

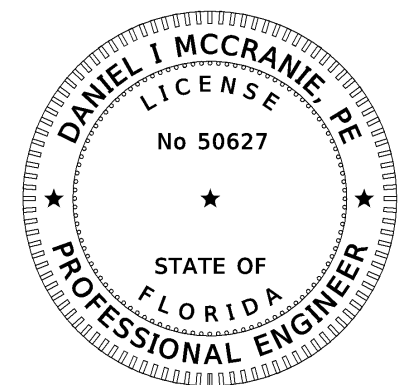
Engineering Plans
for
**Trim All
Phase 2**
for
**ROBINSON 24 HR
VETERINARY HOSPITAL**

942440 Old Nassauville RD
Fernandina Beach, FL. 32034



McCranie & Associates, Inc.

Land Development • Roadway Design • Permitting
301 Centre St. Suite 200 • Fernandina Beach, Florida 32034
904/335-8685



Issue Date:
May 2022
REVISED SEPT 2022

GENERAL NOTES

INDEX

SITE / GEOMETRY

DEVELOPMENT REVIEW GENERAL NOTES

SHEET

DESCRIPTION

- ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES OF HIS EMPLOYEES, AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH O.S.H.A. REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTOR'S PRICE FOR PERFORMING THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING HIMSELF WITH THE NATURE AND THE EXTENT OF THE WORK AND LOCAL CONDITIONS, EITHER SURFACE OR SUBSURFACE, WHICH MAY AFFECT THE WORK TO BE PERFORMED, AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THIS CONTRACT. THE CONTRACTOR IS URGED TO TAKE COLOR PHOTOGRAPHS ALONG THE ROUTE OF THIS PROJECT TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND TO AID IN RESOLVING POSSIBLE FUTURE COMPLAINTS THAT MAY OCCUR DUE TO CONSTRUCTION OF THE PROJECT. ALL COSTS ASSOCIATED WITH PRELIMINARY INVESTIGATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE DEVELOPER.
- ELEVATIONS ARE BASED ON U.S.C. & G. DATUM 1988 NAVD.
- TOPOGRAPHIC AND BOUNDARY INFORMATION WAS PROVIDED BY: COASTAL LAND SURVEYORS (904) 261-8950
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BUILDING, RIGHT-OF-WAY PERMITS NOT PROVIDED, AND INSURANCE REQUIRED FOR THE PROJECT.
- THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN COUNTY OR STATE RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION & REPAIR.
- THE CONTRACTOR SHALL ADVISE THE OWNER'S AUTHORIZED REPRESENTATIVE OF PLANNED WORK SCHEDULE. THE CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD, AND THE OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- "AS-BUILT" DRAWINGS - AS-BUILTS ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR. THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION, AND SUBMITTAL OF AS-BUILT DRAWINGS IN ACCORDANCE WITH THE NASSAU COUNTY AS-BUILT REQUIREMENTS CHECKLIST.
- "AS-BUILT" RECORD DATA AND INFORMATION SHALL BE MAINTAINED BY THE CONTRACTOR. RECORD DRAWINGS SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND NASSAU COUNTY.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT.
- ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR ON A DAILY BASIS.
- ALL EXCESS SUITABLE AND UNSUITABLE MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY THE ENGINEER OF RECORD.
- ALL EXISTING TREES LISTED TO REMAIN SHALL BE PRESERVED AND PROTECTED.
- THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES, AND IMPROVEMENTS ON THE DRAWINGS ARE BASED ON LIMITED INFORMATION AND MAY NOT HAVE BEEN FIELD VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS AND FIELD VERIFY LOCATIONS OF EXISTING UTILITIES AND OTHER IMPROVEMENTS PRIOR TO COMMENCING ANY CONSTRUCTION. IF THE LOCATIONS SHOWN ARE CONTRARY TO ACTUAL FIELD LOCATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF THE DISCREPANCY. THE DISCREPANCY SHOULD BE RESOLVED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS NEAR EXISTING UTILITY IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR REPAIRS OR PAYMENTS FOR ALL DAMAGE MADE TO EXISTING UTILITIES OR OTHER IMPROVEMENTS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES, INVERTS, AND TYPE OF MATERIAL OF EXISTING UTILITIES TO WHICH THEY SHALL CONNECT.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER OF RECORD ON ALL MATERIALS, FOR REVIEW AND APPROVAL, PRIOR TO PURCHASE OR CONSTRUCTION OF ANY UTILITY OR STRUCTURE.
- UNSUITABLE MATERIALS UNDER WATER, SEWER, OR STORM PIPE AND/OR STRUCTURES SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL COMPACTED TO 98% OF ITS MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D1557).

- ALL WATER & SEWER CONSTRUCTION SHALL BE ACCOMPLISHED BY AN UNDERGROUND UTILITY CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 489 FLORIDA STATUTES.
- WHEN DEWATERING CAPACITY REQUIRES A PERMIT (CUP), IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
- WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY HAZARD. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. WHERE PARALLEL WATER AND SEWER MAINS HAVE LESS THAN 10 FOOT HORIZONTAL SEPARATION, 20 FOOT LENGTHS OF C900 (DR18) WATER QUALITY PIPE SHALL BE USED WITH THE JOINTS STAGGERED AT 10 FOOT INTERVALS. THE PIPES SHALL BE PLACED IN SEPARATE TRENCHES WITH THE WATER MAIN AT LEAST 18 INCHES ABOVE THE SEWER. 6" MIN VERTICAL SEPARATION IS REQUIRED WITH 50 FT JOINT (C-900 WATER MAIN) CENTERED AND MINIMUM 30" BURY IS REQUIRED.
- WATER MAINS CROSSING SANITARY HAZARDS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER MAIN. WHERE WATER AND SEWER MAINS CROSS WITH BETWEEN 18 INCHES AND 6 INCHES OF VERTICAL CLEARANCE, A 20 FOOT SECTION OF C900 (DR18) WATER QUALITY PIPE SHALL BE CENTERED ON THE POINT OF THE CROSSING. THE CONTRACTOR SHALL FIELD VERIFY THE VERTICAL SEPARATION. THE MINIMUM SEPARATION BETWEEN WATER AND SEWER PIPES IS TO BE 6 INCHES OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- NO WATER MAIN PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER MANHOLE.
- TRACER WIRE SHALL BE PROVIDED ON ALL WATER MAINS AND FORCE MAINS. TRACER WIRE SHALL BE A MINIMUM OF 14 GAUGE SOLID COPPER WIRE, COATED, AND SUITABLE FOR BURIAL. WIRE SHALL BE ATTACHED DIRECTLY TO TOP OF PIPE AND BROUGHT INTO EACH VALVE BOX AND COILED TO ALLOW FOR EASY ACCESS AND EXTENSION ABOVE FINISHED GRADE FOR ATTACHMENT OF LOCATING EQUIPMENT.
- ALL PIPE LENGTHS ARE APPROXIMATE DIMENSIONS, ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM WITH TYPICAL SECTIONS AND DETAILS AS SHOWN ON THE MISCELLANEOUS DETAILS SHEET AND IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL UNDERGROUND UTILITIES MUST BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT.
- GRADES SHOWN ON PLANS ARE EDGE OF PAVEMENT FINISHED GRADES UNLESS OTHERWISE NOTED.
- SHOULD THE SURFACE OR SUBSURFACE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED AND MULCHED UNLESS OTHERWISE SPECIFICALLY STATED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF SEDIMENT-LADEN RUNOFF RESULTING FROM STORM EVENTS DURING THE CONSTRUCTION PHASE. EROSION CONTROL FACILITIES SHOULD BE INSTALLED EARLY DURING THE CONSTRUCTION PERIOD SO AS TO PREVENT THE TRANSPORT OF SEDIMENT INTO SURFACE WATERS. RE-VEGETATION AND STABILIZATION OF DISTURBED AREAS SHOULD BE ACCOMPLISHED IMMEDIATELY TO REDUCE THE POTENTIAL FOR FURTHER SOIL EROSION.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD BEFORE COMMENCING WORK.
- MINIMUM COVER OVER PIPES SHALL BE 36" UNLESS OTHERWISE INDICATED.
- ALL UNDERGROUND UTILITY COMPANIES SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- IN ADDITION TO THE SPECIFICATIONS AND DETAILS PROVIDED FOR THIS CONTRACT, THE NASSAU COUNTY ROADWAY AND DRAINAGE STANDARDS (LATEST REVISION) SHALL ALSO BE USED FOR ANY ITEMS NOT COVERED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A SET OF ROADWAY AND DRAINAGE STANDARDS FROM THE COUNTY.
- BACKFILL MATERIAL SHALL BE COMPACTED TO 100% (1 2%) PER NASSAU COUNTY REQUIREMENTS UNDER EXISTING AND PROPOSED ROADWAYS.
- NO FIELD CHANGES OR DEVIATIONS FROM DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE ENGINEER OF RECORD.
- STATIONING REFERS TO THE CENTERLINE OF THE ROADWAY EXCEPT AS NOTED ON PLANS. WHERE PAVEMENT SPLITS, THE STATIONING FOLLOWS THE INSIDE EDGE OF PAVEMENT UNTIL ROADWAY TRANSITIONS BACK TO THE TYPICAL ROADWAY SECTION
- ALL CONSTRUCTION, MATERIAL, AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH NASSAU COUNTY STANDARDS.
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, LATEST EDITION. INSTALL PAVEMENT MARKINGS IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 17346.

- Engineering Plans approval does not constitute permission to violate any adopted Federal, State, or Local law, code, or ordinance.
- All work within the public streets and right-of-ways shall conform to Nassau County Land Development Codes (LDC), FDOT Standard Indices, Florida Greenbook, Nassau County Roadway and Drainage Standards, and Nassau County Standard Details as necessary. For any discrepancy between standards, the most stringent shall prevail.
- Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 6.2.4, site shall be constructed per approved construction drawings. Any substantial deviation shall be concurrently reviewed by Engineer of Record and Nassau County Development Review Committee prior to field changes.
- A pre-construction meeting with Nassau County Engineering Services Construction Inspector is required. Attendees shall be Nassau County, Engineer of Record, Contractor, Testing firm, Paving firm, and utility companies. Per Nassau County Ordinance 99-17 Section 7.2.3, Nassau County may cancel pre-construction meeting if attendee list is inadequate. Nassau County Engineering Services can be reached at 904-530-6225.
- The contractor shall schedule and coordinate all work with the appropriate Nassau County Construction Inspector assigned to the project per Nassau County Ordinance 99-17 Section 7.2.
- All work shall be performed in a safe manner. All safety rules and guidelines of O.S.H.A. shall be followed. The contractor shall be wholly responsible for any injuries to his employees and any damage to private property or persons during the course of this project.
- Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 11.8.1, any disturbed areas within Nassau County Right-of-Way shall be sodded.
- Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 7.4.1, at the time of final inspection, grassing shall be a minimum of seventy percent coverage and fully established and/or sodding to be one hundred percent coverage and stabilized.
- Engineer of Record approved shop drawings shall be provided to Nassau County Construction Inspector a minimum of one week before beginning structure installation.
- Parking at mail kiosks is required per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 8.4. Mail kiosk locations are subject to USPS Postmaster approval.
- The developer's contractor is the single responsible party for the proper implementation of an Erosion Protection Sediment Control (EPSC) within each lot or construction site. This includes the responsibility for the actions/inactions of employees, subcontractors, and/or suppliers.
- Sidewalks to be provided and built in accordance Florida Building Code. All proposed sidewalks shall meet ADA requirements.
- The Contractor shall comply with current Florida accessibility standards for all work on this project.
- Per Ordinance 99-17 Section 8.5.1, minimum cover for water lines and force mains under pavement shall 42" and 36" in green areas.
- All water, sewer, and storm water construction within Nassau County ROW shall be accomplished by an underground utility contractor licensed under the provisions of Chapter 489 of the Florida Statutes.
- No work shall be permitted between the hours of 7:00 PM - 7:00AM without prior approval from Nassau County Engineering Services.
- All trees required to be protected shall be flagged for protection prior to clearing.
- All grading and placement of compacted fill shall be in accordance with the latest Nassau County Specifications.
- Any damages (sidewalk, curb, asphalt, ditch grading, et cetera) within Public Right-of-Way shall be repaired or replaced in accordance with Nassau County Specifications. Proposed repair method shall be approved by Nassau County Engineering Services.
- Any asphalt millings from Nassau County ROW shall be delivered to the Road Department Laydown yard located on Gene Lasserre Boulevard or Pea Farm Road. Please contact the Road Department at (904) 530-6175.
- Per Nassau County Ordinance 99-17 Section 7.4.2 and 7.4.4, as-built drawings shall be submitted to Nassau County before a final inspection can be scheduled. As-builts submittals will be in accordance with Nassau County as-built requirement checklist. As-built drawings shall be certified by required licensed surveyor and approved by Engineer of Record.

