

WOOD BRIDGE ESTATES

A PORTION OF SECTION 29, TOWNSHIP 2 NORTH, RANGE 28 EAST, NASSAU COUNTY, FLORIDA

OFFICIAL RECORDS BOOK_____ PAGE_____

SHEET 1 OF 2 SHEETS

CAPTION:

A PORTION OF GOVERNMENT LOTS 3 AND 4, SECTION 29, TOWNSHIP 2 NORTH, RANGE 28 EAST, NASSAU COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A POINT WHERE THE WESTERLY LINE OF SECTION 43, TOWNSHIP AND RANGE AFOREMENTIONED INTERSECTS WITH THE EASTERLY LINE OF SECTION 29 AFOREMENTIONED; THENCE SOUTH 00°26'50" EAST, ALONG THE EASTERLY LINE OF SAID SECTION 29, A DISTANCE OF 264.40 FEET; THENCE SOUTH 89°21'50" WEST A DISTANCE OF 443.03 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89°21'50" WEST A DISTANCE OF 794.67 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 107 (A 66 FOOT RIGHT-OF-WAY); THENCE NORTH 04°40'40" WEST, ALONG SAID EASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 585.03 FEET; THENCE NORTH 88°52'00" EAST A DISTANCE OF 794.21 FEET; THENCE SOUTH 04°40'40" EAST A DISTANCE OF 591.94 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THAT PORTION KNOWN AS FRANK WARD ROAD RECORDED IN OFFICIAL RECORDS BOOK 1025, PAGES 643 & 644, OF THE PUBLIC RECORDS OF NASSAU COUNTY, FLORIDA.

COUNTY HEALTH CERTIFICATE

THIS IS TO CERTIFY THAT I HAVE REVIEWED THE ABOVE PLAT THIS _____ DAY OF _____, A.D. 2021, AND THESE LOTS ARE APPROVED TO BE REVIEWED ON AN INDIVIDUAL LOT BASIS ACCORDING TO F.A.C. 62-550, 62-555 62-560 AND F.A.C. 64E-6.

COUNTY HEALTH DEPARTMENT

COMMISSION APPROVAL CERTIFICATE

EXAMINED AND APPROVED THIS _____ DAY OF _____, A.D. 2022 BY THE BOARD OF COUNTY COMMISSIONERS OF NASSAU COUNTY, FLORIDA.

COMMISSION CHAIRMAN

COUNTY TAX COLLECTOR CERTIFICATE

TAX IDENTIFICATION NUMBERS: 29-2N-28-0000-0003-0070

I, THE UNDERSIGNED, DO HEREBY AFFIRM THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO UNPAID REAL PROPERTY TAXES APPLICABLE TO THE LANDS SUBJECT TO THIS PLAT:

SIGNED THIS _____ DAY OF _____, A.D. 2022.

TAX COLLECTOR
NASSAU COUNTY, FLORIDA

COUNTY ENGINEER CERTIFICATE

THIS IS TO CERTIFY THAT THE ABOVE PLAT HAS BEEN EXAMINED AND APPROVED BY THE COUNTY ENGINEER OF NASSAU COUNTY, FLORIDA

THIS _____ DAY OF _____, A.D. 2022.

COUNTY ENGINEER

CERTIFICATE OF APPROVAL BY COUNTY ATTORNEY

APPROVED FOR THE RECORD, THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN EXAMINED AND APPROVED BY THE NASSAU COUNTY ATTORNEY, THIS _____ DAY OF _____, A.D. 2022

DENISE C. MAY, ATTORNEY
FLORIDA BAR NO. 105372

CLERK'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT HAS BEEN EXAMINED AND THAT IT COMPLIES IN FORM WITH CHAPTER 177.061, FLORIDA STATUTES, AND IS FILED FOR RECORD IN OFFICIAL RECORDS BOOK _____, PAGE _____ OF THE PUBLIC RECORDS OF NASSAU COUNTY, FLORIDA. THIS _____ DAY OF _____, A.D. 2022

CLERK OF THE CIRCUIT COURT

ZONING CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT HAS BEEN EXAMINED BY ME AND IS IN COMPLIANCE WITH THE ZONING RULES AND REGULATIONS OF NASSAU COUNTY, FLORIDA, CURRENTLY IN EFFECT.

