WILDLIGHT PDP #3 PARCEL 6

NASSAU COUNTY, FLORIDA

FOR

PULTE HOME COMPANY, LLC

12724 GRAN BAY PARKWAY W.
JACKSONVILLE, FLORIDA 32258

LOCATION MAP
N.T.S.

OWNER:	WILDLIGHT WILDLIGHT PDP #3 - PARCEL 7 WILDLIGHT, FLORIDA 32097
DEVELOPER:	WILDLIGHT 1 RAYONIER WAY WILDLIGHT, FLORIDA 32097 386-931-9662
ENGINEER:	ENGLAND-THIMS & MILLER, INC 14775 OLD ST. AUGUSTINE RD. JACKSONVILLE, FL 32258 904-285-3103 ATTN: NEAL J.O. MILLIGAN, P.E.
SURVEYOR	AERIAL CARTOGRAPHERS OF AMERICA, INC. ADDRESS CITY, STATE ZIP CODE PHONE
SURVEYOR	L. D. BRADLEY SURVEYORS 510 S. 5TH ST. MCCLENNY, FL 32063 (904)786-8400

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England-Thims & Miller, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8990
FAX: (904) 646-9485
CA - 00002584 LC - 0000316

DATE: OCTOBER 2022
REVISED: DECEMBER 2022

DRAWING INDEX

PDF SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE	REVISION
1	1A	COVER SHEET	
2	1B	SIGNATURE SHEET	
3	2	GENERAL NOTES AND LEGEND	
4	2A	GENERAL NOTES	
5	3	MASTER SITE PLAN	
6	3A	MASTER SITE PLAN PARCELS 6 AND 7	
7	3B	MASTER SITE PLAN PARCEL 6	
8-17	4A-4J	GEOMETRY PLAN	
18	4K	ROUNDABOUT GEOMETRY PLAN	
19	5	PRE-DEVELOPMENT DRAINAGE PLAN	
20	6	POST-DEVELOPMENT DRAINAGE PLAN	
21	6A	CONSTRUCTION PHASING PLAN	
22-31	7A-7J	PAVING AND DRAINAGE PLAN	
~~32-41~~	~~8A-8J~~	~~NON-POTABLE WATER PLAN~~	
~~42~~	~~9~~	~~MASTER UTILITY PLAN~~	
~~43-53~~	~~10A-10K~~	~~WATER AND SEWER PLAN~~	
54-56	11A-11C	SLEEVE PLAN	
57-63	12A-12F	ROADWAY PROFILE	
~~64-69~~	~~13A-13G~~	~~PAVING AND DRAINAGE DETAILS~~	
~~70~~	~~14~~	~~JEA GENERAL NOTES~~	
~~71-76~~	~~15A-15F~~	~~JEA STANDARD WATER AND REclAIMED DETAILS~~	
~~77-81~~	~~16A-16E~~	~~JEA STANDARD SANITARY SEWER DETAILS~~	
~~82~~	~~17~~	~~RESTRAINT JOINT DETAILS~~	
~~83~~	~~18A~~	~~JEA STANDARD CLASS ONE PUMP STATION - DATA~~	
~~84~~	~~18B~~	~~JEA STANDARD CLASS ONE PUMP STATION - SITE PLAN~~	
~~85~~	~~18C~~	~~JEA STANDARD PUMP STATION LANDSCAPE PLAN~~	
86-88	18D-18F	JEA PUMP STATION DETAILS	
89	19	SEDIMENT AND EROSION CONTROL PLAN	
90	20	SEDIMENT AND EROSION CONTROL DETAILS	
91	21	STORMWATER POLLUTION PREVENTION PLAN	
92	22	CONTRACTOR CERTIFICATIONS	
93	23	MAINTENANCE OF TRAFFIC	
94	LC-00	LANDSCAPE COVER SHEET	
95	LC-01	LANDSCAPE CODE SUMMARY	
96-105	LC-03-LC-11	LANDSCAPE PLAN	
106	LC-12	LANDSCAPE SPECIFICATIONS AND DETAILS	
107	LC-13	LANDSCAPE CODE CALCULATIONS AND NOTES	

VERTICAL DATUM USED FOR THIS PROJECT: NAVD 1988

JEA AVAILABILTY 2020-2433

PLANS ARE DESIGNED UNDER 2022 JEA DESIGN STANDARDS

PLANS PREPARED UNDER THE DIRECTION OF
NEAL J.O. MILLIGAN
P.E. NUMBER 43051

REVISIONS

FILE NO.	19-238-24
DRAWN BY	A.C.D.
DESIGNED BY	N.J.O.M.
CHECKED BY	N.J.O.M.
DATE	OCTOBER 2022

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COVER SHEET

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
1A

PLOTTED: February 8, 2023 - 4:23 PM, JR Grover

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NEAL J. D. MILLIGAN
LICENSE
No. 45851
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

Digital Signature Neal J. D. Milligan 2023.02.10 11:38:10 - 05'00'

THE FLORIDA PROFESSIONAL ENGINEER NAMED HEREIN SHALL BE RESPONSIBLE FOR THE DRAWINGS LISTED IN THIS BOX IN ACCORDANCE WITH RULE 61G15-23-003, F.A.C. THESE SHEETS HAVE BEEN SIGNED AND SEALED USING A DIGITAL SIGNATURE BY: NEAL J.D. MILLIGAN P.E. NUMBER: 45851

ENGLAND-THIMS & MILLER, INC.
14775 OLD ST. AUGUSTINE ROAD
JACKSONVILLE, FLORIDA 32258
PHONE (904) 642-8990
CERTIFICATE OF AUTHORIZATION NUMBER: 00002584

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1	1A	COVER SHEET	
2	1B	SIGNATURE SHEET	
3	2	GENERAL NOTES AND LEGEND	
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6	3A	MASTER SITE PLAN PARCELS 4 AND 7	
8-17	4A-4J	GEOMETRY PLAN	
18	4K	ROUNDABOUT GEOMETRY PLAN	
19	5	PRE-DEVELOPMENT DRAINAGE PLAN	
20	6	POST-DEVELOPMENT DRAINAGE PLAN	
21	6A	CONSTRUCTION PHASING PLAN	
22-31	7A-7J	PAVING AND DRAINAGE PLAN	
32-41	8A-8J	NEIGHBORHOOD GRADING PLAN	
57-62	12A-12F	ROADWAY PROFILE	
63-89	13A-13G	PAVING AND DRAINAGE DETAILS	
89	19	SEDIMENT AND EROSION CONTROL PLAN	
90	20	SEDIMENT AND EROSION CONTROL DETAILS	
91	21	STORMWATER POLLUTION PREVENTION PLAN	
92	22	CONTRACTOR CERTIFICATIONS	

NICOLE D. BOLATETE
LICENSE
No. 74921
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

Digital Signature Nicole D. Bolatete, P.E. 2023.02.10 13:49:23 - 05'00'

THE FLORIDA PROFESSIONAL ENGINEER NAMED HEREIN SHALL BE RESPONSIBLE FOR THE DRAWINGS LISTED IN THIS BOX IN ACCORDANCE WITH RULE 61G15-23-003, F.A.C. THESE SHEETS HAVE BEEN SIGNED AND SEALED USING A DIGITAL SIGNATURE BY: NICOLE D BOLATETE P.E. NUMBER:74921

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DRAWING INDEX

PDF SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE	REVISION
42	9	MASTER UTILITY PLAN	
43-53	10A-10K	WATER AND SEWER PLAN	
54-56	11A-11C	SLEEVE PLAN	
57-62	12A-12F	ROADWAY PROFILE	
70	14	JEA GENERAL NOTES	
71-76	15A-15F	JEA STANDARD WATER AND RECLAIMED DETAILS	
77-81	16A-16E	JEA STANDARD SANITARY SEWER DETAILS	
82	17	RESTRAINT JOINT DETAILS	
83	18A	JEA STANDARD CLASS ONE PUMP STATION – DATA	
84	18B	JEA STANDARD CLASS ONE PUMP STATION – SITE PLAN	
85	18C	JEA STANDARD PUMP STATION LANDSCAPE PLAN	
86-88	18D-18F	JEA PUMP STATION DETAILS	

