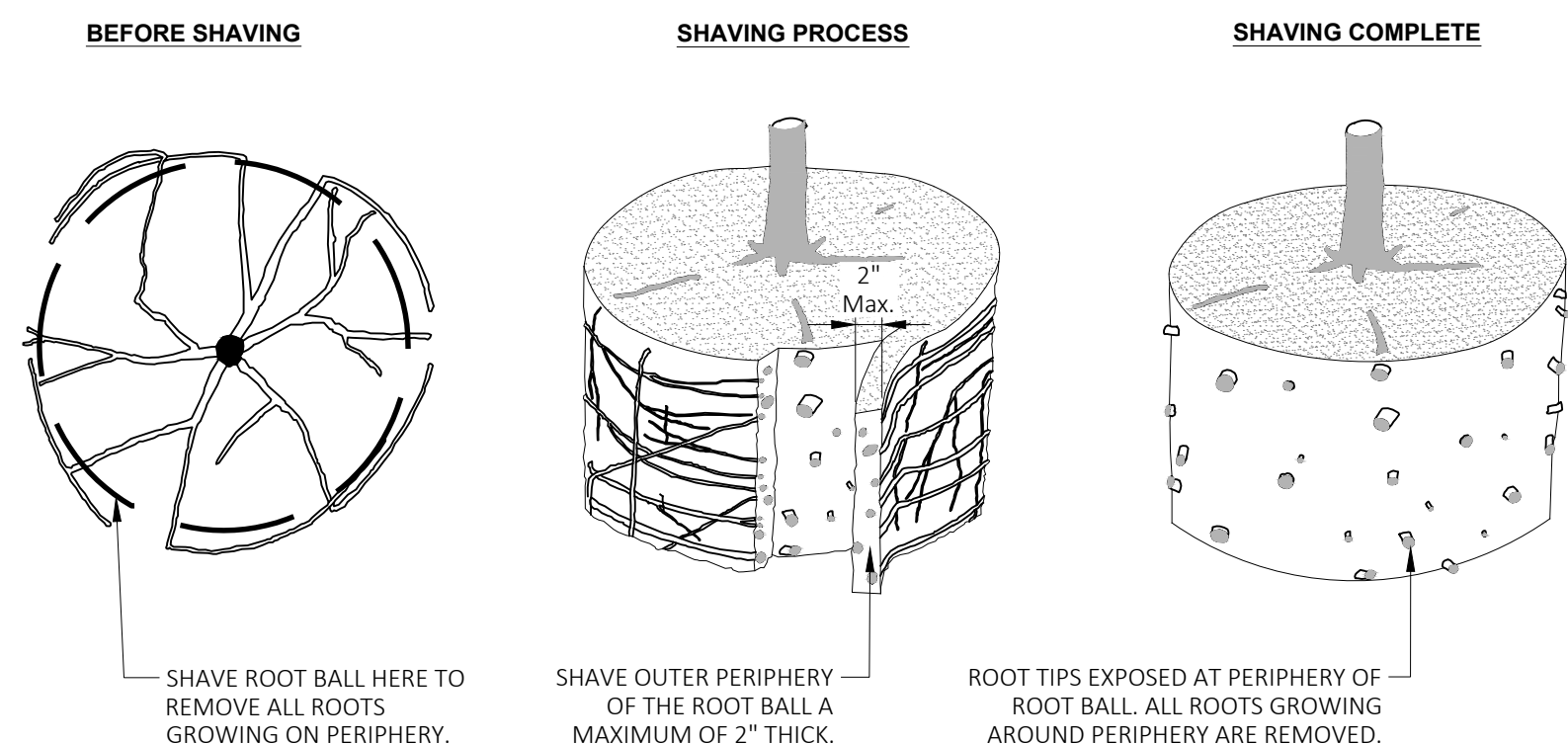
00 -07



## SHRUB AND GROUNDCOVER PLANTING

NOT TO SCALE

00 -16



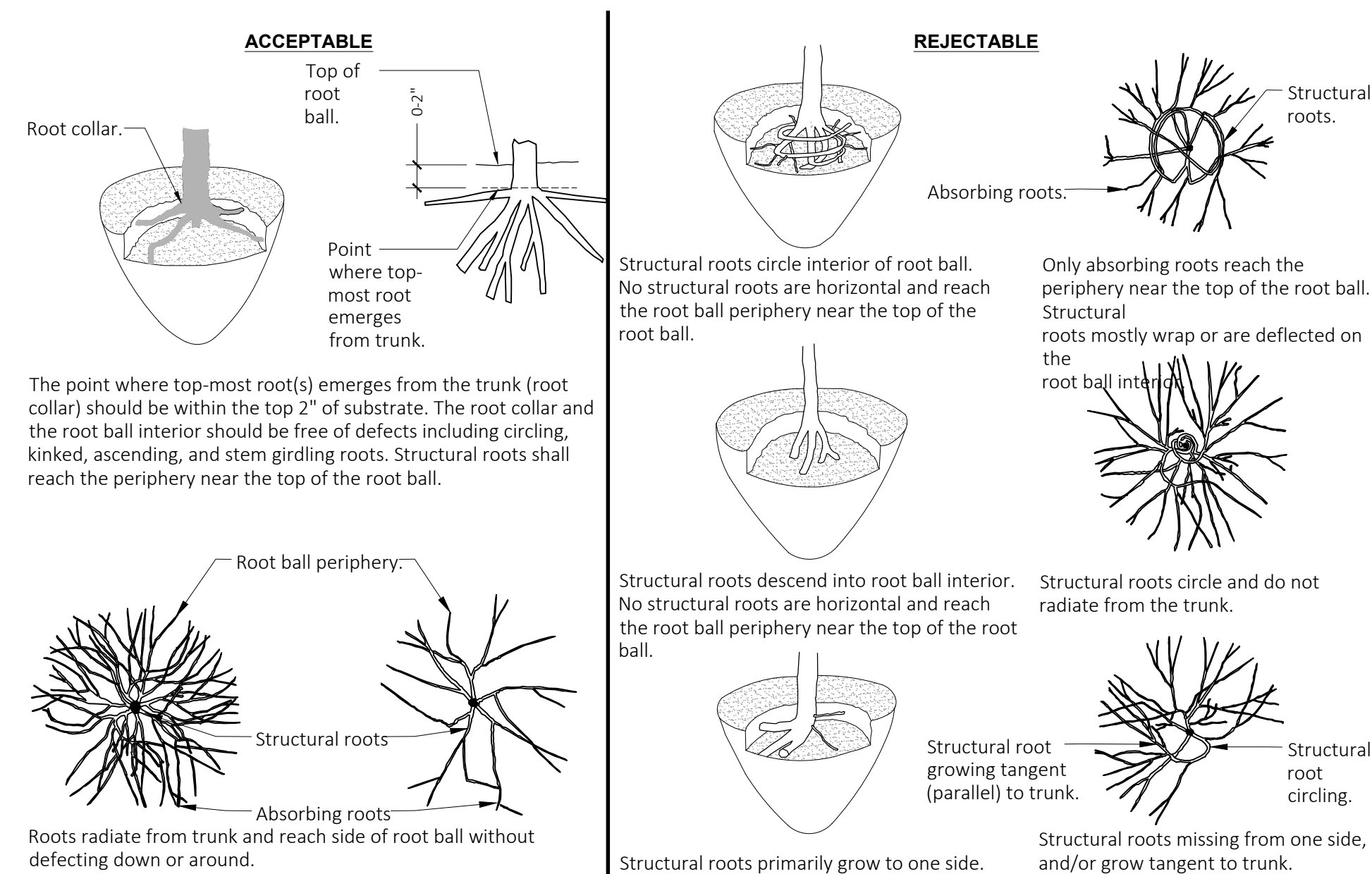
NOTES:  
1- SHAVING TO BE CONDUCTED USING A SHARP BLADE OR HAND SAW ELIMINATING NO MORE THAN NEEDED TO REMOVE ALL ROOTS ON THE PERIPHERY OF ROOT BALL.

2- SHAVING CAN BE PERFORMED JUST PRIOR TO PLANTING OR AFTER PLACING IN THE HOLE

3 ROOT BALL SHAVING CONTAINER DETAIL

NOT TO SCALE

00 -10



Notes:

NOTES:

1- Observations of roots shall occur prior to acceptance. Roots and soil may be removed during the observation process; substrate/soil shall be replaced after the observations have been completed.