THIS _____ DAY OF _____, 2022.

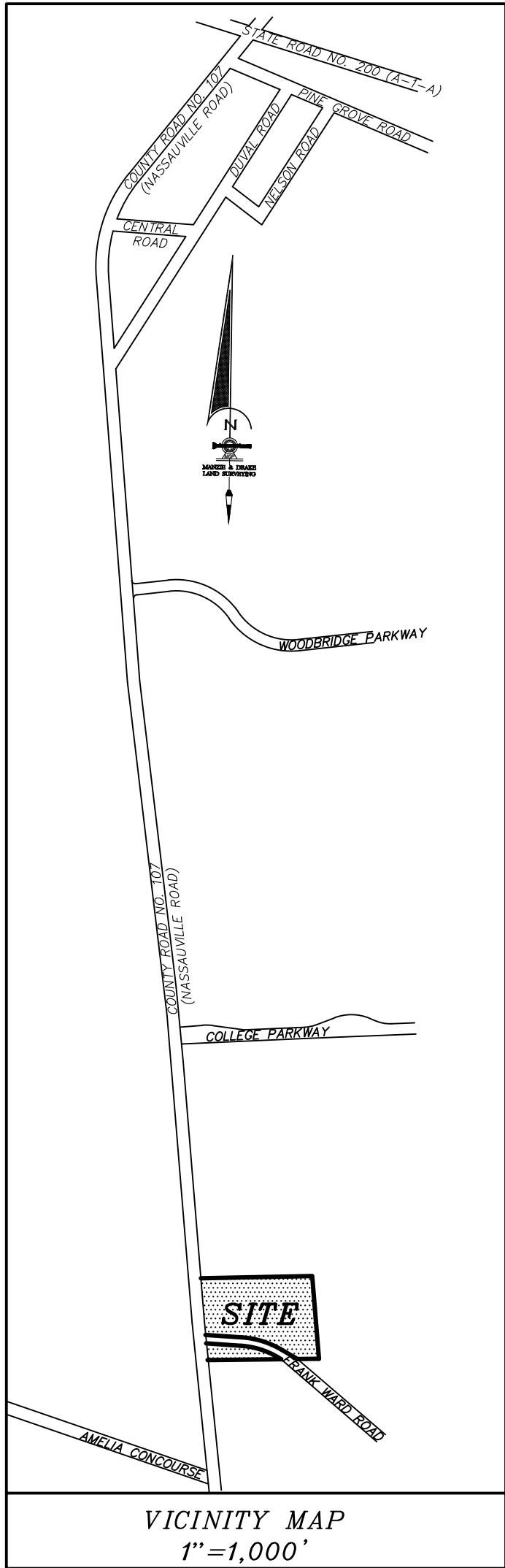
COUNTY PLANNER

CHIEF OF FIRE-RESCUE CERTIFICATE

THIS IS TO CERTIFY THAT THE ABOVE PLAT HAS BEEN APPROVED BY THE CHIEF OF FIRE-RESCUE OF NASSAU COUNTY, FLORIDA

THIS _____ DAY OF _____, A.D. 2022.