ADRIANN CLARICE LEBLANC
LICENSE
No. 87860
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

Adriann C LeBlanc 2023.02.10 14:10:03 - 05'00'

THE FLORIDA PROFESSIONAL ENGINEER NAMED HEREIN SHALL BE RESPONSIBLE FOR THE DRAWINGS IN THIS BOX IN ACCORDANCE WITH RULE 61G15-23-003, F.A.C. THESE SHEETS HAVE BEEN SIGNED AND SEALED USING A DIGITAL SIGNATURE BY: ADRIANN LEBLANC P.E. NUMBER: 87860

ENGLAND-THIMS & MILLER, INC.
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PDF SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE	REVISION
93	23	MAINTENANCE OF TRAFFIC	

REGISTERED LANDSCAPE ARCHITECT
DANIEL A. ASHWORTH, JR.
LA 6666630
STATE OF
FLORIDA

Digital Signature Daniel A. Ashworth, Jr., PLA 2023.02.10 11:44:14 - 05'00'

THE FLORIDA REGISTERED LANDSCAPE ARCHITECT NAMED HEREIN SHALL BE RESPONSIBLE FOR THE DRAWINGS LISTED IN THIS BOX. THESE SHEETS HAVE BEEN SIGNED AND SEALED USING A DIGITAL SIGNATURE BY:
DANIEL A. ASHWORTH, JR., PLA L.A. NUMBER: 6666630

ENGLAND-THIMS & MILLER, INC.
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CERTIFICATE OF AUTHORIZATION NUMBER: 00002584

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94	LC-00	LANDSCAPE COVER SHEET	
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PLANS PREPARED UNDER THE DIRECTION OF:
NEAL J.D. MILLIGAN
P.E. NUMBER: 45851

REVISIONS

T.W. NO.	19-238-04
DRAWN BY	A.C.D.
DESIGNED BY	N.J.D.M.
CHECKED BY	N.J.D.M.
DATE	OCTOBER 2022

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AEC - EBM LC: 0000016

SIGNATURE SHEET

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER
1B

PLOTTED February 16, 2023 - 10:39 AM, BY: A. Drew

GENERAL SITE NOTES:

1. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES TO HIS EMPLOYEES, AND FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH OSHA REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTOR'S BID.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING HIMSELF WITH THE NATURE AND THE EXTENT OF THE WORK AND LOCAL CONDITIONS, EITHER SURFACE OR SUB-SURFACE, WHICH MAY AFFECT THE WORK TO BE PERFORMED, AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THE CONSTRUCTION CONTRACT. THE CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA (811) FOR UTILITY LOCATES IN ACCORDANCE WITH STATE LAW PRIOR TO EXCAVATING. THE CONTRACTOR IS ALSO URGED TO TAKE COLOR PHOTOGRAPHS ALONG THE ROUTE OF OR WITHIN THE PROJECT TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND TO AID IN RESOLVING POSSIBLE FUTURE ISSUES THAT MAY OCCUR DUE TO THE CONSTRUCTION OF THE PROJECT.
3. THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING STRUCTURES, IMPROVEMENTS, UTILITIES, PROPERTY LINES, AND CONFIRM ALL PROPOSED DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION OR ORDERING ANY MATERIALS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A PERMANENT STAND OF SOD AND/OR GRASS PER NASSAU COUNTY STANDARDS AND MEETING THE NPDES FINAL STABILIZATION REQUIREMENTS.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EITHER CONDUCT ANY FIELD EXPLORATION OR ACQUIRE ANY GEOTECHNICAL ASSISTANCE REQUIRED TO ESTIMATE THE AMOUNT OF UNSUITABLE MATERIAL THAT WILL REQUIRE REMOVAL AND/OR TO ESTIMATE THE AMOUNT OF OFF SITE BORROW THAT WILL BE REQUIRED. FAILURE OF THE CONTRACTOR TO IDENTIFY/QUANTIFY THE AMOUNT OF UNSUITABLE MATERIAL TO BE REMOVED AND REPLACED DURING THE BID PROCESS WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THE CONSTRUCTION CONTRACT.
6. ALL MATERIALS AND WORKMANSHIP ARE TO BE WARRANTED BY THE CONTRACTOR TO THE OWNER AND NASSAU COUNTY FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER AND NASSAU COUNTY.
7. THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND IMPROVEMENTS SHOWN ON THE DRAWINGS IS BASED ON UNITED INFORMATION AND MAY NOT HAVE BEEN FIELD VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS AND FIELD VERIFY LOCATIONS OF EXISTING UTILITIES AND OTHER IMPROVEMENTS PRIOR TO COMMENCING ANY CONSTRUCTION. IF THE LOCATIONS SHOWN ARE CONTRARY TO THE ACTUAL LOCATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF THE DISCREPANCY. THIS DISCREPANCY SHOULD BE RESOLVED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS NEAR EXISTING UTILITIES AND IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR ANY DAMAGE, REPAIR OR PAY FOR ALL DAMAGE MADE TO EXISTING UTILITIES OR OTHER IMPROVEMENTS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES, INVERTS AND TYPE OF MATERIAL OF EXISTING UTILITIES TO WHICH HE SHALL CONNECT, AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
8. UNLESS DIRECTED OTHERWISE BY THE OWNER OR THE ENGINEER, THE CONTRACTOR WILL CONTRACT WITH AN INDEPENDENT TESTING LABORATORY TO PERFORM MATERIAL TESTING AND SOIL TESTING IN ACCORDANCE WITH COUNTY REQUIREMENTS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE REQUIRED FOR THE PROJECT INCLUDING NASSAU COUNTY RIGHT-OF-WAY PERMITS FOR WORK IN THE COUNTY RIGHT-OF-WAY OR EASEMENT. CONTRACTOR IS RESPONSIBLE FOR CONTROL OF SEDIMENTATION AND RUNOFF RESULTING FROM RAINFALL EVENTS DURING THE CONSTRUCTION OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH REGULATORY PERMITS ISSUED FOR THE PROJECT.
10. THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN COUNTY OR STATE RIGHT-OF-WAY WITH THE APPROPRIATE AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION & REPAIR.
11. IF DEWATERING CAPACITY REQUIRES A CONSUMPTIVE USE PERMIT (C.U.P.) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE ENGINEER FOR APPROVAL OF ALL DEWATERING OPERATIONS PRIOR TO COMMENCEMENT.

GENERAL SITE NOTES:

12. PRIOR TO ANY DISCHARGE OF GROUND WATER (DEWATERING) FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT TO WATERS OF THE STATE (INCLUDING, BUT NOT LIMITED TO, WETLANDS, SWALES AND MUNICIPAL STORM SEWERS), THE CONTRACTOR SHALL TEST THE EFFLUENT (WATER TO BE DISCHARGED) IN ACCORDANCE WITH RULE 62-621.300(2), F.A.C. IF THE TEST RESULTS OF THE EFFLUENT ARE BELOW THE SCREENING VALUES OF RULE 62-621.300(2), F.A.C., THE CONTRACTOR SHALL SUBMIT A SUMMARY OF THE PROPOSED CONSTRUCTION ACTIVITY AND THE TEST RESULTS TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION DISTRICT OFFICE, WITHIN ONE (1) WEEK AFTER DISCHARGE BEGINS. THE CONTRACTOR SHALL CONTINUE TO SAMPLE THE EFFLUENT AS REQUIRED THROUGHOUT THE PROJECT AND COMPLY WITH ALL CONDITIONS OF RULE 62-621.300(2), F.A.C. IF THE GROUND WATER EXCEEDS THE SCREENING VALUES OF RULE 62-621.300(2), F.A.C., THE CONTRACTOR SHALL COMPLY WITH OTHER APPLICABLE RULES AND REGULATIONS PRIOR TO DISCHARGE OF THE EFFLUENT (GROUND WATER) TO SURFACE WATERS OF THE STATE.
13. ALL AREAS SHOWN TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH NASSAU COUNTY STANDARDS AND SHALL BE FILLED WITH CLEAN STRUCTURAL FILL COMPACTED AND TESTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
14. CLEARING AND GRUBBING REQUIRED FOR ALL ROADWAY, UTILITIES, DITCHES, BERMS, RIGHTS-OF-WAYS AND EASEMENTS (INCLUDING ELECTRIC EASEMENTS) ARE INCLUDED IN THIS PROJECT.
15. ALL ACCESS EASEMENTS ARE TO BE STABILIZED AND DRIVABLE.
16. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR.
17. BURNING OF TREES, BRUSH AND OTHER MATERIAL SHALL BE APPROVED, PERMITTED AND COORDINATED WITH NASSAU COUNTY FIRE MARSHAL AND ALL OTHER PERMITTING AUTHORITIES BY THE CONTRACTOR.
18. UNSUITABLE MATERIALS UNDER UTILITY OR STORM PIPE, STRUCTURES, PAVEMENT, BUILDING PADS, OR HARDSCAPE ELEMENTS SHALL BE REMOVED AND REPLACED WITH SELECTED MATERIAL, PROPERLY COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
19. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT.
20. ALL UNDERGROUND UTILITIES TO BE INSTALLED UNDER PAVEMENT MUST BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT.
21. THE CONTRACTOR SHALL COORDINATE HIS CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
22. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL MATERIALS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASE OR CONSTRUCTION OF ANY UTILITY OR STORM PIPE OR STRUCTURE.
23. AUGER BORINGS PROVIDED BY ECS FLORIDA, LLC, DATED: 02/27/20.
24. FLOOD ZONE BASED UPON FEMA INSURANCE RATE MAPS PANEL NO. 12089C0155F, DATED: 12/17/2010.
25. FOR SEDIMENT AND EROSION CONTROL PLANS, DETAILS AND NOTES REFER TO DRAWINGS 18 & 20. CONTRACTOR TO COORDINATE WITH AUTHORITY FOR INSPECTIONS PRIOR TO CLEARING OPERATIONS.
26. ELEVATIONS ARE BASED ON NAVD 1988.
27. TOPOGRAPHIC INFORMATION BASED ON NORTH AMERICAN DATUM OF 1988 (NAVD88) AS DETERMINED BY AERIAL TOPOGRAPHY CREATED BY AERIAL CARTOGRAPHERS OF AMERICA, INC. AND PROVIDED BY RAYONIER AND SUPPLEMENTED BY L.B. BRADLEY SURVEYORS.
28. BOUNDARY INFORMATION PROVIDED BY L.B. BRADLEY.
29. ALL WORK AND MATERIALS SHALL BE IN COMPLETE ACCORDANCE WITH ALL RELATIVE SECTIONS OF "COUNTY STANDARD SPECIFICATIONS FOR NASSAU COUNTY, FLORIDA", (LATEST REVISION) AND ALL CURRENT COUNTY STANDARD DETAILS. THE WORK SHALL ALSO BE PERFORMED AND TESTED IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORT PROVIDED BY ECS FLORIDA, LLC, DATED: 02/27/20. IF MORE STRINGENT THAN COUNTY REQUIREMENTS.
30. A PRE-CONSTRUCTION MEETING WITH NASSAU COUNTY WILL BE REQUIRED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH NASSAU COUNTY ENGINEERING SERVICES AT (904) 530-6210 TO SETUP THE PRE-CONSTRUCTION MEETING AND INSPECTIONS.
31. FOR BOUNDARY, ROADWAY AND LOT GEOMETRY INFORMATION SEE PLAT.
32. PROJECT LOCATION:FLORIDA.
33. THESE PLANS WERE GENERATED UTILIZING AUTOCAD CIVIL 3D 2018.
34. THESE PLANS ARE PREPARED IN GENERAL COMPLIANCE WITH THE NASSAU COUNTY LAND DEVELOPMENT CODE, ADOPTED JANUARY 22, 2007.

PAVING AND DRAINAGE NOTES:

1. ALL DRAINAGE STRUCTURES TO HAVE TRAFFIC BEARING GRATES.
2. ALL DRAINAGE PIPE JOINTS ARE TO BE FILTER FABRIC WRAPPED.
3. ALL INVERTS IN DRAINAGE STRUCTURES TO BE PRECAST OR BRICK WITH LAYER OF MORTAR BETWEEN EACH LAYER OF BRICK, OR REDGI-MIX CONCRETE WITH #57 STONE.
4. ALL PIPE LENGTHS ARE SCALED DIMENSIONS. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM WITH COUNTY REQUIREMENTS AND SHALL BE CONSTRUCTED TO CONFORM WITH CURBING, PROPERTY LINES AND LOW POINTS AS SHOWN ON THE PLANS.
5. CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEAN AND FUNCTIONING PROPERLY AT TIME OF ACCEPTANCE.
6. "AS-BUILT" DRAWINGS - DRAINAGE. AS-BUILTS PROVIDED TO NASSAU COUNTY AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR. THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION AND SUBMITTAL OF "AS-BUILT" DRAWINGS IN ACCORDANCE WITH CURRENT NASSAU COUNTY STANDARDS AND SPECIFICATIONS AND SJRWMD REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROCESS THE AS-BUILT DRAWINGS FOR APPROVAL BY NASSAU COUNTY. IN ADDITION TO THE DRAINAGE SYSTEM THE "AS-BUILTS" SHALL SHOW THE ELEVATIONS AND LOCATION OF THE TOP OF BANK, WATER LEVEL, ANY POINTS OF CHANGE IN SLOPE, TOE OF SLOPE AND POND BOTTOM AT 100' MAXIMUM INTERVALS ALONG POND BANK FOR ALL POND CONSTRUCTION. ALL DIMENSIONS AND ELEVATIONS ON THE CONTROL STRUCTURE DETAILS SHALL BE SHOWN ON AS-BUILT DRAWINGS. ALL DEVIATIONS FROM PLANS SHALL BE CLEARLY INDICATED ON THE AS-BUILT DRAWINGS.
7. THE CONTRACTOR SHALL PROVIDE ACCESSIBLE CURB RAMPS AT ALL SIDEWALK AND CURB CONNECTIONS. RAMPS SHALL MEET ALL APPLICABLE ADA REQUIREMENTS.
8. FOR SPECIAL PAVING AND DRAINAGE DETAILS SEE DRAWING NOS: 13A-13D. FOR ALL STANDARD DETAILS SEE NASSAU COUNTY STANDARD SPECIFICATIONS AND DETAILS, LATEST REVISION.
9. UNDERDRAIN SHOWN HEREON IS THE MINIMUM REQUIRED BASED ON GEOTECHNICAL REPORT, PREPARED BY ECS FLORIDA, LLC, DATED: 02/27/20. FINAL DETERMINATION OF LIMITS OF UNDERDRAIN WILL BE MADE BASED ON TEST HOLE OBSERVATION AT TIME OF ROADWAY CONSTRUCTION.
10. ALL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING SILT FENCE, HAY BALES, AND FILTER FABRIC INSIDE DRAINAGE STRUCTURES SHALL BE REMOVED PRIOR TO FINAL INSPECTION, UNLESS OTHERWISE DIRECTED BY THE OWNER OR THE ENGINEER.
11. PAVEMENT MARKINGS SHOULD BE PLACED AS SHOWN ON THE PLANS AND DETAIL SHEETS.
12. ANY REQUIRED TEMPORARY MARKINGS MUST BE IN PLACE BEFORE OPENING LANES OF TRAFFIC. PAY ITEMS FOR TEMPORARY PAVEMENT MARKINGS ARE TO BE INCLUDED IN THE TABULATION OF QUANTITIES.
13. THE REMOVAL OF EXISTING PAVEMENT MARKINGS WILL BE CONSIDERED AN INCIDENTAL ITEM WITH NO ADDITIONAL COMPENSATION PROVIDED.
14. ALL PERMANENT PAVEMENT MARKINGS SHALL BE EXTRUDED THERMOPLASTIC AND MEET CURRENT NASSAU COUNTY SPECIFICATIONS AND/OR FDOT STANDARD SPECIFICATIONS, LATEST EDITION.
15. THERMOPLASTIC PAVEMENT MARKINGS ARE TO BE PLACED NO SOONER THAN 30 CALENDAR DAYS AFTER THE COMPLETION OF THE FINAL PAVEMENT LAYER.
16. A BITUMINOUS REFLECTIVE PAVEMENT MARKER (RPM) ADHESIVE MEETING CURRENT NASSAU COUNTY AND/OR FDOT SPECIFICATIONS SHALL BE USED ON ASPHALT ROADWAYS.
17. THE CONTRACTOR SHALL USE CLASS-B REFLECTIVE PAVEMENT MARKERS (RPM'S) INSTALLED TO MEET CURRENT NASSAU COUNTY SPECIFICATIONS AND/OR FDOT STANDARD SPECIFICATIONS.
18. REFLECTIVE PAVEMENT MARKERS THAT DO NOT CONFLICT WITH PERMANENT (THERMOPLASTIC) MARKINGS SHALL BE PLACED ON ALL PORTLAND CEMENT CONCRETE SURFACES IMMEDIATELY AFTER THE TEMPORARY PERMANENT STRIPING IS IN PLACE.
19. PAVEMENT MARKINGS REMOVAL:
   19.a. PAINT BLACKOUT METHOD OF PAVEMENT MARKINGS REMOVAL IS NOT ACCEPTED.
   19.b. GRINDING OR HYDRO BLAST METHODS SHALL BE USED ON WEATHERED ASPHALT SURFACES.
   19.c. REMOVAL ON NEW ASPHALT SURFACES SHALL BE BY HYDRO BLAST METHOD ONLY.
20. 48 HOURS PRIOR TO INSTALLING ANY PAVEMENT MARKINGS ON ANY NASSAU COUNTY ROADWAY OR STREET, THE CONTRACTOR SHALL CONTACT THE NASSAU COUNTY CONSTRUCTION INSPECTOR AT ENGINEERING SERVICES AT PHONE NUMBER (904) 530-6225.
21. IN THE EVENT OF A CONFLICT BETWEEN THE SPECIFICATIONS OF NASSAU COUNTY AND THE SPECIFICATIONS OF THE FDOT, NASSAU COUNTY WILL PREVAIL.
22. STORMWATER PIPES SHALL BE VIDEOED/LASER PROFILED PER FDOT SECTION 430 PRIOR TO FINAL INSPECTION.