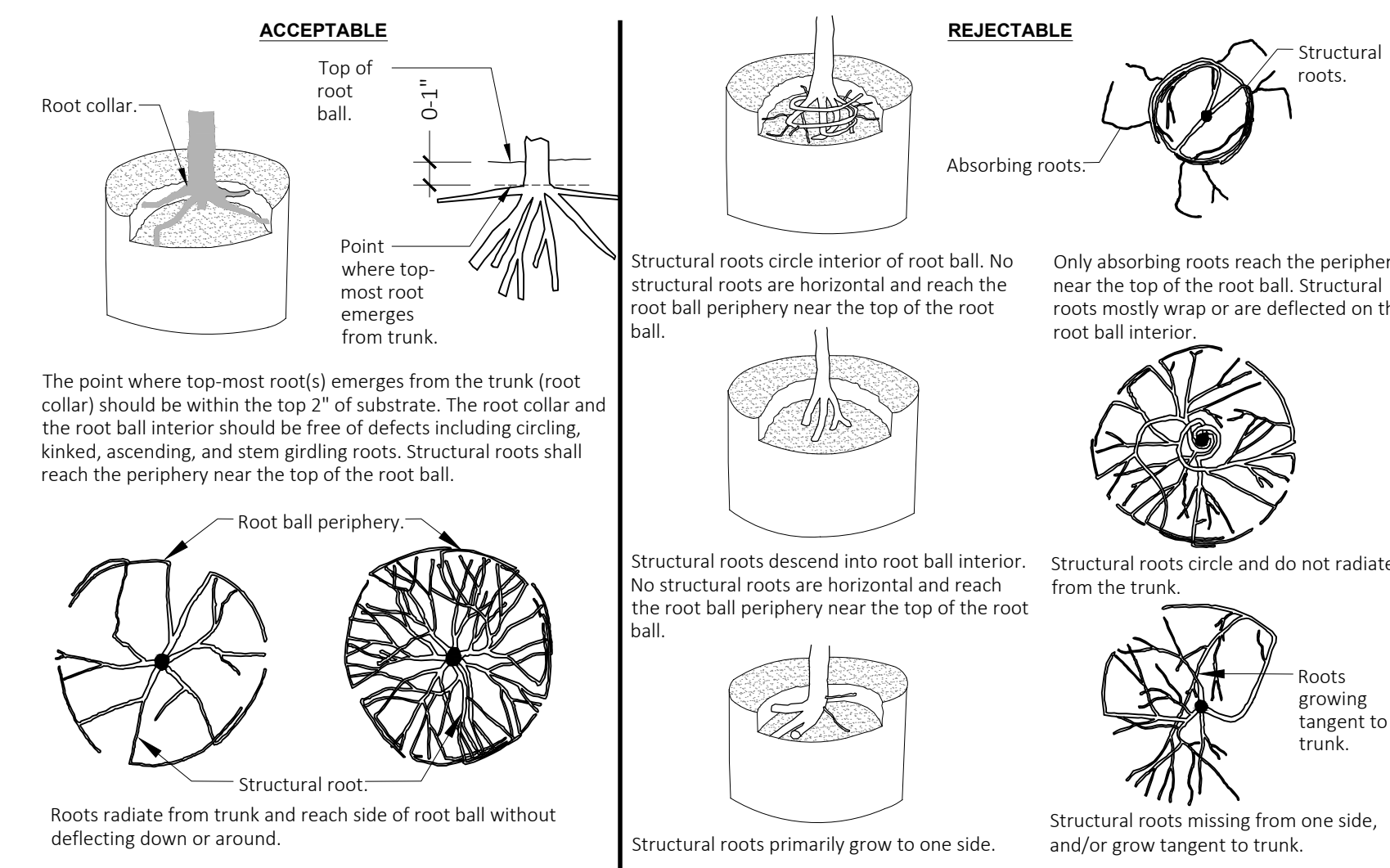
2- See specifications for observation process and requirements.