CHIEF OF FIRE-RESCUE



SURVEYOR'S NOTES:

- 1.) ☐ DENOTES PERMANENT REFERENCE MONUMENT (P.R.M.) (5/8" IRON ROD & CAP) SET STAMPED "PRM LB 7039"
☒ DENOTES PERMANENT REFERENCE MONUMENT (P.R.M.) (5/8" IRON ROD & CAP) FOUND STAMPED "PRM LB 7039"
- 2.) 43,560 SF DENOTES LOT SQUARE FOOTAGE (GROSS & NET) (G&N)
- 3.) BEARINGS SHOWN HEREON ARE BASED ON N04°40'21"W FOR THE EASTERLY RIGHT-OF-WAY LINE OF OLD NASSAUVILLE ROAD. THE BEARING REFERENCE LINE IS INDICATED AS THUS (BR).
- 4.) GRID BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983/1990 (N.A.D. '83/'90)
- 5.) THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X" AS PER F.E.M.A. FLOOD INSURANCE RATE MAP, PANEL 12089C 0357 G & 12089C 0359 G, DATED 08/02/2017.
- 6.) "NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- 7.) ALL LOT LINES INTERSECTING CURVES ARE NON-RADIAL UNLESS OTHERWISE NOTED.
- 8.) NO FURTHER SUBDIVISION OF LOTS IS ALLOWED UNLESS SUCH SUBDIVISION CONFORMS TO NASSAU COUNTY SUBDIVISION REGULATIONS AND BE APPROVED BY THE NASSAU COUNTY BOARD OF COUNTY COMMISSIONERS.
- 9.) THE CURRENT ZONING FOR THE LANDS SHOWN ON THIS PLAT AS OF THE DATE OF RECORDING IS: RS-1.
- 10.) BUILDING SETBACK REQUIREMENTS FOR THIS SUBDIVISION ZONED "RS-1", ARE AS FOLLOWS:
FRONT: 30- FEET SIDE: 10- FEET REAR: 15- FEET
- 11.) THE LANDS SHOWN HEREON ARE LOCATED WITHIN STORM SURGE CATEGORY 3, AS SCALED FROM THE NASSAU COUNTY "STORM SURGE" MAP LOCATED ON THE NASSAU COUNTY PROPERTY APPRAISER'S GIS WEBSITE UNDER THE "PUBLIC SAFETY" SECTION (SCALED 04/20/2021).
- 12.) WETLANDS DELINEATED & FLAGGED BY PEACOCK CONSULTING GROUP, LLC (FIELD LOCATED ON 08/09/2021)
- 13.) TOTAL NUMBER OF LOTS: 5 / TOTAL NUMBER OF TRACTS: 3 / TOTAL ACREAGE: 9.85
- 14.) ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
- 15.) THE 10-FOOT LANDSCAPE TRACT REQUIRES TWO CANOPY AND THREE UNDERSTORY TREES PER 100 LINEAR FEET OF MORE THAN ONE SPECIES LISTED IN TABLES 37-1 OR 37-2 PER LAND DEVELOPMENT CODE SECTION 37.05 D.3. EXISTING TREES CAN BE RETAINED TO FULFILL THIS REQUIREMENT.
- 16.) BASED ON LOT SIZES, EACH SINGLE-FAMILY LOT IN WOOD BRIDGE ESTATES REQUIRES 6 TREES PER LAND DEVELOPMENT CODE SECTION 37.05 C (1). EXISTING TREES CAN BE RETAINED TO FULFILL THIS REQUIREMENT.
- 17.) PER ORDINANCE 99-17 SECTION 11.7.1, SIDEWALK IS REQUIRED ALONG COLLECTOR ROADWAYS. SIDEWALK SHALL BE CONSTRUCTED OR BONDED PRIOR TO PLAT RECORDING PER ORDINANCE 99-17 SECTION 11.7.6.
- 18.) UPLAND BUFFERS SHALL BE MAINTAINED IN THEIR NATURAL VEGETATED CONDITION. NATIVE VEGETATION REMOVED OR DESTROYED WITHIN THE UPLAND BUFFER IN VIOLATION OF NASSAU COUNTY COMPREHENSIVE PLAN POLICY 1.04A.02 SHALL BE RESTORED. THESE AREAS SHALL BE REPLANTED WITH COMPARABLE NATIVE VEGETATIVE SPECIES AS WERE REMOVED OR DESTROYED. NOXIOUS AND EXOTIC PLANT MATERIALS CAN BE REMOVED. DEAD VEGETATION CAN BE REMOVED. LIMBING CAN OCCUR WITHIN BUFFERS, PROVIDED THAT THE LIMBS TO BE REMOVED ARE LESS THAN THREE (3) INCHES IN DIAMETER.
- 19.) PER LDC 37.05 D.9.I, THOSE ONE- AND TWO FAMILY LOTS/BUILDING SITES ACCESSED FROM AN EXISTING PUBLIC STREET OR ROW AND (1) HAVE NO OTHER STREET OR ROW FRONTAGE, (2) HAVE NO OTHER MEANS OF VEHICULAR ACCESS, AND (3) THE FRONT OF THE HOME WILL FACE TOWARDS THE EXISTING PUBLIC STREET OR ROW. IN THIS SITUATION, THE AREA BETWEEN THE STREET OR ROW AND THE ONE- OR TWO- FAMILY HOME SHALL BE DEFINED AS THE ENHANCED LANDSCAPE AREA (ELA). WITHIN THE ELA, AT THE TIME OF HOME CONSTRUCTION, THE OWNER SHALL CAUSE TO BE PLANTED NO LESS THAN THE MINIMUM NUMBER OF TREES REQUIRED PURSUANT TO 37.05.D LDC AND, WHERE APPLICABLE, SEC. 37.06 LDC.
- 20.) PER 37.05.D.2 LDC, THE ELA REQUIRES THREE CANOPY AND THREE UNDERSTORY TREES PER 100 LINEAR FEET ALONG OLD NASSAUVILLE ROAD.