WATER, REUSE, & SEWER REQUIREMENTS

1. ALL WATER, REUSE WATER, SANITARY SEWER AND STORM SEWER CONSTRUCTION SHALL BE ACCOMPLISHED BY AN UNDERGROUND UTILITY CONTRACTOR, LICENSED UNDER THE PROVISIONS OF CHAPTER 489 FLORIDA STATUTES. THE CONTRACTOR SHALL FURNISH A COPY OF THE CURRENT LICENSE AND QUALIFIERS TO THE DESIGN ENGINEER PRIOR TO START OF CONSTRUCTION. ALL WATER, REUSE WATER AND SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH JEA STANDARDS, DETAILS AND MATERIALS MANUAL (LATEST REVISION) UNLESS MORE STRINGENT STANDARDS ARE SPECIFIED.
2. FIRE PROTECTION MAINS (NON-JEA OWNED WATER SYSTEMS) SHALL BE C-900 PVC DR18 PIPE AND SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH NFPA REQUIREMENTS BY A FLORIDA LICENSED CONTRACTOR QUALIFIED TO INSTALL FIRE PROTECTION MAINS. LOCAL PERMITTING AND INSPECTION OF FIRE PROTECTION SYSTEM INSTALLATION, FLUSHING AND TESTING IS REQUIRED. CONTRACTOR IS RESPONSIBLE FOR LOCAL PERMIT, NOTICE, AND COMPLIANCE WITH PERMIT.
3. FINAL CONNECTION TO THE JEA SYSTEM MAY BE CONTINGENT UPON THE CONSTRUCTION, DEDICATION, AND FINAL ACCEPTANCE OF OFF-SITE SYSTEMS.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER (AND THE JEA IF REQUIRED) ON ALL STRUCTURES AND MATERIALS FOR REVIEW AND APPROVAL PRIOR TO PURCHASE OR FABRICATION OF ANY UTILITY PIPE OR STRUCTURE.
5. UNSUITABLE MATERIALS UNDER UTILITY PIPES AND STRUCTURES SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL, PROPERLY COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
6. MECHANICALLY RESTRAINED JOINTS ARE REQUIRED ON PRESSURE MAINS AT VALVES, FITTINGS AND DEAD ENDS IN ACCORDANCE WITH JEA STANDARDS.
7. CONTRACTOR SHALL FURNISH AND INSTALL LOCATE WIRING ON ALL PVC WATER MAINS, REUSE MAINS, FORCE MAINS, POLYETHYLENE AND PVC WATER SERVICES. INSTALLATION SHALL BE IN ACCORDANCE WITH JEA STANDARDS, DETAILS AND MATERIAL MANUAL, LATEST EDITION.
8. ALL POINTS OF CONNECTION FOR WATER, REUSE WATER AND SEWER MUST BE IN ACCORDANCE WITH THE AVAILABILITY RESPONSE FROM JEA.
9. F.D.E.P. PERMITS SUBMITTED THROUGH THE DEPARTMENT FOR PROCESSING SHALL BE IN CONFORMANCE WITH BOTH THE DESIGN PLANS AND THE WATER AND SEWER AVAILABILITY RESPONSE. ANY MINOR OR MAJOR DEVIATIONS BETWEEN THE PRELIMINARY DESIGN AND FINAL DESIGN SUBMITTAL SHALL REQUIRE REVISED F.D.E.P. PERMITS REFLECTING THESE CHANGES.
10. A JEA PRE-CONSTRUCTION CONFERENCE MUST BE HELD PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL CONTACT JEA AREA DEVELOPMENT PROJECT COORDINATOR: CHRIS BARRINGTON OR JEA DESIGNEE AT (904) 665-4081 TO SCHEDULE THIS CONFERENCE.
11. A TAP APPLICATION FEE IS REQUIRED AND SHALL BE PAID @ 515 N. LAURA ST., 1ST FLOOR. THIS MUST BE ACCOMPLISHED PRIOR TO CONNECTION TO THE JEA'S SYSTEM (WATER, SEWER, REUSE). IN ADDITION, CAPACITY FEES MUST BE PAID AT TIME OF OR PRIOR TO THE TAP FEE AND WILL BE BASED ON THE TOTAL NUMBER OF FIXTURE UNITS AND OR AVERAGE DAILY FLOWS.
12. THE CONTRACTOR SHALL MINIMIZE SERVICE INTERRUPTIONS AND MAINTAIN ANY EXISTING WATER AND SEWER SERVICE TO MEET THE SYSTEM DEMANDS AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF AFFECTED CUSTOMERS AND UTILITY A MINIMUM OF 48 HOURS IN ADVANCE OF ANY INTERRUPTION OF SERVICE.
13. CONTRACTOR SHALL OBTAIN A COPY OF THE F.D.E.P. OR JEA WATER AND SEWER PERMITS FROM THE ENGINEER PRIOR TO START OF CONSTRUCTION AND MUST COMPLY WITH ALL CONDITIONS OF PERMIT(S).
14. ALL JEA ELECTRICAL CONDUIT WORK SHALL BE COMPLETED PRIOR TO THE PRESSURE TESTING OF WATER MAINS, REUSE MAINS AND SEWAGE FORCE MAINS. ALL PRESSURE TESTING AND PUMP TESTING SHALL BE WITNESSED BY JEA AND THE ENGINEER.