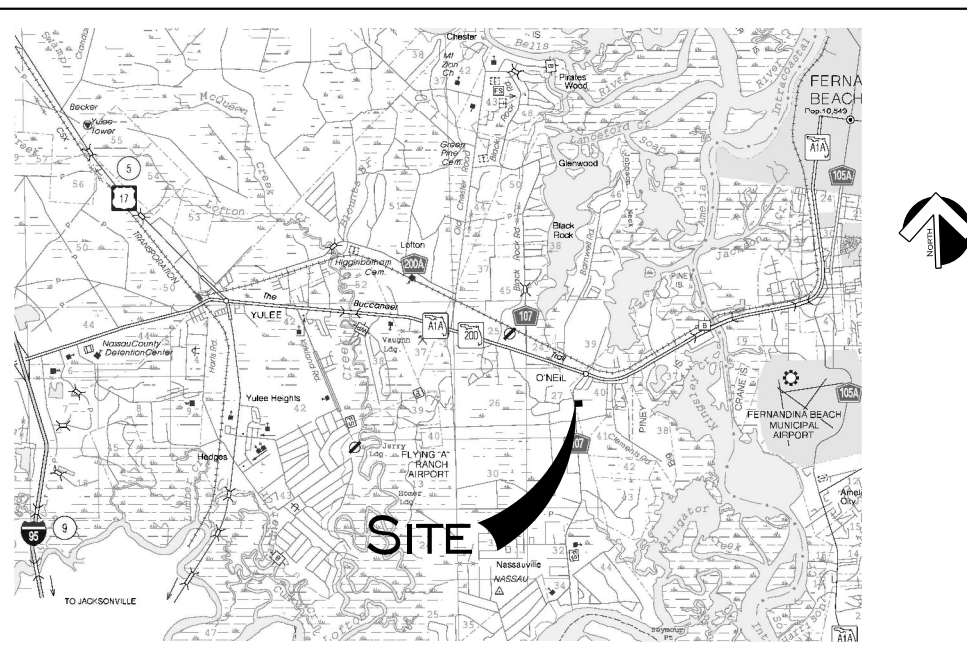
SEWER NOTES

- THE CONTRACTOR SHALL PROVIDE, TO THE ENGINEER OF RECORD, A SCHEDULE OF INVERT ELEVATIONS OF ALL SANITARY MANHOLES PRIOR TO THE PLACEMENT OF THE LINE ROCK BASE COURSE. THIS SCHEDULE TO BE PROVIDED BY THE REGISTERED LAND SURVEYOR SUBMITTING THE "AS-BUILT" DRAWINGS FOR THIS PROJECT.
- SANITARY SEWER SERVICES SHALL BE 6" PVC WITH A MINIMUM SLOPE OF 0.006 FEET PER FOOT AND SHALL BE TERMINATED AT THE RIGHT-OF-WAY LINE WITH A DEPTH OF 24" TO 48" FROM THE FINAL FINISHED GRADE OF THE DEVELOPED LOTS. DEPTHS GREATER THAN 48" FROM FINAL FINISHED GRADE SHALL BE READJUSTED BY THE DEVELOPER AT HIS COST.
- ALL MANHOLE FRAMES AND COVERS TO BE ADJUSTED TO FINAL FINISHED GRADE.
- A SEPARATE SEWER SERVICE (6" MIN.) SHALL BE PROVIDED TO THE RIGHT-OF-WAY FOR EACH LOT BEING SERVED. AN "S" SHALL BE ETCHED INTO THE CURB DIRECTLY OVER EACH SERVICE LINE OR IN THE STREET SIDE OF A SIDEWALK IN LINE WITH THE CLEANOUT.
- GRAVITY SEWER TO BE GREEN IN COLOR
- NEW GRAVITY SEWER SYSTEM SHALL BE PLUGGED AT NEAREST EXISTING DOWNSTREAM MANHOLE AND SHALL NOT BE REMOVED WITHOUT AUTHORIZATION FROM THE JEA. EXISTING MANHOLES TO BE CORRODED AND ARRANGEMENTS MADE TO BE REPAIRS WITH COMPATIBLE MATERIALS IF THE EXISTING MANHOLE IS ALLOWED TO BE USED.
- FINISHED FLOOR ELEVATIONS SHALL BE GREATER (HIGHER) THAN THE ELEVATION OF THE MANHOLE NEAREST THE SERVICE LATERAL IN ORDER TO AVOID A POTENTIAL BACKUP OF SEWERAGE IN THE HOUSE OR BUILDING.
- FORCE MAIN MUST PASS A PRESSURE TEST PRIOR TO ACCEPTANCE OF THE SYSTEM. THE PRESSURE TEST SHALL COMPLY WITH ANWA C-600 SECTION 4.1 STANDARD FOR HYDROSTATIC TESTING. PRESSURE TEST MUST BE WITNESSED AND APPROVED BY AN AUTHORIZED THE UTILITY COMPANY REPRESENTATIVE.
- ALL GRAVITY SEWER PIPE (WITH LATERALS) TO A 12 FOOT DEPTH OF COVER SHALL BE ASTM D3034 SDR-35 PVC PIPE. GRAVITY SEWER PIPE WITH COVER OF 12 FEET (AND IN EASEMENT) AND GREATER SHALL BE C900-DR18 OR SDR-26. JOINT SHALL BE OF THE BELL AND SPIGOT TYPE AND MEET THE REQUIREMENTS OF THE PIPE REFERRED BEING USED. SEE JEA SEWER STANDARDS FOR MORE DETAIL
- WHEN A PROPERTY LINE CAN NOT BE DEFINED, THE SEWER CLEANOUT SHALL BE PLACED IN AN UNPAVED AREA AT A DISTANCE NO GREATER THAN 30 FEET FROM THE SEWER MAIN.
- ALL GRAVITY SEWER MAINS SHALL BE DEFLECTION TESTED WITH A 5% MANDREL AS SUPPLIED BY THE CONTRACTOR AND CERTIFIED TO ACCURACY EACH YEAR. CERTIFICATION OF ACCURACY SHALL BE PROVIDED TO JEA. THE SEWER LINES TO BE TV INSPECTED AND THE ALIGNMENT BETWEEN MANHOLES CHECKED BY USING LIGHTS, LASER BEAMS OR OTHER SUITABLE MEANS.
- FRAME AND COVER ADJUSTMENT RINGS SHALL BE MANUFACTURED OF THE SAME MATERIAL AS THE MANHOLES.
- SEWER PLUGS USED DURING THE CONSTRUCTION OR CONNECTION TO A SYSTEM SHALL HAVE THE CONTRACTOR'S NAME PERMANENTLY STAMPED.
- THE FRP MANHOLE LINER SHALL BE DESIGNED AND FABRICATED TO BE INSTALLED VERTICALLY INSIDE AN EXISTING MANHOLE, AND SHALL NOT BE LOAD BEARING STRUCTURE. THE ANNULAR SPACE BETWEEN THE OUTSIDE DIAMETER OF THE LINER AND INSIDE DIAMETER OF THE EXISTING MANHOLE WALL SHALL BE FILLED WITH CONCRETE GROUT.
- IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) REQUIREMENTS, LEAKAGE TESTING SHALL BE PERFORMED ON ALL SEGMENTS OF THE SEWER SYSTEM. TESTING MAY INCLUDE APPROPRIATE WATER OR LOW PRESSURE AIR TESTING. TEST METHODS SHALL TAKE INTO CONSIDERATION THE RANGE IN GROUNDWATER ELEVATIONS DURING THE TEST AND ANTICIPATED DURING THE DESIGNED LIFE OF THE SEWER. LEAKAGE TESTING BASED ON THE WATER (HYDROSTATIC) TEST SHALL NOT EXCEED 200 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM USING A MINIMUM POSITIVE HEAD OF 2 FEET. LEAKAGE TESTING BASED ON THE LOW PRESSURE AIR TEST SHALL, AS A MINIMUM, CONFORM TO THE TEST PROCEDURE DESCRIBED IN ASTM F-1417.
- MINIMUM COVER FOR FORCE MAINS IS 30" IN UNPAVED AREAS AND 36" IN PAVED AREAS OR DUCTILE IRON PIPE CASING, CONCRETE ENCASEMENT AS SPECIFIED.
- ALL LINED FORCE MAIN FITTINGS SHALL BE HOLIDAY TESTED FOR DEFECTS PRIOR TO INSTALLATION.

LEGEND

LOCATION MAP

	EXISTING VALVE		PROPOSED SPOT ELEVATION
	EXISTING WATER LINE		PROPOSED CONTOUR
	EXISTING SANITARY SEWER		PROPOSED EDGE OF PAVEMENT
	EXISTING FIRE HYDRANT		PROPOSED PROPERTY LINE
	PROPOSED SANITARY SEWER		PROPOSED R.O.W. LINE
	PROPOSED WATER LINE		EXISTING TREE
	PROPOSED FIRE HYDRANT		EXISTING CONTOUR
	EXISTING EDGE OF PAVEMENT		SILT FENCE
	EXISTING PROPERTY LINE		WETLAND BUFFER