TITLE CERTIFICATION

I, _____ ON BEHALF OF AMELIA TITLE AGENCY, A TITLE INSURANCE COMPANY LICENSED IN FLORIDA, DO HEREBY CERTIFY THAT WE HAVE SEARCHED THE PUBLIC RECORDS OF NASSAU COUNTY, FLORIDA AS TO THE TITLE TO THE HEREON DESCRIBED PROPERTY AND WE HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY IS VESTED IN HS LAND VENTURES, LLC, THAT THE CURRENT TAXES HAVE BEEN PAID, THAT THE PROPERTY IS NOT ENCUMBERED BY ANY MORTGAGES OR OTHER ENCUMBRANCES OTHER THAN SHOWN HEREON AND THAT ALL EASEMENTS OF RECORD ARE SHOWN.

AMELIA TITLE AGENCY COMPANY REPRESENTATIVE

CERTIFICATE OF REVIEW BY COUNTY EMPLOYED / CONTRACTED SURVEYOR / MAPPER

I HEREBY CERTIFY THAT I HAVE REVIEWED THIS PLAT FOR CONFORMITY TO CHAPTER 177, F.S., AND THAT I AM EMPLOYED BY OR UNDER CONTRACT TO THE APPROPRIATE LOCAL GOVERNING BODY AND ACTING HERETO AS AN AGENT THEREOF. THIS LIMITED CERTIFICATION AS TO FACIAL CONFORMITY WITH THE REQUIREMENTS OF CHAPTER 177, F.S., IS NOT INTENDED TO BE AND SHOULD NOT BE CONSTRUED AS A CERTIFICATION OF THE ACCURACY OR QUALITY OF THE SURVEYING / MAPPING REFLECTED ON THIS PLAT.

SURVEYOR / MAPPER

DATE

CHARLES ROBERT LEE

FLORIDA REGISTRATION NO.: LS 5618

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS SURVEYED, PLATTED AND DESCRIBED IN THE CAPTION; THAT THE SURVEY WAS MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES; THAT THE SURVEY AND LEGAL DESCRIPTION ARE ACCURATE; THAT PERMANENT REFERENCE MONUMENTS (P.R.M.'s) HAVE BEEN SET ACCORDING TO CHAPTER 177.091 (7); AND THAT PERMANENT CONTROL POINTS (P.C.P.'s) WILL BE SET ACCORDING TO THE CHAPTER 177.091 (8); ALL ACCORDING TO THE LAWS OF THE STATE OF FLORIDA AND NASSAU COUNTY.