WATER AND REUSE MAINS

15. UNLESS OTHERWISE INDICATED, ALL WATER MAINS AND REUSE MAINS WILL BE PVC DR18, C-900/C-905 (AS APPROPRIATE) PIPE. ALL 2" MAINS SHALL BE HDPE CTS SDR 9.
16. WATER MAINS AND REUSE MAINS SHALL HAVE A MINIMUM OF 30" COVER UNDER UNPAVED AREAS AND 36" MINIMUM COVER FROM FINISHED GRADE UNDER PAVED AREAS UNLESS OTHERWISE SHOWN. ADDITIONAL COVER IS REQUIRED FOR VALVE INSTALLATION CLEARANCE FOR PIPE GREATER THAN 6 INCHES IN DIAMETER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT INSTALLED PIPING UNTIL FINAL ACCEPTANCE BY F.D.E.P. AND JEA.
17. ALL WATER MAINS AND REUSE MAINS SHALL BE FLUSHED IN ACCORDANCE WITH, AND UNDER THE DIRECTION OF THE JEA.
18. HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATER MAINS AND REUSE MAINS AND HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATER MAINS AND REUSE MAINS TO OTHER UTILITIES SHALL BE IN ACCORDANCE WITH JEA AND F.D.E.P. REQUIREMENTS.
19. ALL GATE VALVES SHALL BE JEA STANDARD. VALVES SHALL BE MECHANICAL JOINT, CAST IRON, BRONZE FITTED WITH RESILIENT SEAT. ALL VALVES SHALL OPEN BY TURNING TO THE LEFT. VALVES SHALL BE RATED AT 250 PSI WORKING PRESSURE AND 500 PSI TEST PRESSURE.
20. ALL NEW AND / OR RELOCATED WATER MAIN AND REUSE MAIN PIPE AND FITTINGS SHALL NOT CONTAIN MORE THAN EIGHT PERCENT LEAD, AND ALL PADDING AND JOINT MATERIALS USED IN THE JOINTS SHALL CONFORM WITH ALL APPLICABLE AWWA STANDARDS. ALL NEW AND / OR RELOCATED SERVICES AND PLUMBING SHALL CONTAIN NO MORE THAN EIGHT PERCENT LEAD AND ALL SOLDERS AND FLUX SHALL CONTAIN NO MORE THAN 0.2 PERCENT LEAD.

WATER, REUSE, & SEWER REQUIREMENTS

21. ALL FIRE HYDRANTS SHALL BE JEA STANDARD. FIRE HYDRANTS LOCATED WITHIN JEA RIGHT OF WAYS OR EASEMENTS SHALL BE PAINTED YELLOW. ALL PRIVATE FIRE HYDRANTS SHALL BE PAINTED RED, OR IN ACCORDANCE WITH LOCAL REQUIREMENTS.
22. ALL FIRE HYDRANTS THAT ARE SUPPLIED BY A FIRE PUMP AND SUBJECT TO HIGH PRESSURE (IN EXCESS OF 60 P.S.I.) SHALL BE PAINTED GREEN WITH RED LETTERS "H.P." APPROXIMATELY 2" HIGH. THESE LETTERS SHALL BE STENCILED ON THE HYDRANT IN A CONSPICUOUS/ VISIBLE AREA.
23. ALL NEW FIRE HYDRANT INSTALLATIONS, PUBLIC AND PRIVATE, SHALL HAVE A BLUE F.D.O.T. TYPE REFLECTIVE PAVEMENT MARKER INSTALLED IN THE CENTER OF THE TRAFFIC LANE NEAREST THE NEW FIRE HYDRANT.
24. ALL WATER MAINS SHALL BE BACTERIOLOGICAL AND PRESSURE TESTED AT 150 PSI FOR 2 HOURS IN ACCORDANCE WITH AWWA STANDARDS AND JEA STANDARD REQUIREMENTS. NO CONNECTION TO THE EXISTING POTABLE WATER SYSTEM SHALL BE ALLOWED UNTIL ALL PROPOSED WATER LINES HAVE BEEN PRESSURE TESTED, DISINFECTED, AND CLEARED FOR SERVICE. THE ENGINEER MUST BE NOTIFIED 48 HOURS PRIOR TO PERFORMING THE PRESSURE TEST. DISINFECTION SHALL BE IN ACCORDANCE WITH AWWA-C-651. REUSE MAINS REQUIRE PRESSURE TEST ONLY.
25. ALL BACKFLOW PREVENTORS SHALL BE IN ACCORDANCE WITH JEA CROSS CONNECTION CONTROL PROGRAM. BACKFLOW PREVENTERS MUST BE TESTED AFTER INSTALLATION BY A CERTIFIED TESTER AND ANNUALLY THEREAFTER. THE CONTRACTOR SHALL CONTACT JEA COORDINATOR OR JEA DESIGNEE: BILL POUND AT (904) 665-5783. BACKFLOW PREVENTERS ON FIRE LINES OR COMBINATION FIRE/POTABLE MAINS SHALL BE HAVE FREEZE PROTECTION.
26. THE WATER TAPS DEPICTED ON THESE DESIGN PLANS SHALL BE CONSTRUCTED AS FOLLOWS: ALL POTABLE, REUSE, AND IRRIGATION WATER TAPS, FIRE LINE SERVICES AND FIRE HYDRANT INSTALLATIONS SHALL BE PERFORMED BY A LICENSED MASTER PLUMBER OR UNDERGROUND UTILITY CONTRACTOR UNDER THE FOLLOWING CONDITIONS:
   1.) THE TAPS ARE TO BE SCHEDULED 48 HOURS IN ADVANCE WITH JEA.
   2.) TAPS REQUIRING METER INSTALLATIONS OF SIZE 2" AND BELOW MUST INCLUDE THE SERVICE PIPE, METER BOX, AND CORP. STOP SIZED READY TO ACCEPT THE METER INSTALLATION BY JEA FORCES.
   2.) JEA FORCES WILL INSTALL THE METER UPON APPLICATION AND PAYMENT BY LICENSED MASTER PLUMBER OR UTILITY CONTRACTOR AT JEA WATER AND SEWER, 515 N. LAURA ST., 1ST FLOOR.
   4.) ALL TAPS REQUIRING METER INSTALLATIONS OF SIZE 3" AND ABOVE SHALL TERMINATE SIZED READY FOR METER INSTALLATION. VALVE FURNISHED BY CONTRACTOR. INSTALLATION BY JEA FORCES. SPECIAL ESTIMATE REQUIRED.
27. WATER METERS SHALL NOT BE LOCATED WITHIN PAVEMENT, CURB AND GUTTER OR DRIVEWAYS.
28. IF SOLVENT CONTAMINATION IS FOUND IN THE PIPE TRENCH, WORK SHALL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED. IN APPROVAL OF THE PERMITTING AGENCY, DUCTILE IRON PIPE, FITTINGS AND SOLVENT RESISTANT GASKET MATERIAL SUCH AS FLUOROCARBON SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE PIPE SHALL EXTEND AT LEAST 100 FEET BEYOND ANY SOLVENT NOTED. ANY CONTAMINATED SOIL THAT IS EXCAVATED SHALL BE PLACED ON AN IMPERMEABLE MAT AND COVERED WITH A WATERPROOF COVERING. THE PROPER AUTHORITIES WILL BE NOTIFIED AND THE CONTAMINATED SOIL HELD FOR PROPER DISPOSAL.