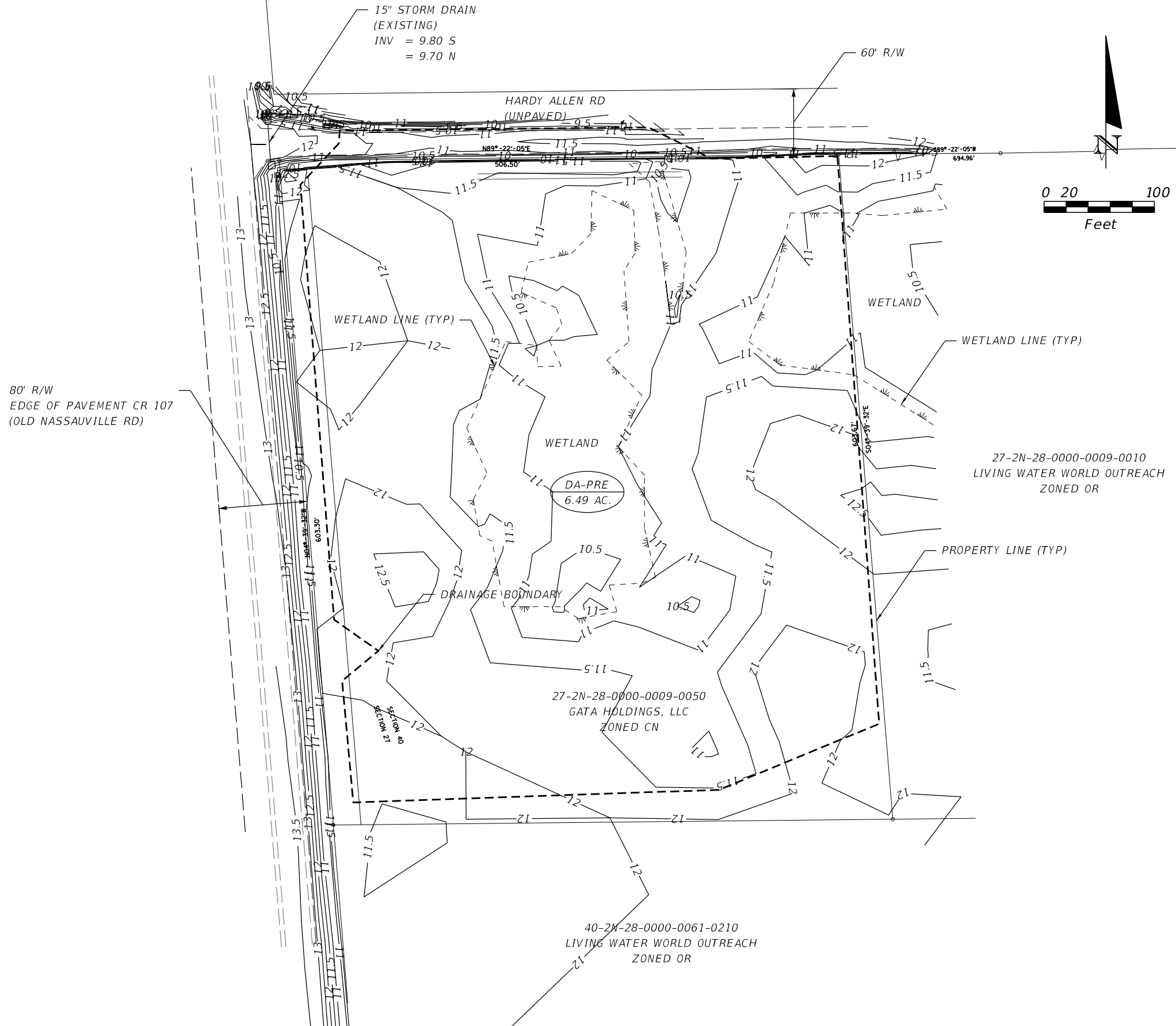
REVISIONS

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 Certificate of Authorization No. 8269

Robinson
 CONSTRUCTION PLANS FOR:
 Robinson 24 HR
 Veterinary Hospital

INDEX

SHEET NO.
 2



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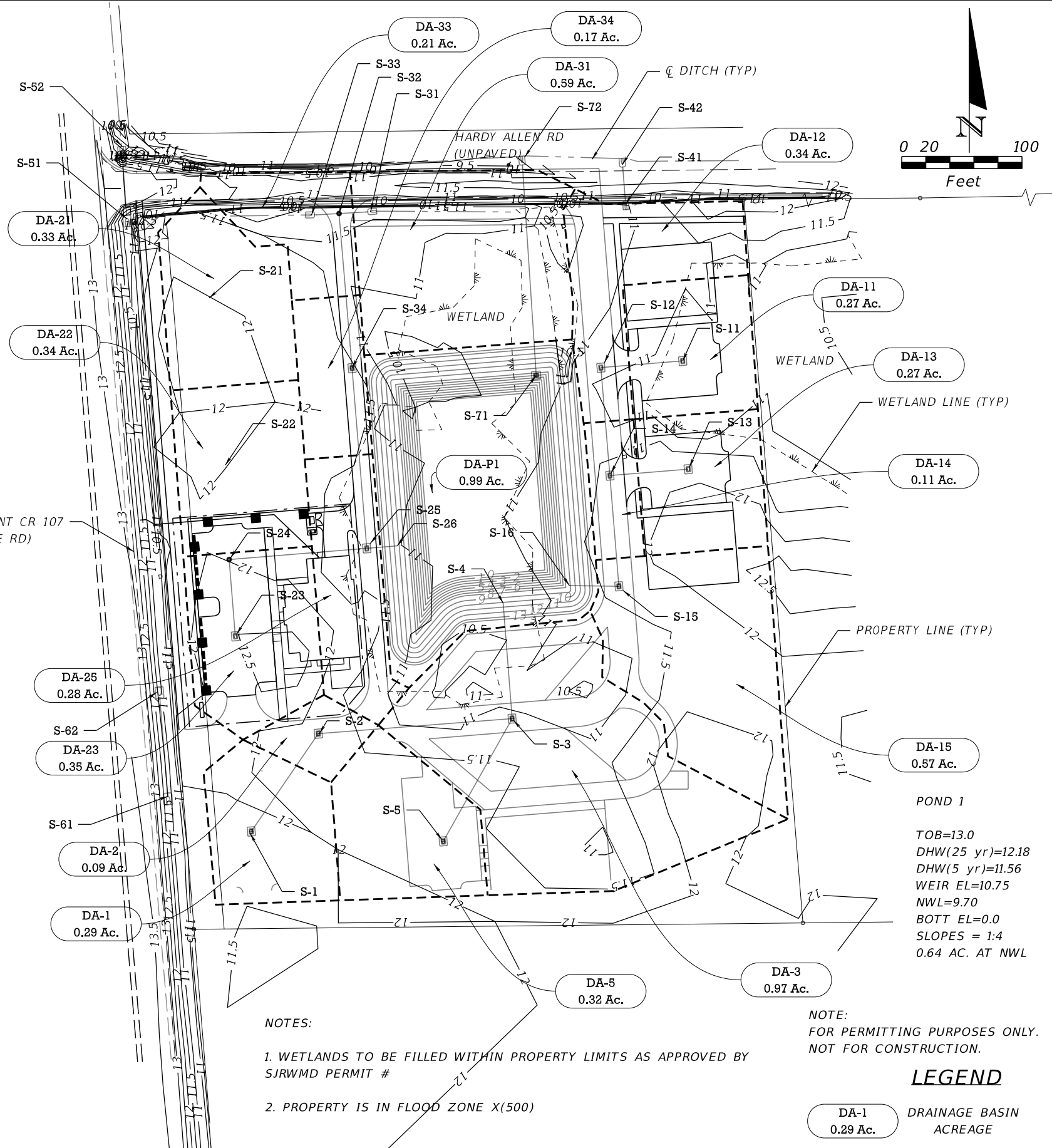
Robinson
 CONSTRUCTION PLANS FOR:
**Robinson 24 HR
 Veterinary Hospital**

**PRE-DEVELOPMENT
 DRAINAGE PLAN
 ORIGINAL**

SHEET NO.
3

Pipe Table								
Pipe	Upstream Structure	Downstream Structure	Length (ft)	Size (in)	Type	Upstream Invert (ft)	Downstream Invert (ft)	Slope (%)
P-1	S-1	S-2	98	18	RCP	8.50	8.25	0.25
P-2	S-2	S-3	161	18	RCP	8.25	7.84	0.25
P-3	S-3	S-4	96	18	RCP	7.84	7.60	0.25
P-5	S-5	S-3	117	18	RCP	9.50	9.20	0.25
P-11	S-11	S-12	68	18	RCP	8.10	7.93	0.25
P-12	S-12	S-14	90	18	RCP	7.93	7.70	0.25
P-13	S-13	S-14	65	18	RCP	8.10	7.93	0.25
P-14	S-14	S-15	92	18	RCP	7.70	7.46	0.25
P-15	S-15	S-16	41	18	RCP	7.46	7.36	0.25
P-21	S-21	S-22	141	18	RCP	8.10	7.74	0.25
P-22	S-22	S-24	74	18	RCP	7.74	7.55	0.25
P-23	S-23	S-24	64	18	RCP	8.25	8.09	0.25
P-24	S-24	S-25	115	18	RCP	7.55	7.26	0.25
P-25	S-25	S-26	26	18	RCP	7.26	7.19	0.25
P-31	S-31	S-32	31	18	RCP	10.75	8.80	6.28
P-32	S-32	S-34	128	18	RCP	8.80	8.48	0.25
P-33	S-33	S-32	27	18	RCP	10.75	8.80	7.24
P-34	S-34	S-25	150	18	RCP	8.48	8.09	0.25
P-41	S-41	S-42	42	24	RCP	9.80	9.70	0.24
P-51	S-51	S-52	66	24	RCP	9.20	9.00	0.30
P-61	S-61	S-62	98	24	RCP	10.70	10.60	0.10
P-71	CS	S-72	182	15	RCP	9.75	9.50	0.14

Structure Table							
Drainage Structure	Drainage Area	Type	Top/Inlet Elevation	Bottom Elevation	Drainage Area (Ac)	Inlet Flow (CFS)	Max Flow (CFS)
S-1	DA-1	Grate Inlet	13.00	8.50	0.29	1.10	4.00
S-2	DA-2	Grate Inlet	13.00	8.25	0.09	0.31	4.00
S-3	DA-3	Grate Inlet	12.60	7.84	0.97	3.05	4.00
S-5	DA-5	Grate Inlet	13.00	9.50	0.32	1.21	4.00
S-11	DA-11	Grate Inlet	12.60	8.10	0.27	1.02	4.00
S-12	DA-12	Grate Inlet	12.60	7.93	0.34	1.21	4.00
S-13	DA-13	Grate Inlet	12.60	8.10	0.27	1.02	4.00
S-14	DA-14	Grate Inlet	12.60	7.70	0.11	0.38	4.00
S-15	DA-15	Grate Inlet	12.60	7.46	0.57	1.90	4.00
S-21	DA-21	Grate Inlet	12.60	8.10	0.33	1.25	4.00
S-22	DA-22	Grate Inlet	12.60	7.74	0.34	1.16	4.00
S-23	DA-23	Grate Inlet	12.75	8.25	0.35	1.33	4.00
S-24	DA-24	Grate Inlet	13.10	7.55	0.00	0.00	4.00
S-25	DA-25	Grate Inlet	12.60	7.26	0.28	0.90	4.00
S-31	DA-31	Grate Inlet	12.25	10.75	0.59	2.24	4.00
S-32	DA-32	Grate Inlet	12.68	8.80	0.00	0.00	4.00
S-33	DA-33	Grate Inlet	12.25	10.75	0.21	0.80	4.00
S-34	DA-34	Grate Inlet	12.60	8.48	0.17	0.61	4.00
S-4		MES					
S-16		MES					
S-26		MES	7.19				
S-41		MES					
S-42		MES					
S-51		MES					
S-52		MES					
S-61		MES					
S-62		MES					
CS		Control Structure	12.18	9.25			
S-72		MES					