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ROOT OBSERVATIONS DETAIL - BALLED AND BURLAPPED

NOT TO SCALE

00 -09



Notes:

1. Observations of roots shall occur prior to acceptance. Roots and substrate may be removed during the observation process; substrate/soil shall be replaced after observation has been completed.
2. Small roots ( $\frac{1}{4}$ " or less) that grow around, up, or down the root ball periphery are considered a normal condition in container production and are acceptable however they should be eliminated at the time of planting. Roots on the periphery can be removed at the time of planting. (See root ball shaving container detail).

## 1 ROOT OBSERVATIONS DETAIL - CONTAINER

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00-08

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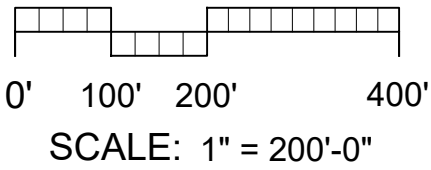
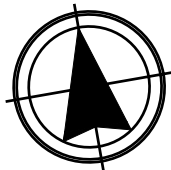
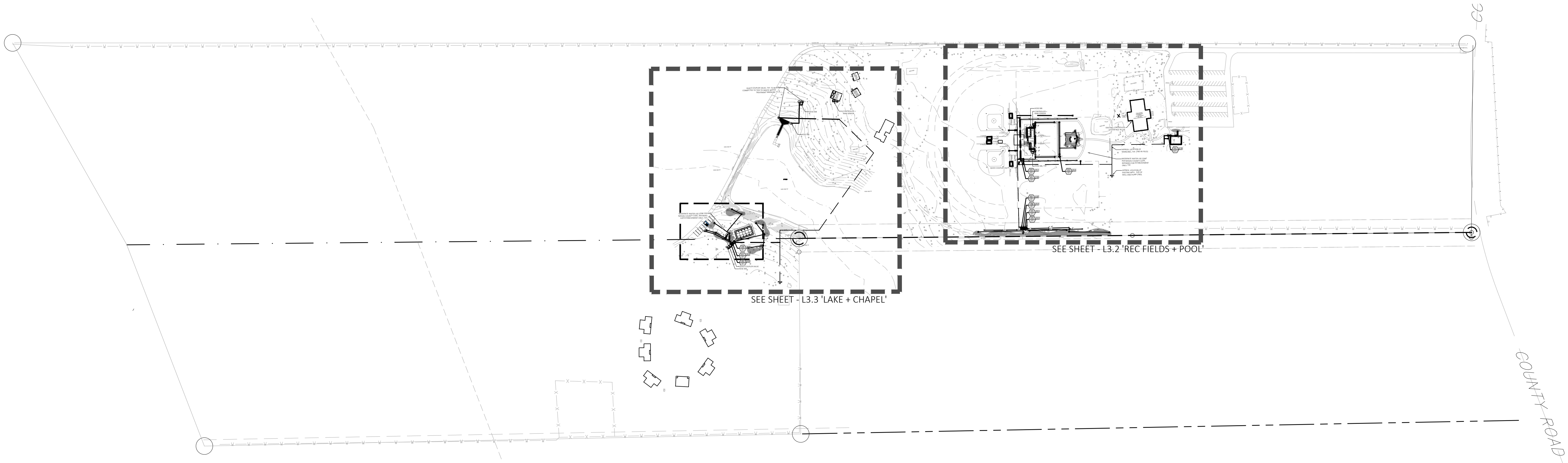
LANDSCAPE DETAILS

|     |                  |          |
|-----|------------------|----------|
|     | PERMIT SUBMITTAL | 03/12/21 |
|     | 60% DWG SET      | 02/19/21 |
|     | 30% DWG SET      | 01/29/21 |
| SYM | DESCRIPTION      | DATE     |

|                  |        |
|------------------|--------|
| SIZE:            | ANSI D |
| PRIME PROJECT #: | 21.2.0 |
| ML+H PROJECT #:  | 21.2.0 |

DRAWING NO.:

L2.8



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## CAMP SORENSEN

607 RETREAT ACRES ROAD, HILLARD, FLORIDA 32046

IRRIGATION - OVERALL

|     |                  |          |
|-----|------------------|----------|
|     | PERMIT SUBMITTAL | 03/12/21 |
|     | 60% DWG SET      | 02/19/21 |
|     | 30% DWG SET      | 01/29/21 |
| SYM | DESCRIPTION      | DATE     |

|                  |        |
|------------------|--------|
| SIZE:            | ANSI D |
| PRIME PROJECT #: | 21.2.0 |
| ML+H PROJECT #:  | 21.2.0 |