SEWER

29. ALL SEWER MAINS, SERVICES, AND FITTINGS SHALL BE PVC (ASTM-3034) SDR 26 UNLESS OTHERWISE INDICATED. FORCE MAINS SHALL BE PVC DR 18 PIPE UNLESS OTHERWISE INDICATED. FORCE MAINS SHALL BE PRESSURE TESTED THE SAME AS WATER AND REUSE MAINS.
30. SANITARY SEWER SERVICES SHALL BE 6" PVC WITH A MINIMUM SLOPE OF 0.01 FEET PER FOOT AND SHALL BE TERMINATED AT THE RIGHT-OF-WAY LINE WITH A DEPTH OF 36" TO 60" UNLESS OTHERWISE DETAILED OR RESTRICTED DUE TO DEPTH OF SEWER MAIN. FORCE MAINS SHALL HAVE A MINIMUM COVER OF 30 INCHES IN UNPAVED AREAS AND 36 INCHES IN PAVED AREAS UNLESS OTHERWISE INDICATED. SEE FORCE MAIN PROFILE SHEET(S).
31. SEWER LINES AND FORCE MAINS ARE DESIGNED TO FINISHED GRADES AND SHALL BE PROTECTED UNTIL WORK IS COMPLETED AND ACCEPTED BY F.D.E.P. AND JEA.
32. PRIOR TO THE PLACEMENT OF THE LIMEROCK BASE COURSE, THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER A SCHEDULE OF INVERT ELEVATIONS OF ALL SANITARY MANHOLES. THIS SCHEDULE SHALL BE SIGNED BY THE REGISTERED LAND SURVEYOR SUBMITTING THE "AS-BUILT" DRAWINGS FOR THIS PROJECT.
33. THE CONTRACTOR SHALL INSTALL ANY ADDITIONAL AIR RELEASE VALVES AT CHANGES IN ELEVATION OF 2 FT. DUE TO ACTUAL FIELD CONDITIONS OR CONFLICTS NOT IDENTIFIED ON THESE DESIGN PLANS.
34. TELEVISION INSPECTION SHALL BE REQUIRED ON ALL GRAVITY SEWER MAINS. INSPECTION SHALL BE RECORDED ON VIDEO TAPE OR DVD. ALL LINES ARE TO BE CLEANED AND FLUSHED PRIOR TO INSPECTION. A FULL WRITTEN REPORT AS TO THE CONDITION OF THE PIPE WITH PERTINENT DATA SUCH AS DISTANCE BETWEEN MANHOLES, LOCATION OF SERVICES, ETC. SHALL BE SUBMITTED TO THE OWNER AND ENGINEER PRIOR TO ACCEPTANCE AND ONE COPY OF THE VIDEO INSPECTION SHALL BE SUBMITTED TO THE JEA. ALL DEFECTIVE AREAS AND ITEMS SHALL BE REPLACED OR REPAIRED PRIOR TO FINAL ACCEPTANCE. ALL REPAIRED SECTIONS MUST BE RE-INSPECTED PRIOR TO ACCEPTANCE. THE MAXIMUM DEFLECTION SHALL NOT EXCEED 7.5% OF THE NOMINAL DIAMETER IN ACCORDANCE WITH JEA STANDARDS. INFILTRATION AND/OR EXFILTRATION TESTING OF GRAVITY SEWERS MAY BE REQUIRED IF DEEMED NECESSARY BY THE ENGINEER. THE MAXIMUM ALLOWABLE INFILTRATION-EXFILTRATION RATE WILL BE 50 GALLONS PER INCH DIAMETER PER MILE PER DAY.

PAVING AND DRAINAGE LEGEND

EXISTING	PROPOSED	
	25.5	SPOT ELEVATION
	70	CONTOURS
		BOUNDARY
		DRAINAGE DIVIDE
		STORM SEWER AND SIZE
		STORM SEWER INLET
		STORM S

Development Review General Notes:

1. Engineering Plans approval does not constitute permission to violate any adopted Federal, State, or Local law, code, or ordinance.
2. All work within the public streets and right of ways shall conform to Nassau County Land Development Codes (LDC), FDOT Standard Indices, Florida Greenbook, Nassau County Roadway and Drainage Standards, and Nassau County Standard Details as necessary. For any discrepancy between standards, the most stringent shall prevail.
3. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 6.2.4, site shall be constructed per approved construction drawings. Any substantial deviation shall be concurrently reviewed by Engineer of Record and Nassau County Development Review Committee prior to field changes.
4. A pre construction meeting with Nassau County Engineering Services Construction Inspector is required. Attendees shall be Nassau County, Engineer of Record, Contractor, Testing firm, Paving firm, and utility companies per Nassau County Ordinance 99-17 Section 7.2.3. Nassau County may cancel pre construction meeting if attendee list is inadequate. Nassau County Engineering Services can be reached at 904-530-6225.
5. The contractor shall schedule and coordinate all work with the appropriate Nassau County Construction Inspector assigned to the project per Nassau County Ordinance 99-17 Section 7.2.
6. All work shall be performed in a safe manner. All safety rules and guidelines of O.S.H.A shall be followed. The contractor shall be wholly responsible for any injuries to his employees and any damage to private property or persons during the course of this project.
7. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 11.8.1, any disturbed areas within Nassau County Right-of-Way shall be sodded.
8. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 7.4.1, at the time of final inspection, grassing shall be a minimum of seventy percent coverage and fully established and/or sodding to be one hundred percent coverage and stabilized.
9. Engineer of Record approved shop drawings shall be provided to Nassau County Construction Inspector a minimum of one week before beginning structure installation.
10. Parking at mail kiosks if required per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 6.4. Mail kiosk locations are subject to USPS Postmaster approval.
11. The developer's contractor is the single responsible party for the proper implementation of an Erosion Protection Sediment Control (EPSC) within each lot or construction site. This includes the responsibility for the actions/inactions of employees, subcontractors, and/or suppliers.
12. Sidewalks to be provided and built in accordance Florida Building Code. All proposed sidewalks shall meet ADA requirements.
13. The Contractor shall comply with current Florida accessibility standards for all work on this project.
14. Per Ordinance 99-17 Section 8.5.1, minimum cover for water lines and force mains under pavement shall be 42" and 36" in green areas.
15. All water, sewer, and storm water construction within Nassau County ROW shall be accomplished by an underground utility contractor licensed under the provisions of Chapter 489 of the Florida Statutes.
16. No work shall be permitted between the hours of 7:00 PM – 7:00AM without prior approval from Nassau County Engineering Services.
17. All trees required to be protected shall be flagged for protection prior to clearing.
18. All grading and placement of compacted fill shall be in accordance with the latest Nassau County Specifications.
19. Any damages (sidewalk, curb, asphalt, ditch grading, et cetera) within Public Right-of-Way shall be repaired or replaced in accordance with Nassau County Specifications. Proposed repair method shall be approved by Nassau County Engineering Services.
20. Any asphalt millings from Nassau County ROW shall be delivered to the Road Department Laydown yard located on Gene Lasserre Boulevard or Pea Farm Road. Please contact the Road Department at (904) 530 6175.
21. Per Nassau County Ordinance 99-17 Section 7.4.2 and 7.4.4, asbuilt drawings shall be submitted to Nassau County before a final inspection can be scheduled. As-built submittals will be in accordance with Nassau County as-built requirement checklist. As-built drawings shall be certified by registered licensed surveyor and approved by Engineer of Record.

ROADWAY AND DRAINAGE STANDARDS NASSAU COUNTY ENGINEERING SERVICES DEPARTMENT	REVISION DATES	DEVELOPMENT REVIEW GENERAL NOTES	NOTE SHEET: 1 DWG: ISSUED: 12/09/2020

FOR REVIEW ONLY 10-28-24 | REVISIONS

DRAWN BY: A.S.S.
DESIGNED BY: N.J.G.M.
CHECKED BY: N.J.G.M.
DATE: OCTOBER 2022

ETM
Englemob Thomas & Miller, Inc.
1479 Dot St. Augustine Road
Jacksonville, FL 32218
TEL: (904) 343-8400
FAX: (904) 343-8401
REG. ENG. LIC. 000016
VISION • EXPERIENCE • RESULTS

PLANS PREPARED UNDER THE DIRECTION OF:

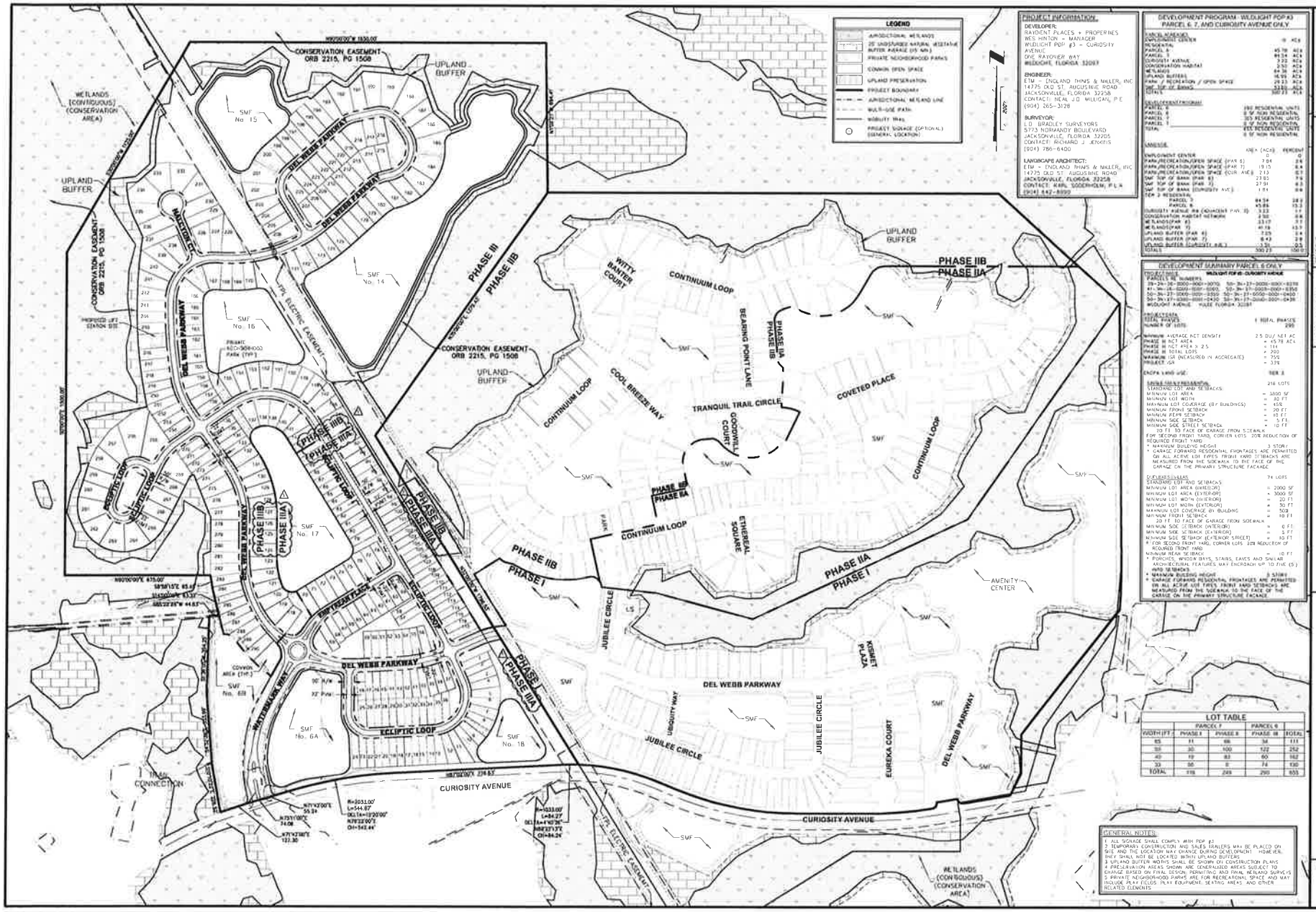
SEAL, JD MULLICAN
P.E. NUMBER 43551

GENERAL NOTES

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER
2A

PLOTTED: February 5, 2025 - 4:24 PM, BY: Al Dyer



PLANS PREPARED UNDER THE DIRECTION OF NEAL J.D. MILLIGAN P.E. NUMBER 45551

REVISIONS 1 12/13/22 REVISED PHASE TEXT

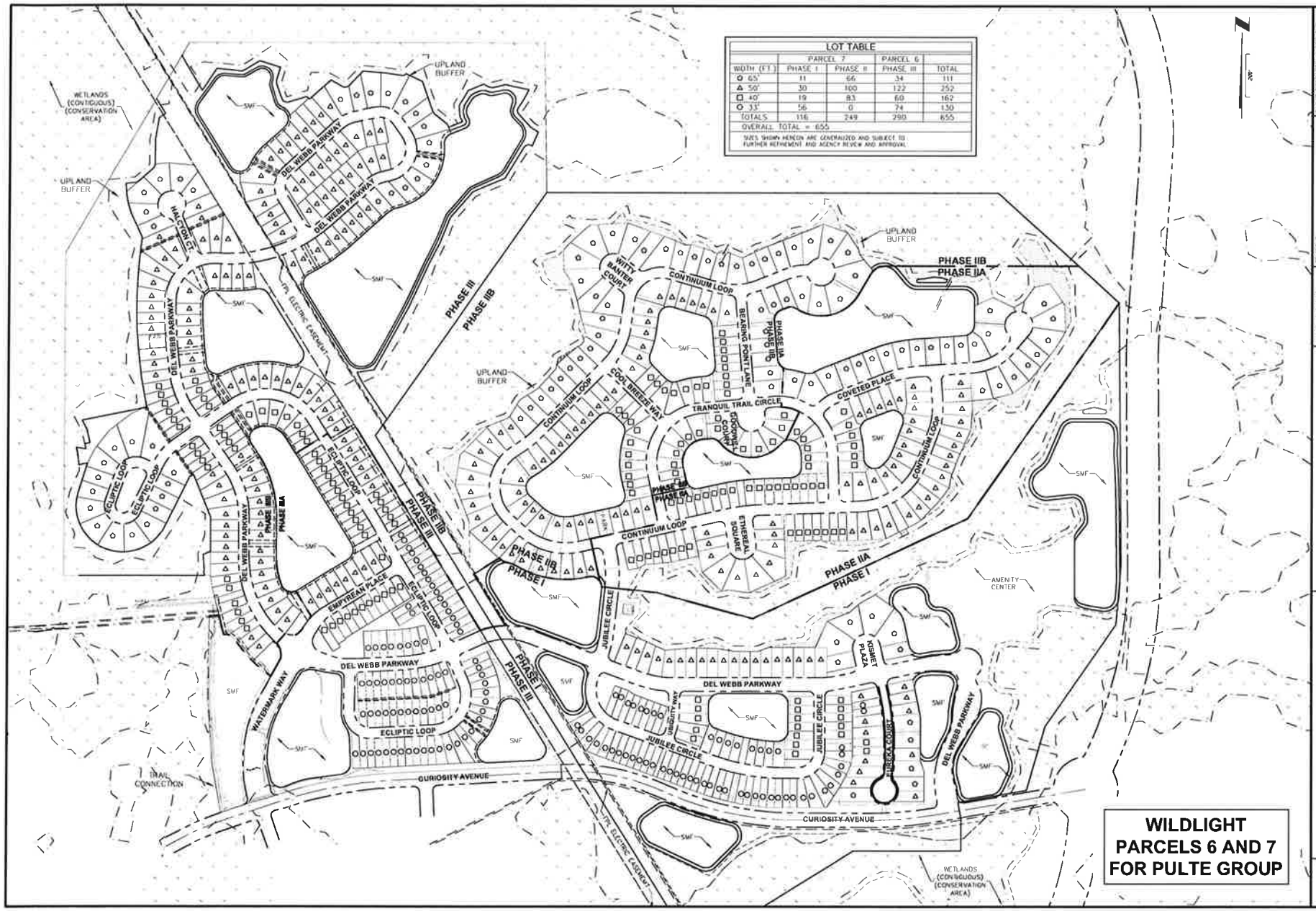
ETM JOB	19-238-04
DRAWN BY	A.E.G.
DESIGNED BY	N.J.D.M
CHECKED BY	N.J.D.M
DATE	OCTOBER 2022

ETM
England-Thims & Miller, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8990
FAX: (904) 646-9485
C.A. NUMBER AR - 18000
VISION • EXPERIENCE • RESULTS

MASTER SITE PLAN
WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER
3

J:\2019\19-238\19-238-04\Landdev\Dwgs\Plans\Plan 19-238-04_MSP08.dwg



PLANS PREPARED UNDER THE DIRECTION OF

NEAL J.D. MILLICAN
P.E. NUMBER 49931

REVISIONS

FILE NO. 19-238-24
DRAWN BY A.C.D.
DESIGNED BY N.J.D.M.
CHECKED BY N.J.D.M.
DATE OCTOBER 2022

Engineering, Planning & Environmental, Inc.
5475 Dtw St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
CA: 0000264 LC: 0000316

ETM
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MASTER SITE PLAN
PARCELS 6 AND 7
WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
3A