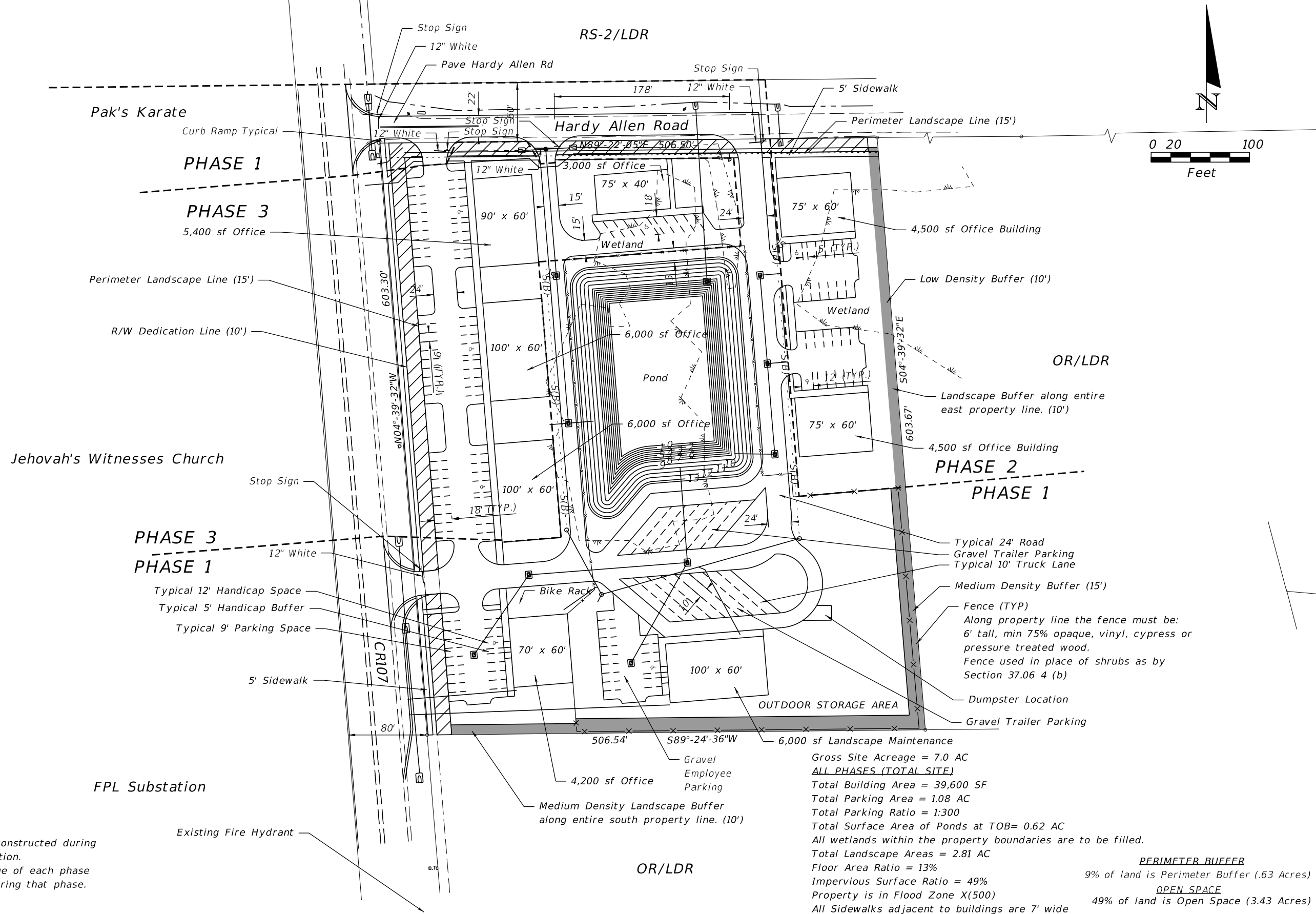


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Robinson
CONSTRUCTION PLANS FOR:
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POST-DEVELOPMENT
DRAINAGE PLAN
ORIGINAL
SHEET NO. 4



- NOTES:**
- 1) Right turn lane to be constructed during final phase of construction.
 - 2) Sidewalks along frontage of each phase shall be constructed during that phase.

Gross Site Acreage = 7.0 AC
ALL PHASES (TOTAL SITE)
 Total Building Area = 39,600 SF
 Total Parking Area = 1.08 AC
 Total Parking Ratio = 1:300
 Total Surface Area of Ponds at TOB= 0.62 AC
 All wetlands within the property boundaries are to be filled.
 Total Landscape Areas = 2.81 AC
 Floor Area Ratio = 13%
 Impervious Surface Ratio = 49%
 Property is in Flood Zone X(500)
 All Sidewalks adjacent to buildings are 7' wide

PERIMETER BUFFER
 9% of land is Perimeter Buffer (.63 Acres)
OPEN SPACE
 49% of land is Open Space (3.43 Acres)

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

Engineer of Record:
 Daniel I. McCranie, P.E.
 P.E. # 50627
M&A
 McCranie & Associates, Inc.
 3 South 2nd St.
 Fernandina Beach, FL 32034
 (904) 335-8685
 Certificate of Authorization No. 8269

Trim All
 CONSTRUCTION PLANS FOR:
 Trim All
 Hardy Allen Rd

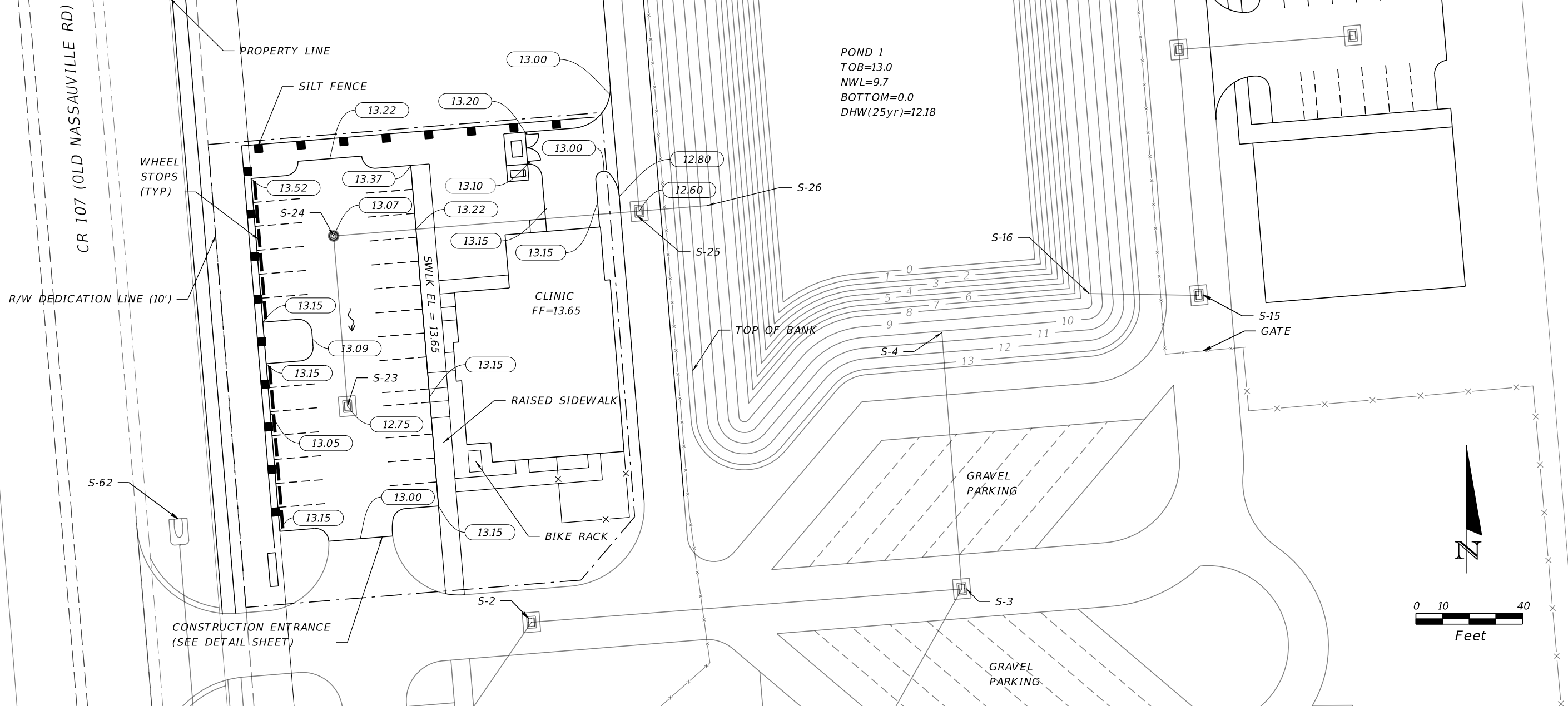
PRELIMINARY SITE PLAN
ORIGINAL

SHEET NO.
 5

- NOTES
 1. ALL EXISTING WELLS AND SEPTIC TANKS WITHIN 75' OF THE PROPERTY LINES ARE SHOWN
 2. SEE 2016-2017 FDOT STANDARD INDEX 600.602 FOR TEMPORARY TRAFFIC CONTROL

0.586 ACRES TOTAL
 10,480 SF IMPERVIOUS (41%)
 4,456 SF BUILDING (17%)

PARKING REQUIREMENTS
 USE: COMMERCIAL
 REQUIRED: 1 PER 300 SF
 NUMBER OF SF: 4,456
 REQUIRED PARKING SPACES: 15
 PROVIDED SPACES: 16 (2 HC)
 (NOT INCLUDING TRUCK/TRAILOR PARKING)
 BUILDING HEIGHT = 32' MAX



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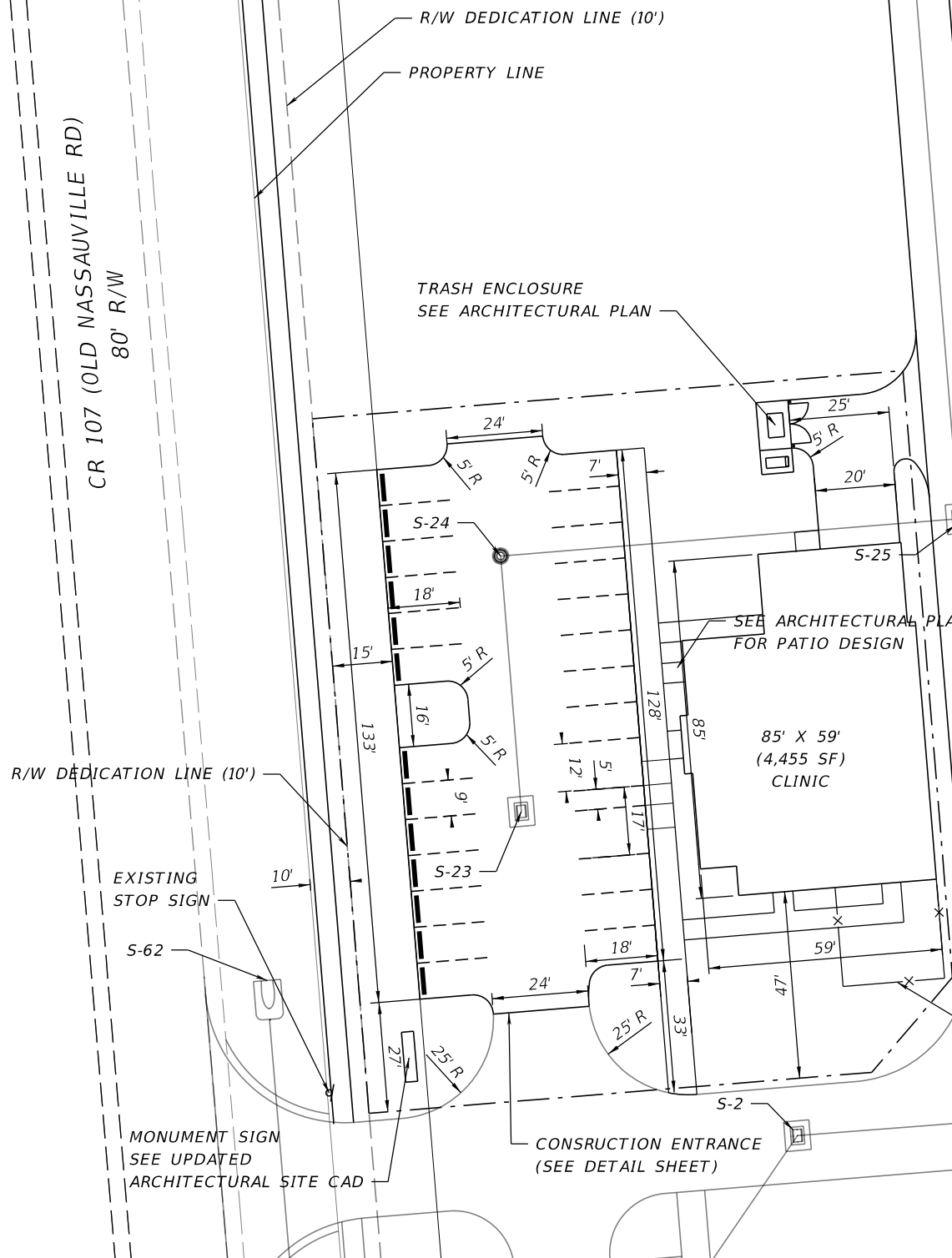
Robinson
 CONSTRUCTION PLANS FOR:
 Robinson 24 HR
 Veterinary Hospital