SIGNED THIS _____ DAY OF _____, A.D. 2022.

MICHAEL A. MANZIE, P.L.S.
FLORIDA CERTIFICATE No. 4069

MANZIE & DRAKE LAND SURVEYING
117 SOUTH 9TH STREET
FERNANDINA BEACH, FL 32034
CERTIFICATE OF AUTHORIZATION NUMBER "LB 7039"

ADOPTION AND DEDICATION

THIS IS TO CERTIFY THAT THE UNDERSIGNED, "HS LAND VENTURES, LLC" IS THE LAWFUL OWNERS OF THE LAND DESCRIBED IN THE CAPTION HEREON WHICH SHALL HEREAFTER BE KNOWN AS "WOOD BRIDGE ESTATES", AND THAT IT HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AND THAT THIS PLAT, MADE IN ACCORDANCE WITH SAID SURVEY IS HEREBY ADOPTED AS THE TRUE AND CORRECT PLAT OF SAID LAND.

IN WITNESS WHEREOF, OWNER HAS CAUSED THIS PLAT AND DEDICATION TO BE EXECUTED BY ITS DULY ELECTED OFFICERS ACTING BY AND WITH THE AUTHORITY OF THE BOARD OF DIRECTORS.

TRACT "A" & TRACT "B" (LANDSCAPE BUFFER TRACTS) ARE HEREBY DEDICATED TO WOOD BRIDGE ESTATES HOMEOWNERS ASSOCIATION AND REQUIRES A MAINTENANCE OBLIGATION OF THE OWNER OR A RESPONSIBLE PROPERTY OWNERS' ASSOCIATION

HS LAND VENTURES, LLC

WITNESS _____
VANN SIMMONS, MANAGER

PRINT OR TYPE NAME
WITNESS _____
WILLIAM HOWELL, MANAGER

STATE OF FLORIDA
COUNTY OF _____

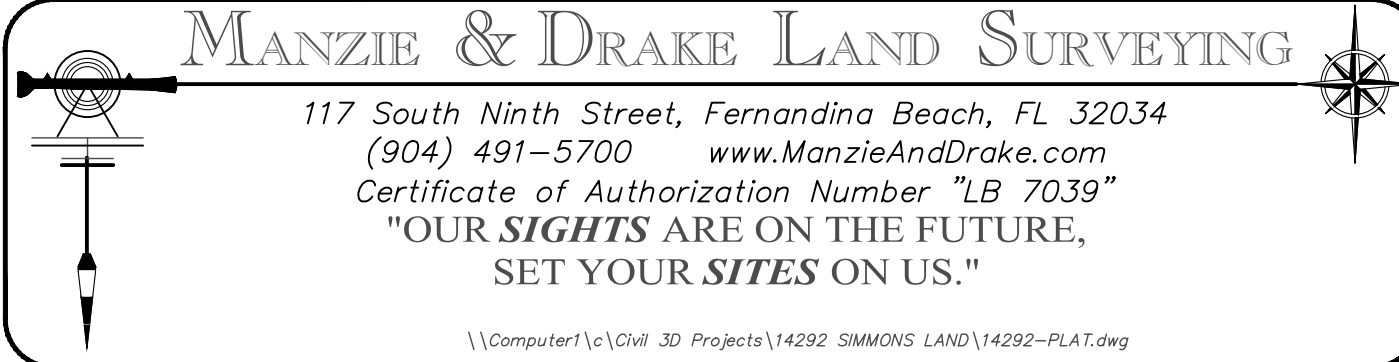
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF
☐ PHYSICAL PRESENCE OR ☐ ONLINE NOTARIZATION, THIS _____ DAY OF _____
2022 BY _____ AS _____