DRAWING NO.:  
**L3.1**

| SYMBOL                                                                                                                                                                                                                                                                                                                                                              | MANUFACTURER/MODEL/DESCRIPTION                                                                                                                                                                                                                                            | QTY         | PSI |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|-----|
|  1401  1402  1404  1408 | Rain Bird 1806-PRS-1400 Flood 1401<br>Flood Bubbler 6.0" pop up with pressure regulating device.                                                                                                                                                                          | 18          | 40  |
| <b>SYMBOL</b>                                                                                                                                                                                                                                                                                                                                                       | <b>MANUFACTURER/MODEL/DESCRIPTION</b>                                                                                                                                                                                                                                     | <b>QTY</b>  |     |
|                                                                                                                                                                                                                                                                                  | Pipe Transition Point above grade<br>Pipe transition point from PVC lateral to drip tubing with riser to above grade installation.                                                                                                                                        | 27          |     |
|                                                                                                                                                                                                                                                                                  | Area to Receive Dripline<br>Rain Bird XFD-09-12<br>XFD On-Surface Pressure Compensating Landscape Dripline.<br>0.9 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings. | 13,334 l.f. |     |
| <b>SYMBOL</b>                                                                                                                                                                                                                                                                                                                                                       | <b>MANUFACTURER/MODEL/DESCRIPTION</b>                                                                                                                                                                                                                                     | <b>QTY</b>  |     |
|                                                                                                                                                                                                                                                                                  | Rain Bird PESBR<br>1", 1-1/2", and 2" Durable Chlorine-Resistant Valves for Reclaimed Water Applications. With Scrubber Mechanism Technology, and Purple Flow Control Handle.                                                                                             | 8           |     |
|                                                                                                                                                                                                                                                                                  | Rain Bird 44-NP<br>1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Non-Potable Purple Rubber Cover, and 2-Piece Body.                                                                                                             | 7           |     |
|                                                                                                                                                                                                                                                                                  | Rain Bird ESP8LXME-LXMM with (01) ESPLXMSM4<br>12 Station Capable Commercial Controller. Mounted on a Powder-Coated Metal Cabinet. Without flow sensing.                                                                                                                  | 1           |     |
|                                                                                                                                                                                                                                                                                  | Rain Bird RSD-BEX<br>Rain Sensor, with metal latching bracket, extension wire.                                                                                                                                                                                            | 1           |     |
|                                                                                                                                                                                                                                                                                  | Hose Bib                                                                                                                                                                                                                                                                  | 2           |     |
|                                                                                                                                                                                                                                                                                  | Irrigation Lateral Line: PVC Schedule 40-NP                                                                                                                                                                                                                               | 2,315 l.f.  |     |
|                                                                                                                                                                                                                                                                                  | Irrigation Mainline: PVC Schedule 80-NP                                                                                                                                                                                                                                   | 1,502 l.f.  |     |
|                                                                                                                                                                                                                                                                                  | Pipe Sleeve: PVC Schedule 40                                                                                                                                                                                                                                              | 293.5 l.f.  |     |
| Valve Callout                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                           |             |     |
|                                                                                                                                                                                                                                                                                  | Valve Number                                                                                                                                                                                                                                                              |             |     |
|                                                                                                                                                                                                                                                                                                                                                                     | Valve Flow                                                                                                                                                                                                                                                                |             |     |
|                                                                                                                                                                                                                                                                                                                                                                     | Valve Size                                                                                                                                                                                                                                                                |             |     |



+ S

IRRIGATION - FOCUS AREA 'A' - ADMIN. BLDG, REC FIELDS + POOL

[illegible]

|                  |     |
|------------------|-----|
| SIZE:            | ANS |
| PRIME PROJECT #: | 21. |
| ML+H PROJECT #:  | 21. |

DRAWING NO.:

### L3.2

| <u>SYMBOL</u>                                                                                                                                                                                                                                                                                                                                   | <u>MANUFACTURER/MODEL/DESCRIPTION</u>                                                                                                                                                                                                                                     | <u>QTY</u> | <u>PSI</u> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|------------|
|     | Rain Bird 1806-PRS-1400 Flood 1401<br>Flood Bubbler 6.0" popup with pressure regulating device.                                                                                                                                                                           | 4          | 40         |
| <u>SYMBOL</u>                                                                                                                                                                                                                                                                                                                                   | <u>MANUFACTURER/MODEL/DESCRIPTION</u>                                                                                                                                                                                                                                     | <u>QTY</u> |            |
|                                                                                                                                                                                                                                                              | Pipe Transition Point above grade<br>Pipe transition point from PVC lateral to drip tubing with riser to above grade installation.                                                                                                                                        | 11         |            |
|                                                                                                                                                                                                                                                              | Area to Receive Dripline<br>Rain Bird XFD-09-12<br>XFD On-Surface Pressure Compensating Landscape Dripline.<br>0.9 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings. | 5,831 l.f. |            |
| <u>SYMBOL</u>                                                                                                                                                                                                                                                                                                                                   | <u>MANUFACTURER/MODEL/DESCRIPTION</u>                                                                                                                                                                                                                                     | <u>QTY</u> |            |
|                                                                                                                                                                                                                                                              | Rain Bird PESBR<br>1", 1-1/2", and 2" Durable Chlorine-Resistant Valves for Reclaimed Water Applications. With Scrubber Mechanism Technology, and Purple Flow Control Handle.                                                                                             | 3          |            |
|                                                                                                                                                                                                                                                              | Rain Bird 44-LRC (2)<br>1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body.                                                                                                             | 1          |            |
|                                                                                                                                                                                                                                                              | Rain Bird 44-NP<br>1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Non-Potable Purple Rubber Cover, and 2-Piece Body.                                                                                                             | 2          |            |
|                                                                                                                                                                                                                                                              | Rain Bird ESPLXME-LXMM with [01] ESPLXMSM4<br>12 Station Capable Commercial Controller. Mounted on a Powder-Coated Metal Cabinet. Without flow sensing.                                                                                                                   | 1          |            |
|                                                                                                                                                                                                                                                              | Rain Bird RSD-BEX<br>Rain Sensor, with metal latching bracket, extension wire.                                                                                                                                                                                            | 1          |            |
|                                                                                                                                                                                                                                                              | Hose Bib                                                                                                                                                                                                                                                                  | 3          |            |
|                                                                                                                                                                                                                                                              | Irrigation Lateral Line: PVC Schedule 40-NP                                                                                                                                                                                                                               | 719.4 l.f. |            |
|                                                                                                                                                                                                                                                              | Irrigation Mainline: PVC Schedule 80-NP                                                                                                                                                                                                                                   | 1,119 l.f. |            |
|                                                                                                                                                                                                                                                              | Pipe Sleeve: PVC Schedule 40                                                                                                                                                                                                                                              | 23.1 l.f.  |            |
|                                                                                                                                                                                                                                                              | Valve Callout                                                                                                                                                                                                                                                             |            |            |
|                                                                                                                                                                                                                                                              | Valve Number                                                                                                                                                                                                                                                              |            |            |
|                                                                                                                                                                                                                                                              | Valve Flow                                                                                                                                                                                                                                                                |            |            |
|                                                                                                                                                                                                                                                              | Valve Size                                                                                                                                                                                                                                                                |            |            |



CAMP SORENSEN  
607 RETREAT ACRES ROAD, HILLARD, FLORIDA 32046

CAMP SORENSEN

607 RETREAT ACRES ROAD, HILLARD, FLORIDA 32046

## RRIGATION -FOCUS AREA 'B+C' - KAYAK LAUNCH + CHAPEL

|  |  |  |
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|-----|------------------|------|
|     | PERMIT SUBMITTAL | 03/1 |
|     | 60% DWG SET      | 02/1 |
|     | 30% DWG SET      | 01/2 |
| SYM | DESCRIPTION      | DATE |

|                  |     |
|------------------|-----|
| SIZE:            | ANS |
| PRIME PROJECT #: | 21. |
| ML+H PROJECT #:  | 21. |

DRAWING NO.: 133