GRADING PLAN

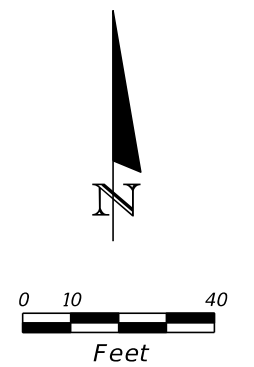
SHEET NO.
 6

NOTE: ALL STRIPING SHALL BE DONE IN THERMOPLASTIC

SETBACKS
 FRONT = 85'
 SIDE = 42' (min)
 REAR = 2'



POND 1
 TOB=13.0
 NWL=9.7
 BOTTOM=0.0
 DHW(25yr)=12.18



REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

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Robinson

CONSTRUCTION PLANS FOR:
 Robinson 24 HR
 Veterinary Hospital

DanMcCranie 9/13/2022 4:37:28 PM

**GEOMETRY PLAN
 STRIPING PLAN**

SHEET NO.
 7

SYM.	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
SM	5	Southern Magnolia	Magnolia Grandiflora	Minimum Trunk dia = 3" Minimum crown spread = 5' dia.	Plant per plan
FD	5	Flowering Dogwood	Cornus Florida	Minimum Trunk dia = 3" Minimum crown spread = 5' dia.	Plant per plan
PH	5	East Palatka Holly	Ilex Attenuata	Minimum Trunk dia = 3" Minimum crown spread = 5' dia.	Plant per plan
AH	3	American Holly	Ilex opaca	Minimum Trunk dia = 3" Minimum crown spread = 5' dia.	Plant per plan
LB	3	Loblolly Bay	Gordonia lasianthus	Minimum Trunk dia = 3" Minimum crown spread = 5' dia.	Plant per plan
BR	25	Azalea	Rhododendron cvs.	1 gal	Plant 30" O.C.
RI	38	Indian Hawthorn	Raphiolepis Indica	30" Ht., 3 Gal	Plant 5' O.C.

Landscape Notes:

1. All trees planted shall be staked or guyed for a period of at least six (6) months in accordance with the following planting detail: LDC 37.05 B (1)Plant material. All installed trees, shrubs and groundcovers shall conform to the standards for Florida Grade #1 or better according to the current edition of "Grades and Standards for Nursery plants" published by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry. Synthetic or artificial trees, shrubs, groundcovers or vines are not acceptable substitutes. In choosing plant materials, consideration should be given to the amount of sun or shade, the wetness or dryness of the soil, the effects of salt spray (where applicable), the amount of irrigation required and the mature size and spatial needs of plants chosen. LDC 37.05 B (1)The minimum number of trees required by this section shall be either qualifying existing trees preserved on-site or more than one species listed in Tables 37-1 or 37-2. Trees planted in addition to these minimum requirements of this section may be any species of canopy tree or palm except for the prohibited species listed herein. In order to prevent a monoculture, new landscaping should not include more than fifty (50) percent of any one genus or twenty-five (25) percent of any one species. All trees shall be planted in a minimum dimension of ten (10) feet. This minimum planting area must be free of all pavement and vehicle overhang in order to prevent possible tree damage. All trees shall have a minimum trunk diameter, measured six (6) inches above ground level, in accordance with Table 37-3. LDC 37.05 B (3)Shrubs shall have a minimum height of eighteen (18) inches when planted. When planted as a hedge, the maximum spacing is 30 inches on center. All shrubs used for visual screening shall be of a plant species that is capable of reaching a height of four (4) feet within twenty-four (24) months under normal growing conditions. Shrubs used as accent ground cover and vines may vary in size depending on the type of plant material and the desired effect. LDC 37.05 K Groundcovers shall be planted in such manner as to present a finished appearance and complete coverage within one (1) year after planting. LDC 37.05 K (1)Maintenance. The property owner is responsible for the maintenance of all landscape areas required by this section. Maintenance includes irrigating, mowing, trimming, fertilizing and carrying out those activities necessary to keep the plant material in a healthy and growing condition, maintain visual clearance and allow passage of vehicles and pedestrians on public roads and non-exclusive easements.

2. LDC 37.05 K (2)Upon determination by the county that a required tree or plant is dead or severely damaged or diseased, the tree or plant shall be replaced by the owner with plant material meeting the requirements of this section. LDC 37.05 K (3)All buffer areas required as part of a development plan, whether in common or private ownership, shall be the responsibility of that development's property owners' association. Where there is no property owners' association, such landscaped areas shall be the responsibility of the property owner. 37.05 J (3)Trees on developed properties may be pruned to maintain shape and promote their shade-giving qualities. They should be pruned to remove diseased or dying portions in areas where falling limbs could be a hazard to people or property. Lower limbs may be removed to provide clearance. In addition, trees located in association with vehicular use areas shall also be pruned to allow a seven-foot clearance from ground level to avoid potential for damage or injury to pedestrians and cleared to thirteen (13) above pavement level for vehicles. However, the excessive pruning or pollarding of trees into round balls of crown or branches resulting in an unnecessary reduction of shade is prohibited and may require supplemental plantings. All pruning shall be done following the American National Standard for Tree Care Operations "Tree, Shrub and Other Woody Plant Maintenance - Standard Practices." 37.05 E (1)Intersection sight distance clearance: At the intersection of two (2) streets, all landscaping within that area defined by the Florida Department of Transportation sight triangle, as outlined in the FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on the State Highway System shall be installed and maintained below three (3) feet in height or above eight (8) feet in height.

3. All planting areas shall be mulched with approximately three (3) inches of organic mulch, such as pine bark or shredded hardwood chips.

4. If installed trees, shrubs and groundcovers shall conform to the standards for Florida Grade #1 or better according to the current edition of "Grades and Standards for Nursery plants" published by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry.

5. All material counts and square footage are the contractor's responsibility.

6. To meet specifications, plant size takes precedence over container size.

7. All trees shall be located a minimum 4' clear of all pavement or R.O.W. line.

8. All planting around parking areas to be 24" minimum from pavement edge.

9. Trees must be 8' minimum from any structure.

10. Owner representative to be contacted if any discrepancy in drawings or site conditions.

11. All disturbed areas not depicting landscaping shall be seeded and mulched unless otherwise noted on the plan.

Lighting Note:
Lighting shall be attached to buildings.
Lighting shall be "full cut off" only.
No light pollution permitted to reach adjacent properties or roadways.

INTERIOR LANDSCAPING
Area = 304,920 SF
Required/Provided Green Space = 30,490 SF/ 142,441 SF
Required/Provided Canopy Trees = 61/109

PERIMETER LANDSCAPE REQUIREMENTS
Average Width = 15'
3 Canopy Trees per 100' Frontage
3 Understory Trees per 100' Frontage

Notes:
The owner may substitute landscape materials provided that all materials used meet the minimum requirements of Ordinance 97-19, Article 37, Section 37.05.
Any landscape substitutions must be submitted to and approved by the Nassau County Planning Department.

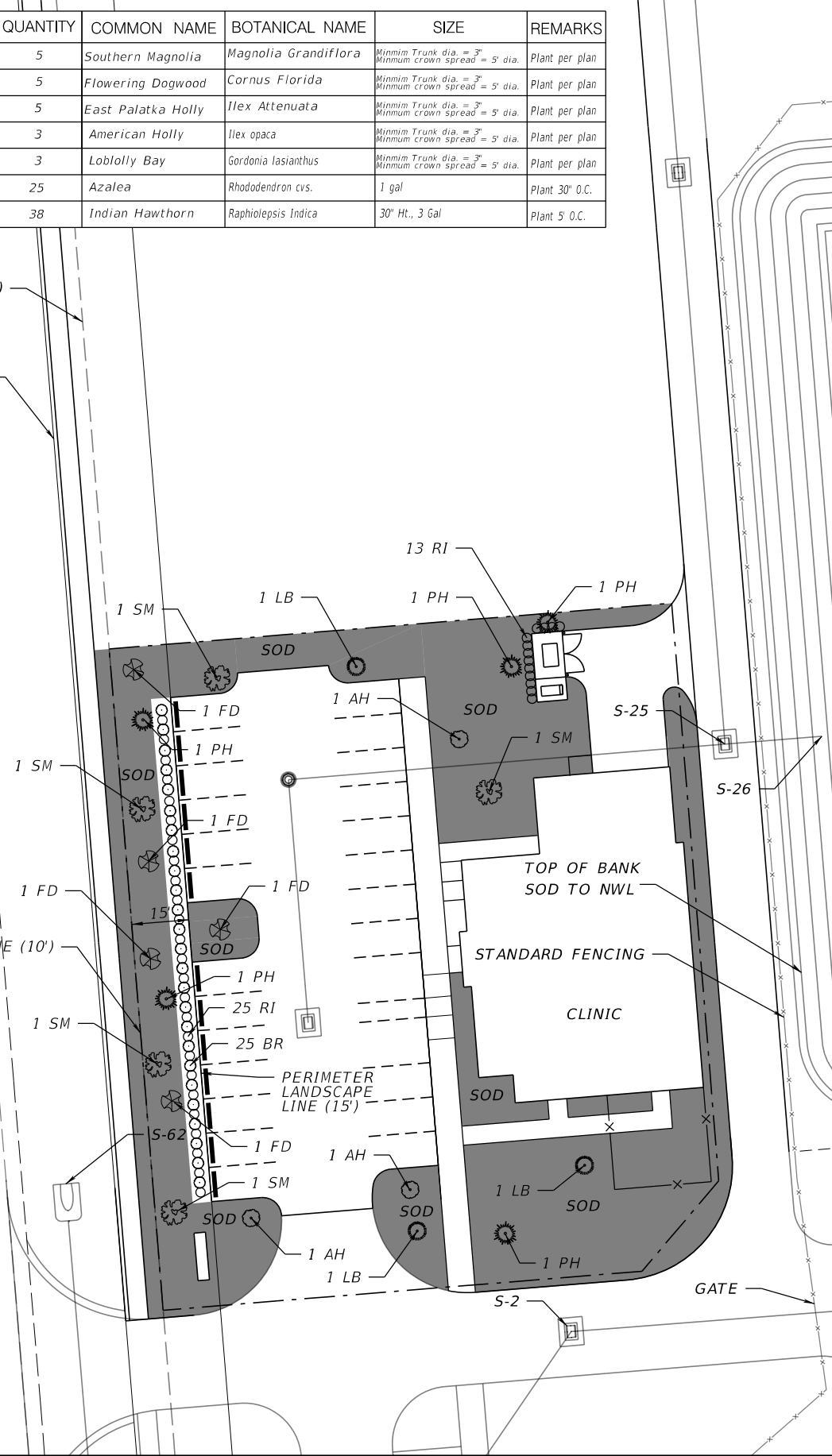
POND 1
TOB=13.0
NWL=9.7
BOTTOM=0.0
DHW(25yr)=12.18

R/W DEDICATION LINE (10')

PROPERTY LINE

CR 107 (OLD NASSAUVILLE RD)
80' R/W

R/W DEDICATION LINE (10')



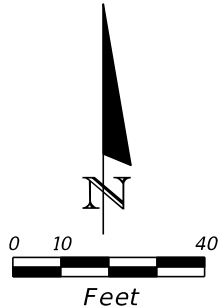
REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