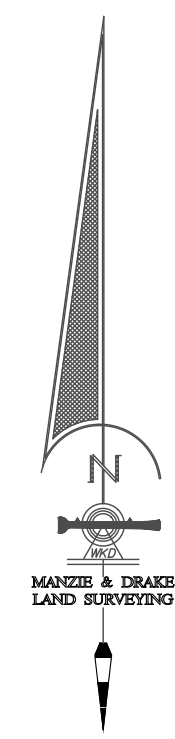
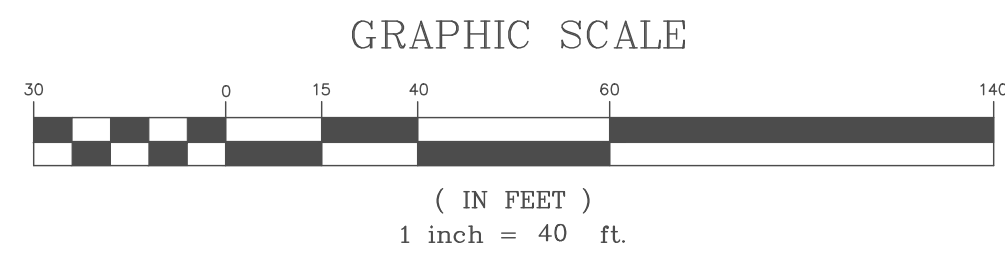
A _____, ON BEHALF OF _____
WHO PRODUCED _____ AS
IDENTIFICATION OR WHO IS PERSONALLY KNOWN.

NOTARY PUBLIC - STATE OF FLORIDA
PRINT NAME: _____
MY COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____

LEGEND

P.L.S. = PROFESSIONAL LAND SURVEYOR
P.I.N. = PARCEL IDENTIFICATION NUMBER
LB = LICENSED BUSINESS
SQ. FT. = SQUARE FEET
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
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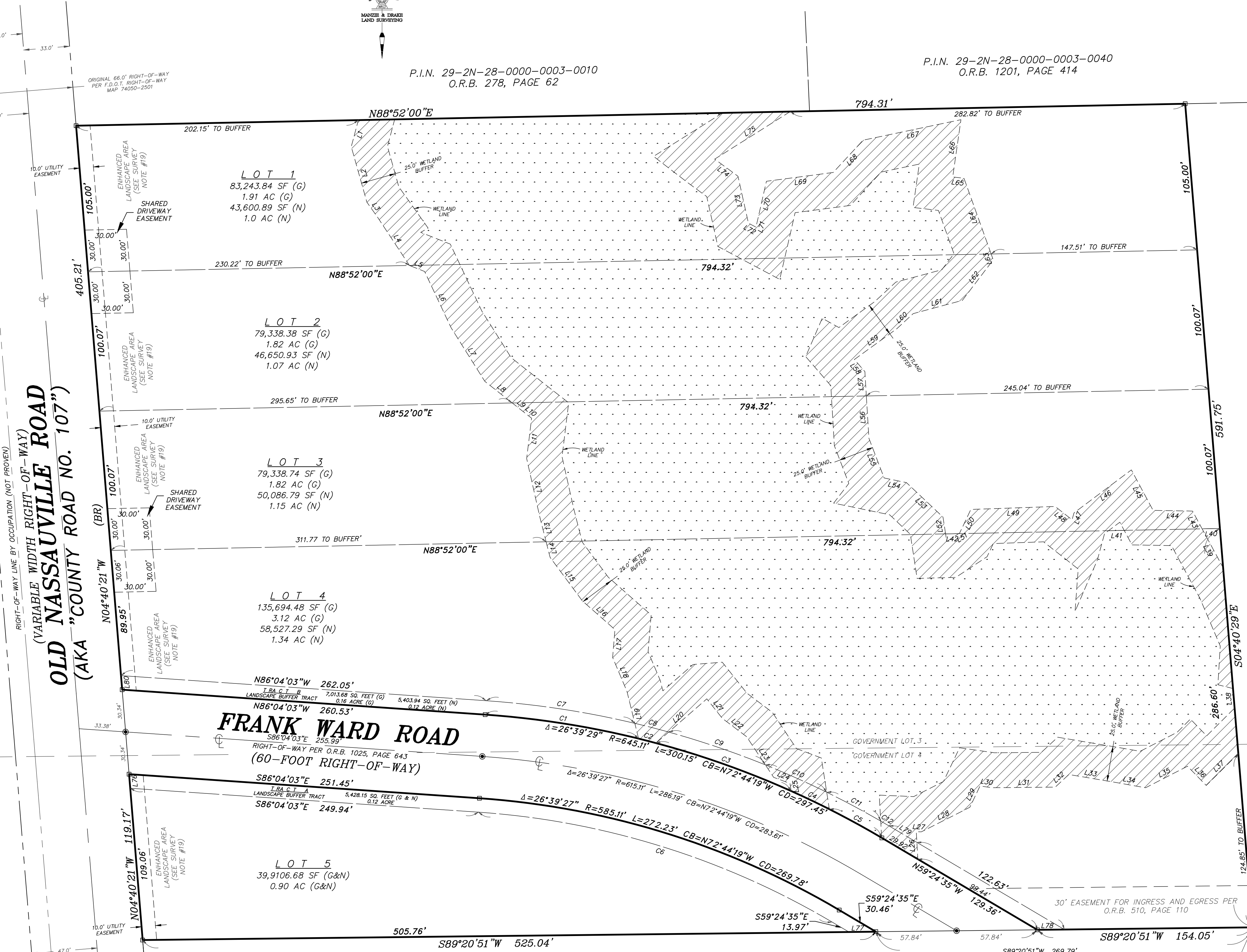
WOOD BRIDGE ESTATES