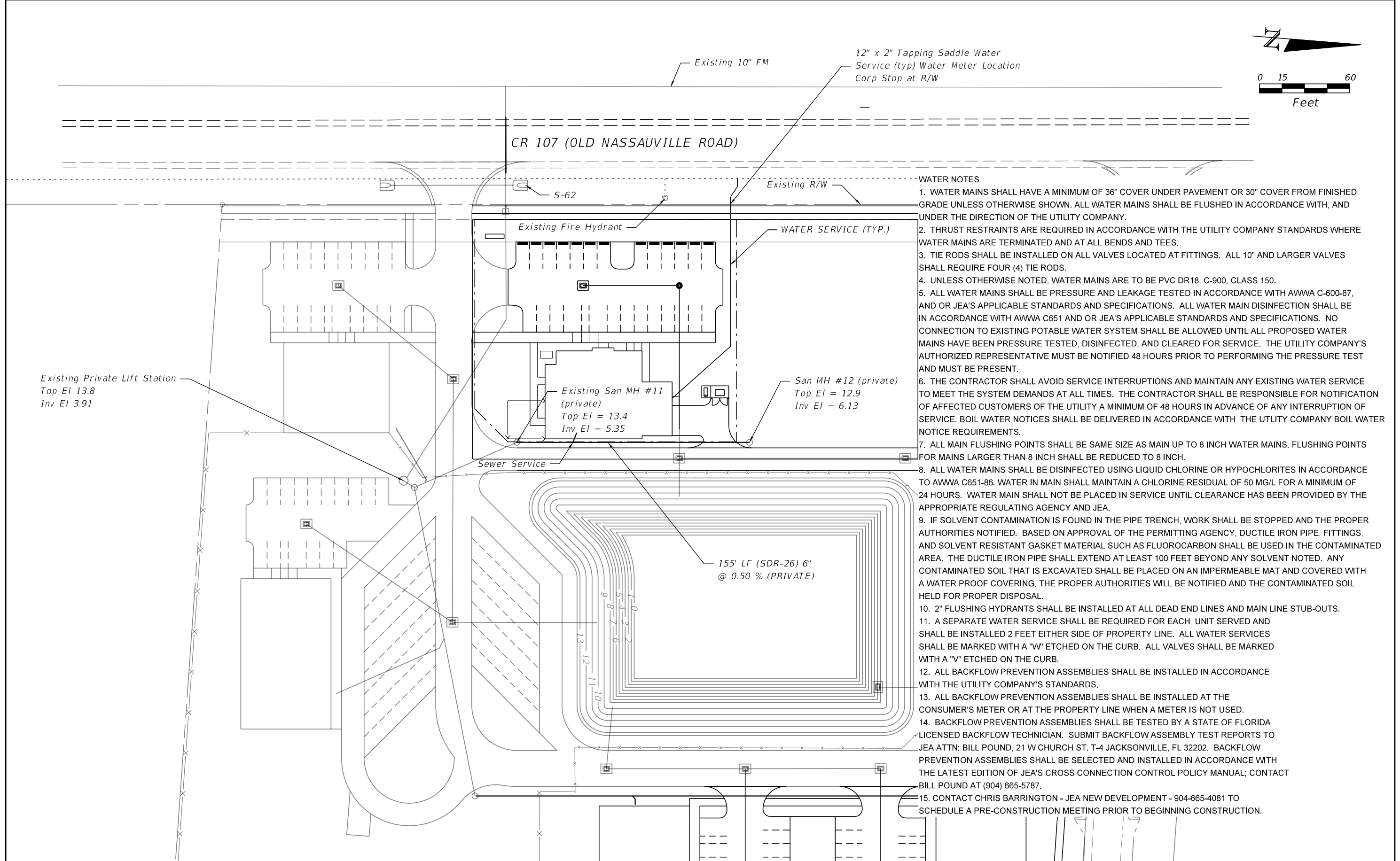
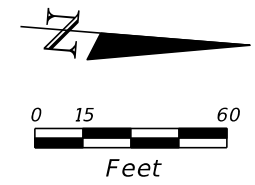
Engineer of Record:
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P.E. # 50627
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Fernandina Beach, FL 32034
(904) 335-8885
Certificate of Authorization No. 8269

Robinson
CONSTRUCTION PLANS FOR:
Robinson 24 HR
Veterinary Hospital

LANDSCAPE PLAN

SHEET NO.
8





- WATER NOTES**
1. WATER MAINS SHALL HAVE A MINIMUM OF 36" COVER UNDER PAVEMENT OR 30" COVER FROM FINISHED GRADE UNLESS OTHERWISE SHOWN. ALL WATER MAINS SHALL BE FLUSHED IN ACCORDANCE WITH, AND UNDER THE DIRECTION OF THE UTILITY COMPANY.
 2. THRUST RESTRAINTS ARE REQUIRED IN ACCORDANCE WITH THE UTILITY COMPANY STANDARDS WHERE WATER MAINS ARE TERMINATED AND AT ALL BENDS AND TEES.
 3. TIE RODS SHALL BE INSTALLED ON ALL VALVES LOCATED AT FITTINGS. ALL 10" AND LARGER VALVES SHALL REQUIRE FOUR (4) TIE RODS.
 4. UNLESS OTHERWISE NOTED, WATER MAINS ARE TO BE PVC DR18, C-900, CLASS 150.
 5. ALL WATER MAINS SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA C-600-87, AND OR JEA'S APPLICABLE STANDARDS AND SPECIFICATIONS. ALL WATER MAIN DISINFECTION SHALL BE IN ACCORDANCE WITH AWWA C651 AND OR JEA'S APPLICABLE STANDARDS AND SPECIFICATIONS. NO CONNECTION TO EXISTING POTABLE WATER SYSTEM SHALL BE ALLOWED UNTIL ALL PROPOSED WATER MAINS HAVE BEEN PRESSURE TESTED, DISINFECTED, AND CLEARED FOR SERVICE. THE UTILITY COMPANY'S AUTHORIZED REPRESENTATIVE MUST BE NOTIFIED 48 HOURS PRIOR TO PERFORMING THE PRESSURE TEST AND MUST BE PRESENT.
 6. THE CONTRACTOR SHALL AVOID SERVICE INTERRUPTIONS AND MAINTAIN ANY EXISTING WATER SERVICE TO MEET THE SYSTEM DEMANDS AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF AFFECTED CUSTOMERS OF THE UTILITY A MINIMUM OF 48 HOURS IN ADVANCE OF ANY INTERRUPTION OF SERVICE. BOIL WATER NOTICES SHALL BE DELIVERED IN ACCORDANCE WITH THE UTILITY COMPANY BOIL WATER NOTICE REQUIREMENTS.
 7. ALL MAIN FLUSHING POINTS SHALL BE SAME SIZE AS MAIN UP TO 8 INCH WATER MAINS. FLUSHING POINTS FOR MAINS LARGER THAN 8 INCH SHALL BE REDUCED TO 8 INCH.
 8. ALL WATER MAINS SHALL BE DISINFECTED USING LIQUID CHLORINE OR HYPOCHLORITES IN ACCORDANCE TO AWWA C651-86. WATER IN MAIN SHALL MAINTAIN A CHLORINE RESIDUAL OF 50 MG/L FOR A MINIMUM OF 24 HOURS. WATER MAIN SHALL NOT BE PLACED IN SERVICE UNTIL CLEARANCE HAS BEEN PROVIDED BY THE APPROPRIATE REGULATING AGENCY AND JEA.
 9. IF SOLVENT CONTAMINATION IS FOUND IN THE PIPE TRENCH, WORK SHALL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED. BASED ON APPROVAL OF THE PERMITTING AGENCY, DUCTILE IRON PIPE, FITTINGS, AND SOLVENT RESISTANT GASKET MATERIAL SUCH AS FLUOROCARBON SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE IRON PIPE SHALL EXTEND AT LEAST 100 FEET BEYOND ANY SOLVENT NOTED. ANY CONTAMINATED SOIL THAT IS EXCAVATED SHALL BE PLACED ON AN IMPERMEABLE MAT AND COVERED WITH A WATER PROOF COVERING. THE PROPER AUTHORITIES WILL BE NOTIFIED AND THE CONTAMINATED SOIL HELD FOR PROPER DISPOSAL.
 10. 2" FLUSHING HYDRANTS SHALL BE INSTALLED AT ALL DEAD END LINES AND MAIN LINE STUB-OUTS.
 11. A SEPARATE WATER SERVICE SHALL BE REQUIRED FOR EACH UNIT SERVED AND SHALL BE INSTALLED 2 FEET EITHER SIDE OF PROPERTY LINE. ALL WATER SERVICES SHALL BE MARKED WITH A "W" ETCHED ON THE CURB. ALL VALVES SHALL BE MARKED WITH A "V" ETCHED ON THE CURB.
 12. ALL BACKFLOW PREVENTION ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY COMPANY'S STANDARDS.
 13. ALL BACKFLOW PREVENTION ASSEMBLIES SHALL BE INSTALLED AT THE CONSUMER'S METER OR AT THE PROPERTY LINE WHEN A METER IS NOT USED.
 14. BACKFLOW PREVENTION ASSEMBLIES SHALL BE TESTED BY A STATE OF FLORIDA LICENSED BACKFLOW TECHNICIAN. SUBMIT BACKFLOW ASSEMBLY TEST REPORTS TO JEA ATTN: BILL POUND, 21 W CHURCH ST. T-4 JACKSONVILLE, FL 32202. BACKFLOW PREVENTION ASSEMBLIES SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF JEA'S CROSS CONNECTION CONTROL POLICY MANUAL; CONTACT BILL POUND AT (904) 665-5787.
 15. CONTACT CHRIS BARRINGTON - JEA NEW DEVELOPMENT - 904-665-4081 TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO BEGINNING CONSTRUCTION.

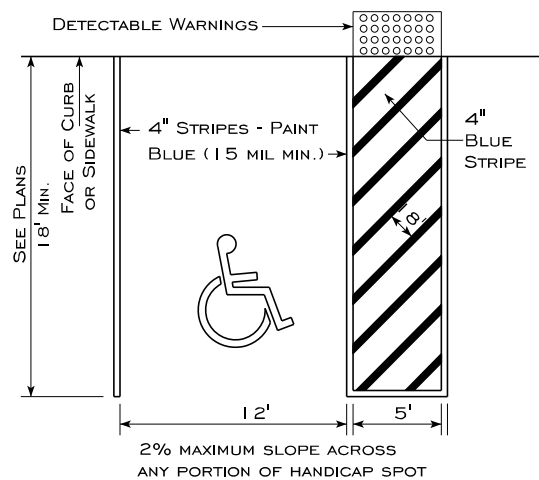
REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

Engineer of Record:
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Robinson
 CONSTRUCTION PLANS FOR:
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 Veterinary Hospital

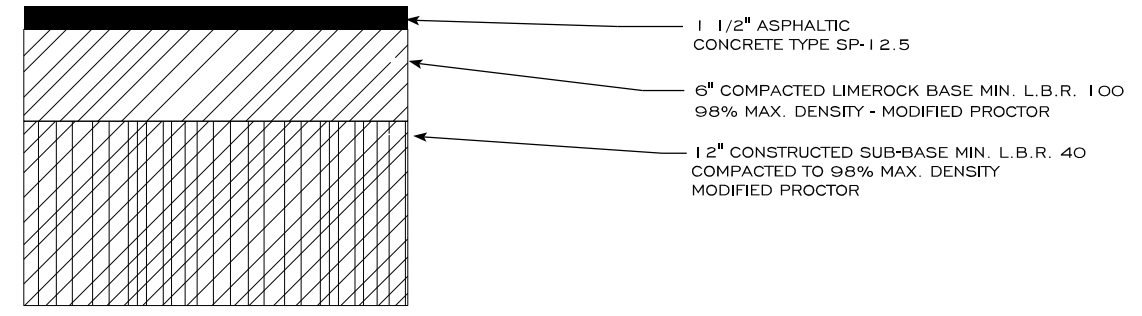
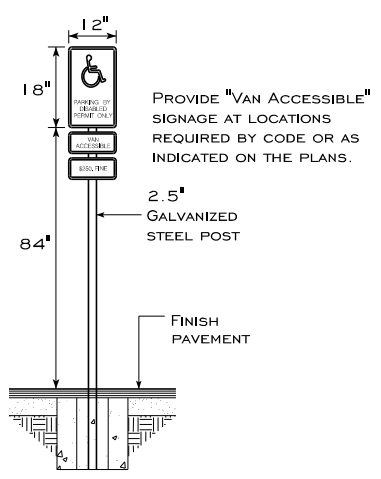
WATER AND SEWER PLAN
PHASE II

SHEET NO.
 9



NOTES:

1. ALL SIGNS SHOWN SHALL CONFORM TO FEDERAL ACCESSIBILITY SPECIFICATIONS.
2. ALL SIGNS SHOWN SHALL BE REFLECTORIZED TO SHOW THE SAME COLOR BY NIGHT AS BY DAY.
3. ALL SIGNS SHALL BE SECURELY MOUNTED GALVANIZED STEEL CHANNEL POSTS.
4. INSTALL QUANTITY AND AT LOCATIONS REQUIRED BY CODE AND/OR AS INDICATED ON DRAWINGS. CONFIRM ALL HANDICAPPED SIGNAGE CODES.

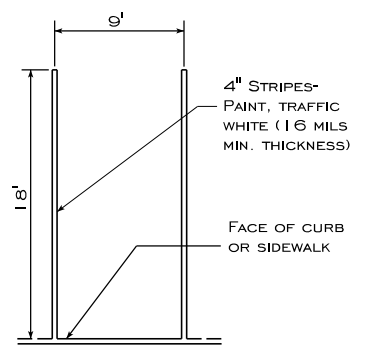
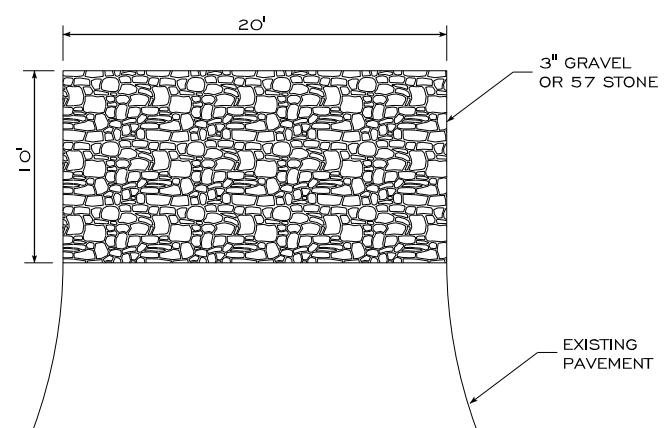


NOTE:
16" SOD STRIP REQUIRED ADJACENT TO ALL ROAD WORK

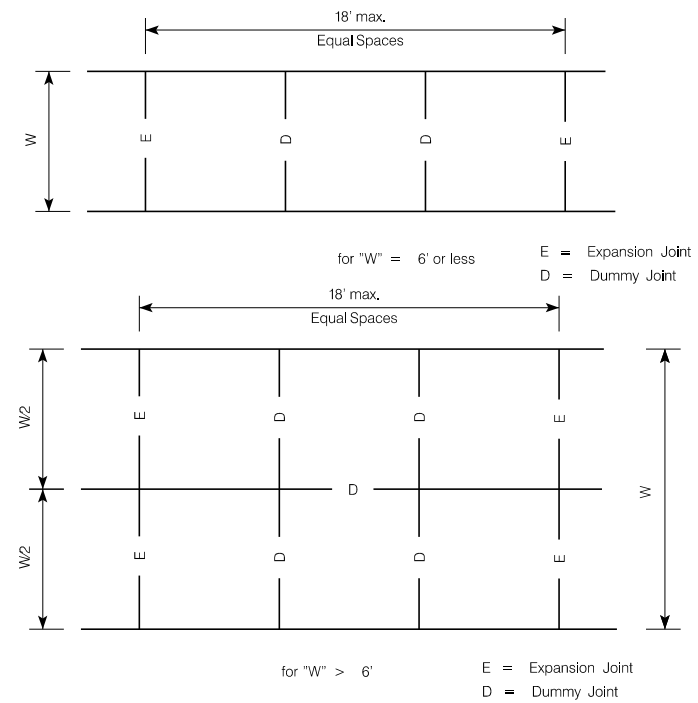
TYPICAL DISABLED PARKING

ACCESSIBLE PARKING SIGN DETAIL

TYPICAL PAVEMENT SECTION - ALL DRIVEWAYS



CONCRETE SIDEWALK
3000 PSI CONCRETE
4" THICK TYP.
PER NASSAU COUNTY
STANDARDS



TEMPORARY CONSTRUCTION ENTRANCE DETAIL

STRIPING DETAIL

SIDEWALK JOINT LOCATION DETAILS

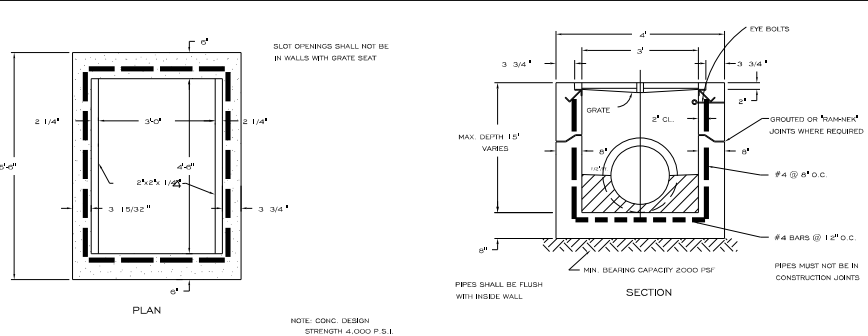
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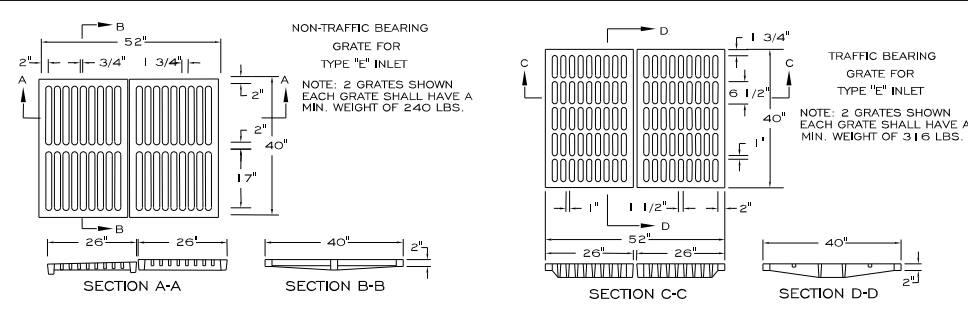
Robinson
CONSTRUCTION PLANS FOR:
Robinson 24 HR
Veterinary Hospital