A PORTION OF SECTION 29, TOWNSHIP 2 NORTH, RANGE 28 EAST, NASSAU COUNTY, FLORIDA

LINE TABLE			LINE TABLE			LINE TABLE		
LINE	BEARING	LENGTH	LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	S14°34'49"W	19.71'	L21	S38°31'32"E	17.91'	L41	S88°52'00"W	11.23'
L2	S15°42'47"E	41.23'	L22	S52°58'53"E	21.71'	L42	S88°52'00"W	9.38'
L3	S35°23'14"E	13.06'	L23	S33°38'39"E	34.96'	L43	N28°22'45"W	14.44'
L4	S33°28'26"E	41.62'	L24	S69°20'40"E	12.51'	L44	N88°56'21"W	28.25'
L5	S68°22'01"E	11.65'	L25	S8°51'19"E	5.46'	L45	N28°3'50"W	32.89'
L6	S25°12'06"E	44.54'	L26	N3°55'56"W	19.74'	L46	S53°07'08"W	51.39'
L7	S32°10'42"E	45.33'	L27	S8°34'31"E	3.62'	L47	S15°10'25"W	5.07'
L8	S51°44'06"E	25.01'	L28	N6°30'51"E	38.96'	L48	N51°49'53"W	15.44'
L9	S51°44'06"E	11.11'	L29	N25°31'48"E	16.89'	L49	S8°59'12"W	60.38'
L10	S52°08'43"E	6.53'	L30	S81°47'59"E	8.82'	L50	S25°33'36"W	18.65'
L11	S6°58'49"W	29.15'	L31	N89°26'48"E	45.15'	L51	S56°33'27"W	0.87'
L12	S12°41'37"E	42.75'	L32	N47°07'25"E	13.28'	L52	N8°44'48"W	12.20'
L13	S14°14'43"E	18.46'	L33	S80°24'05"E	30.72'	L53	N46°42'05"W	35.98'
L14	S14°14'43"E	11.43'	L34	S78°58'44"E	25.04'	L54	N78°14'35"W	16.32'
L15	S36°31'54"E	38.87'	L35	N62°49'29"E	33.75'	L55	N20°56'25"W	30.44'
L16	S48°38'27"E	31.06'	L36	S44°11'02"E	19.20'	L56	N32°27'26"W	30.35'
L17	S44°53'37"E	20.01'	L37	N45°13'58"E	32.38'	L57	N32°27'26"W	17.45'
L18	S22°51'34"E	26.58'	L38	S4°40'29"E	14.10'	L58	N40°51'47"W	11.51'
L19	S13°46'58"E	34.64'	L39	N28°22'45"W	31.64'	L59	N54°04'33"E	37.51'
L20	N48°57'35"E	48.23'	L40	S88°52'00"W	12.73'	L60	N47°20'37"E	15.99'