MISCELLANEOUS DETAILS

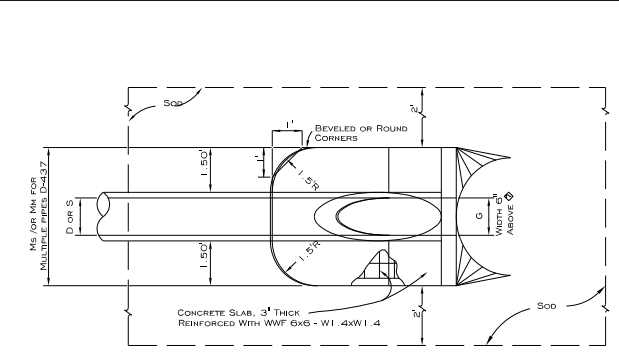
SHEET NO.
10



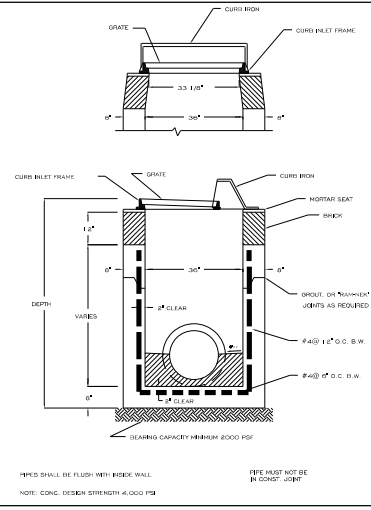
STORM SEWER TYPE "E" INLET



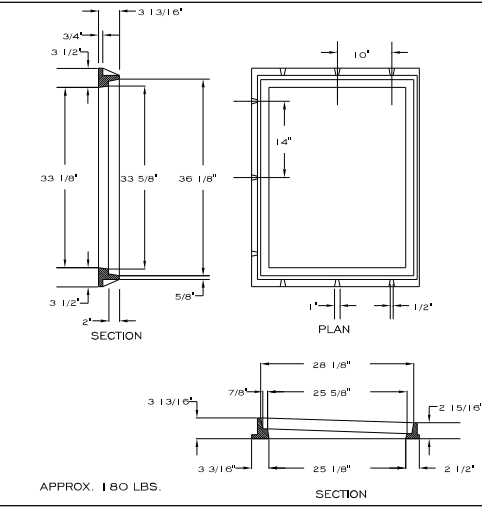
GRATE DETAIL FOR TYPE "E" INLET



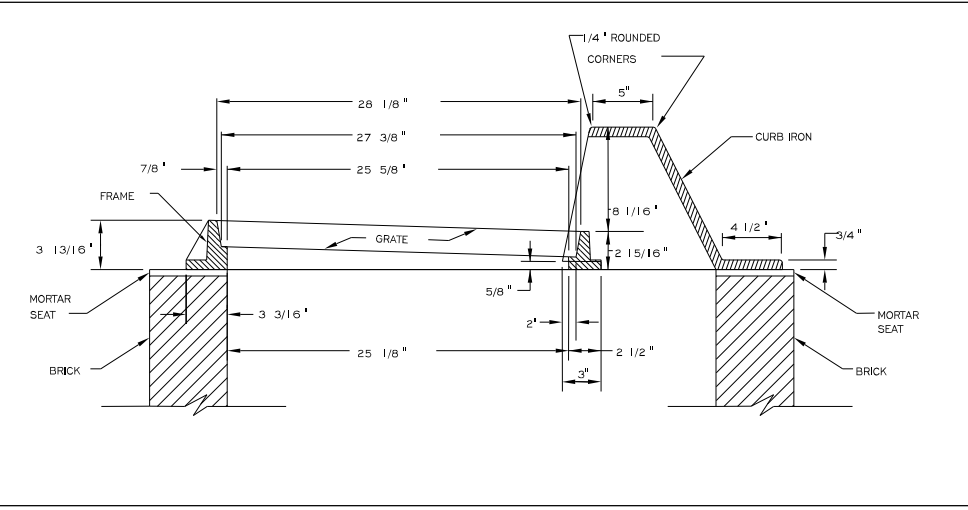
TOP VIEW - SINGLE PIPE



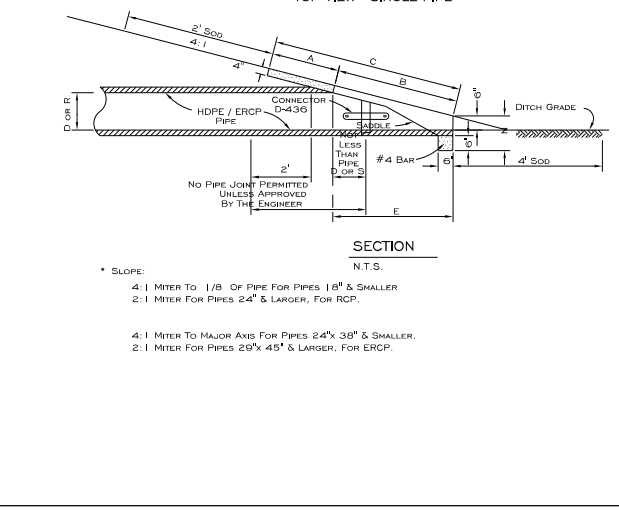
36" CURB INLET



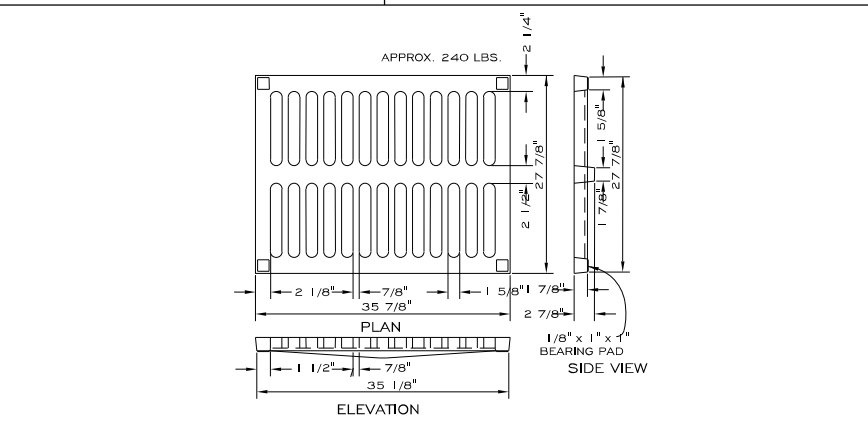
CURB INLET FRAME



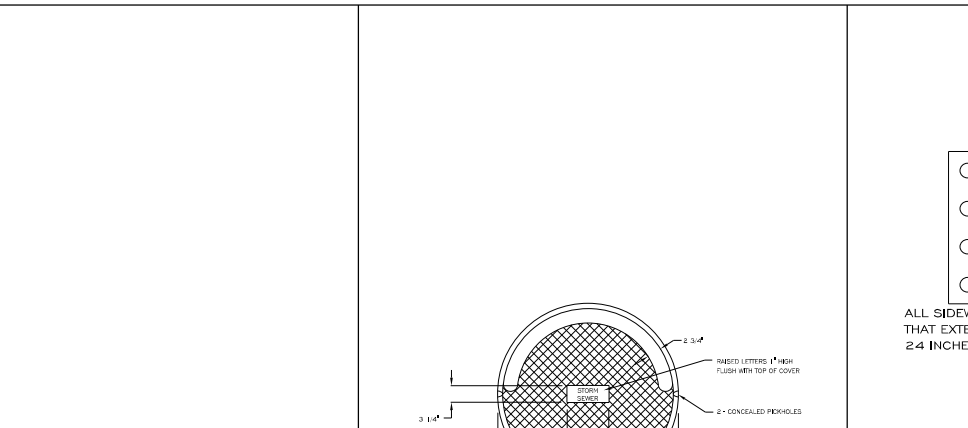
CURB IRON WITH GRATE & FRAME



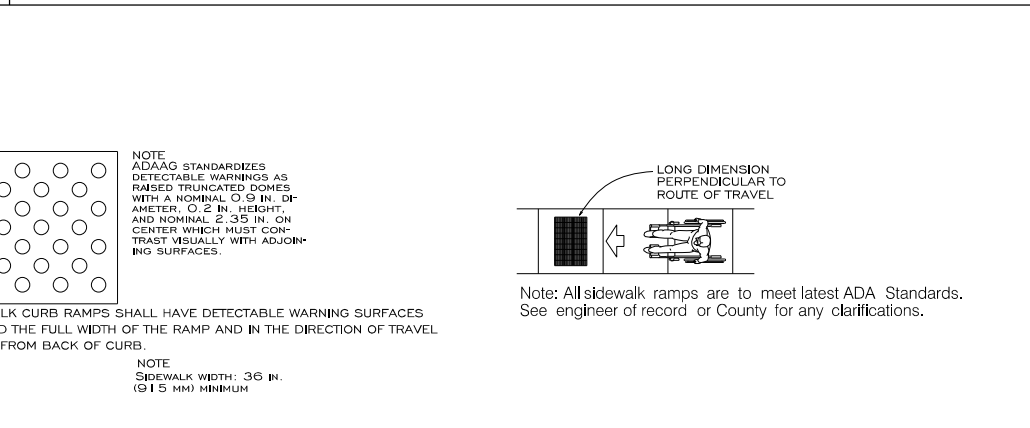
MITERED END SECTION FOR R.C.P. CROSS DRAIN TYPE B



STORM SEWER INLET GRATE



MIAMI CURB AND GUTTER

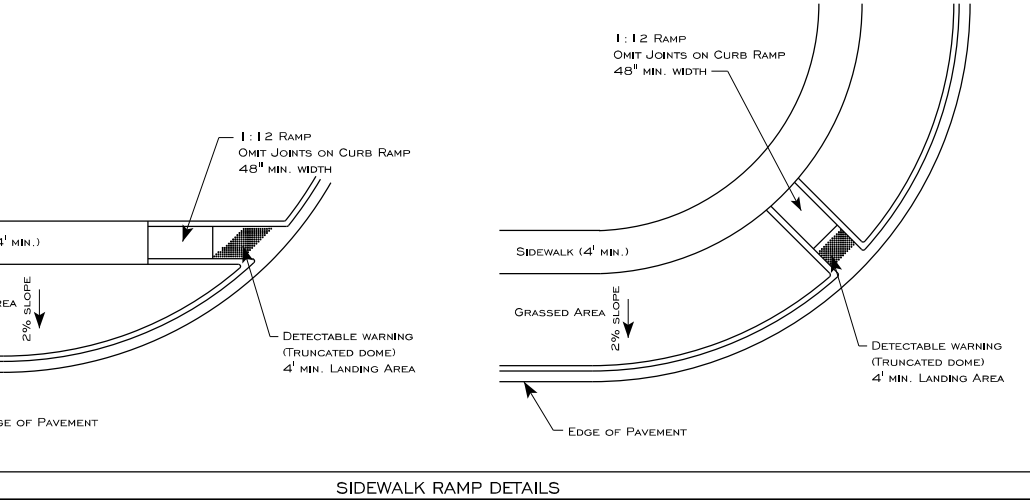


MANHOLE FRAME AND COVER

TABLES OF DIMENSION FOR MITERED END SECTIONS TYPE B

DIMENSIONS FOR HDPE									
D	X	A	B	C	E	F	G	Ms	N
15"	2.56'	2.27'	4.00'	6.36'	4.03'	8'	1.22'	4.63'	1.19'
18"	2.83'	2.36'	5.12'	7.48'	5.03'	9'	1.41'	4.92'	1.21'
24"	3.42'	2.53'	7.16'	9.71'	7.03'	11'	1.73'	5.50'	1.28'
30"	4.25'	2.70'	9.25'	11.95'	9.03'	13'	2.00'	6.08'	1.28'
36"	5.08'	2.87'	11.31'	14.18'	11.03'	15'	2.24'	6.67'	1.33'
42"	6.00'	3.05'	13.37'	16.42'	13.03'	17'	2.45'	7.25'	1.38'
48"	6.75'	3.22'	15.43'	18.65'	15.03'	19'	2.63'	7.83'	1.42'
54"	7.67'	3.39'	17.49'	20.89'	17.03'	21'	2.83'	8.42'	1.46'
60"	8.50'	3.56'	19.55'	23.11'	19.03'	23'	3.00'	9.00'	1.50'

6.42' 6.25' DIMENSIONS PERMITTED TO ALLOW USE OF 8' STANDARD PIPE LENGTHS.
10.40' 10.10' DIMENSIONS PERMITTED TO ALLOW USE OF 12' STANDARD PIPE LENGTHS.
CONCRETE SLAB SHALL BE DEEPENED TO FROM BRIDGE ACROSS CROWN OF PIPE. SEE SECTION.



SIDEWALK RAMP DETAILS

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

Engineer of Record:
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Robinson
 CONSTRUCTION PLANS FOR:
**Robinson 24 HR
 Veterinary Hospital**

MISCELLANEOUS DETAILS

SHEET NO.
 11

Stormwater Drainage Notes:

1. All stormwater drainage facilities within Public Right-of-Way and paved areas, including Nassau County Right-of-Way, turn lanes, residential roadways, drive aisles for multi-family developments, and major drive aisles for commercial developments shall be laser profiled per FDOT Section 430.
2. A builder cannot modify the County's storm water management system including the pipes, inlets, area drains, ditches and related elements typically within the street or within a drainage easement without the prior written approval of the County Engineer or designee.
3. Drainage easements and ditches should remain free of stockpiled soil, sediment, mud, construction materials/waste, et cetera at all times. Positive stormwater flow must be maintained throughout construction.
4. The contractor shall temporarily or permanently stabilize bare soil areas and soil stockpiles when the area is inactive for fourteen days or more or has reached finished grade.
5. Per Ordinance 99-17 Section 11.11.5.4, all gravity flow pipe installations shall have a soil tight joint performance unless specific site factors warrant watertight joint performance.
6. Per Ordinance 99-17 Section 10.6.5.1, immediately install additional Erosion Protection Sediment Control measures if sediment is leaving your site. Failure to contain sediment to your site may result in delayed inspections, notices of violation, citations, fines, penalties, and/or stop work orders.
7. Per 99-17 Section 10.1.2.a-e, stormwater management for a project shall not have adverse effects on adjacent properties, downstream structures, or rights of other landowners.

Paving Notes:

1. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 12.2 and 12.4, a construction bond and 26-month maintenance bond will be required for all work within Nassau County Right-of-Way.
2. A pre-pave meeting is required prior to any paving operations within Nassau County ROW, residential subdivisions, or multi-family developments.
3. Approved mix designs shall be provided to Nassau County Construction Inspector 48 hours prior to pre-pave meeting or placement of concrete.

4. Contractor is required to have a Certified QC Asphalt Level II Technician during any asphalt operations within Nassau County ROW, residential subdivision, or multi-family developments.
5. All bases shall be primed in accordance with Ordinance 99-17 Section 11.5.2.3, Nassau County Standard Details, and FDOT Standard Specifications.
6. Signage and pavement markings shall be in compliance with Nassau County Standards, Manual on Uniform Traffic Control Devices (MUTCD), and FDOT Standard Plans.
7. Maintenance of Traffic (MOT) shall be in compliance with FDOT Standard Index 600 Series.
8. All work, materials, and testing performed within Nassau County right-of-way and single-family/multi-family developments shall be in accordance with the current revision of Nassau County's Ordinance 99-17 and all current Nassau County Standard Details.
9. Per Ordinance 99-17 Section 11.9.2, all pavement markings within Nassau County ROW shall be lead free thermoplastic meeting Nassau County and FDOT Standard Specification Latest Edition.
10. Removing pavement markings within Nassau County ROW shall be:
 - a. Grinding or hydro-blasting on weathered asphalt surfaces.
 - b. Hydro-blasting only on new asphalt surfaces.
 - c. Paint Blackout is prohibited.
11. Per Ordinance 99-17 Section 8.5.5, any damage to pavement resulting from construction or pavement marking removal within Public ROW not planned as part of the project shall be milled and overlaid for entire width of roadway and length of damage plus 50' in each direction.
12. All underground utilities, or appropriate conduit sleeves, that are to be installed under pavement must be installed prior to preparation of the subgrade for pavement.
13. Single Vertical Joints in roadway construction shall be avoided in Nassau County Right-of-Way using Nassau County Standard Detail #26.
14. All drainage structures shall have traffic bearing grates that meet or exceed the rating for the facilities expected traffic.
15. All concrete shall be a minimum of 3000 psi within Public Right-of-Way.

ROADWAY AND DRAINAGE STANDARDS
NASSAU COUNTY
ENGINEERING SERVICES DEPARTMENT

REVISION DATES

**STORMWATER DRAINAGE &
PAVING NOTES**

NOTE SHEET: 2

DWG:

ISSUED: 12/09/2020