LINE TABLE			CURVE TABLE					
LINE	BEARING	LENGTH	CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
L61	N74°56'30"E	36.42'	C1	111.31'	645.11'	9°53'09"	N81°07'29"W	111.17'
L62	N37°18'51"E	36.54'	C2	12.89'	645.11'	1°08'40"	N75°36'34"W	12.89'
L63	N19°44'35"W	4.45'	C3	102.80'	645.11'	9°07'49"	N70°28'20"W	102.69'
L64	N19°44'35"W	57.60'	C4	30.27'	645.11'	2°41'20"	N64°33'46"W	30.27'
L65	N83°20'04"W	8.12'	C5	42.70'	645.11'	3°47'33"	N61°19'19"W	42.69'
L66	N81°09'19"E	41.41'	C6	267.58'	575.11'	26°39'27"	N72°14'19"W	265.17'
L67	S78°09'57"W	71.55'	C7	107.81'	655.11'	9°25'46"	N81°21'10"W	107.69'
L68	S42°49'46"W	31.54'	C8	25.02'	655.11'	2°11'19"	N75°32'58"W	25.02'
L69	S82°30'23"W	48.23'	C9	73.16'	655.11'	6°23'54"	N71°51'01"W	73.12'
L70	S12°47'48"W	31.86'	C10	48.11'	655.11'	4°12'22"	N65°56'51"W	48.10'
L71	S13°01'44"W	1.85'	C11	43.83'	655.11'	3°50'01"	N61°55'37"W	43.82'
L72	N61°56'58"W	6.14'	C12	6.87'	655.11'	0°36'02"	N59°42'35"W	6.87'
L73	N12°33'00"W	34.42'						
L74	N53°42'27"W	20.68'						
L75	N57°48'12"E	63.94'						
L76	N4°40'21"W	10.11'						
L77	N89°20'51"E	19.28'						
L78	N89°20'51"E	19.28'						
L79	S59°24'35"E	23.21'						
L80	S4°40'21"E	10.11'						

RIGHT-OF-WAY LINE BY OCCUPATION (NOT PROVEN)
(VARIABLE WIDTH RIGHT-OF-WAY)
OLD NASSAUVILLE ROAD
(AKA "COUNTY ROAD NO. 107")



LEGEND
P.L.S. = PROFESSIONAL LAND SURVEYOR
P.I.N. = PARCEL IDENTIFICATION NUMBER
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SQ. FT. = SQUARE FEET
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
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P.I.N. 29-2N-28-0000-0004-0000
O.R.B. 2472, PAGE 297

P.I.N. 29-2N-28-0000-0004-0000
O.R.B. 2472, PAGE 297

P.I.N. 29-2N-28-0000-0003-0050
O.R.B. 510, PAGE 1110

MANZIE & DRAKE LAND SURVEYING
117 South Ninth Street, Fernandina Beach, FL 32034
(904) 491-5700 www.ManzieAndDrake.com
Certificate of Authorization Number "LB 7039"
"OUR SIGHTS ARE ON THE FUTURE,
SET YOUR SITES ON US."

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