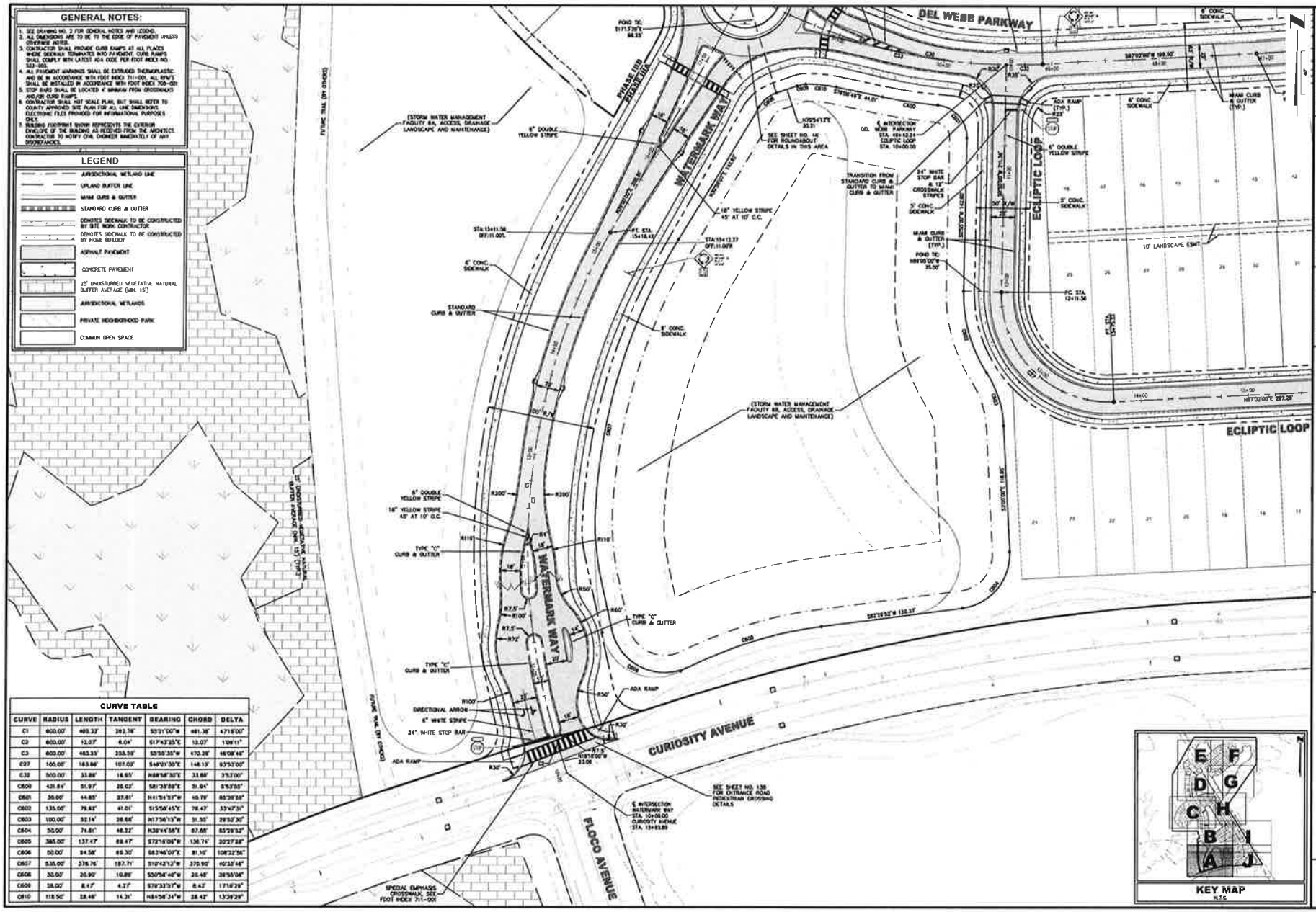
PLOTTED: February 8, 2023 - 4:24 PM, BY: Al Drake

GENERAL NOTES:

1. SEE DRAWING NO. 2 FOR GENERAL NOTES AND LEGEND.
2. ALL DIMENSIONS ARE TO BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL PROVIDE CURB RAMPS AT ALL PLACES WHERE SIDEWALK TERMINATES INTO PAVEMENT. CURB RAMPS SHALL COMPLY WITH LATEST ADA CODE PER FDOT INDEX NO. 522-002.
4. ALL PAVEMENT MARKINGS SHALL BE EXTRUDED THERMOPLASTIC AND BE IN ACCORDANCE WITH FDOT INDEX 711-001. ALL RPM'S SHALL BE INSTALLED IN ACCORDANCE WITH FDOT INDEX 706-001
5. STOP BARS SHALL BE LOCATED 4' MINIMUM FROM CROSSWALKS AND/OR CURB RAMPS.
6. CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO COUNTY APPROVED SITE PLAN FOR ALL LINE DIMENSIONS. ELECTRONIC FILES PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
7. BUILDING FOOTPRINT SHOWN REPRESENTS THE EXTERIOR ENVELOPE OF THE BUILDING AS RECEIVED FROM THE ARCHITECT. CONTRACTOR TO NOTIFY CIVIL ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

LEGEND

- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- MIAMI CURB & GUTTER
- STANDARD CURB & GUTTER
- DENOTES SIDEWALK TO BE CONSTRUCTED BY SITE WORK CONTRACTOR
- DENOTES SIDEWALK TO BE CONSTRUCTED BY HOME BUILDER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE



CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	BEARING	CHORD	DELTA
C1	600.00'	485.23'	252.78'	S57°31'00"W	481.36'	47°18'00"
C2	600.00'	13.07'	6.04'	S17°43'25"E	13.07'	1°08'11"
C3	600.00'	463.23'	255.59'	S35°35'35"W	470.29'	46°08'46"
C27	100.00'	163.84'	107.03'	S46°01'30"E	146.13'	93°53'00"
C32	500.00'	33.88'	16.95'	N88°58'30"E	33.88'	3°53'00"
C600	431.84'	51.97'	26.02'	S81°35'59"E	51.94'	6°53'55"
C601	30.00'	44.85'	27.81'	N41°54'57"W	40.79'	85°26'55"
C602	135.00'	79.82'	41.01'	S15°58'45"E	78.47'	33°47'31"
C603	100.00'	52.14'	26.66'	N17°36'13"W	51.53'	29°52'30"
C604	50.00'	74.81'	46.32'	N38°44'56"E	67.88'	85°26'52"
C605	385.00'	137.47'	69.47'	S72°16'06"W	136.74'	20°27'28"
C606	50.00'	94.58'	65.30'	S63°46'07"E	81.16'	108°22'56"
C607	535.00'	378.76'	197.71'	S10°42'13"W	370.90'	40°33'46"
C608	30.00'	20.90'	10.85'	S50°56'40"W	20.48'	39°55'06"
C609	38.00'	8.47'	4.27'	S79°33'37"W	8.42'	171°9'29"
C610	118.50'	28.48'	14.31'	N84°58'34"W	28.42'	13°39'29"

PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J. MILLIGAN
P.E. NUMBER - 74951

REVISIONS

T.W. NO.	19-238-24
DRAWN BY	A.C.D.
DESIGNED BY	N.J.M.
CHECKED BY	N.J.M.
DATE	OCTOBER 2022

Employer: Thing & Miller, Inc.
14175 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
FED. TAX I.D.: 59-3505116

ETM
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GEOMETRY PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER
4A

GENERAL NOTES:

1. SEE DRAWING NO. 2 FOR GENERAL NOTES AND LEGEND.
2. ALL DIMENSIONS ARE TO BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL PROVIDE CURB RAMPS AT ALL PLACES WHERE SIDEWALK TERMINATES INTO PAVEMENT. CURB RAMPS SHALL COMPLY WITH LATEST ADA CODE PER FOOT INDEX NO. 522-002.
4. ALL PAVEMENT MARKINGS SHALL BE EXTRUDED THERMOPLASTIC AND BE IN ACCORDANCE WITH FDOT INDEX 711-020. ALL RPM'S SHALL BE INSTALLED IN ACCORDANCE WITH FDOT INDEX 706-001
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7. BUILDING FOOTPRINT SHOWN REPRESENTS THE EXTERIOR ENVELOPE OF THE BUILDING AS RECEIVED FROM THE ARCHITECT. CONTRACTOR TO NOTIFY CIVIL ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

LEGEND

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- UPLAND BUFFER LINE
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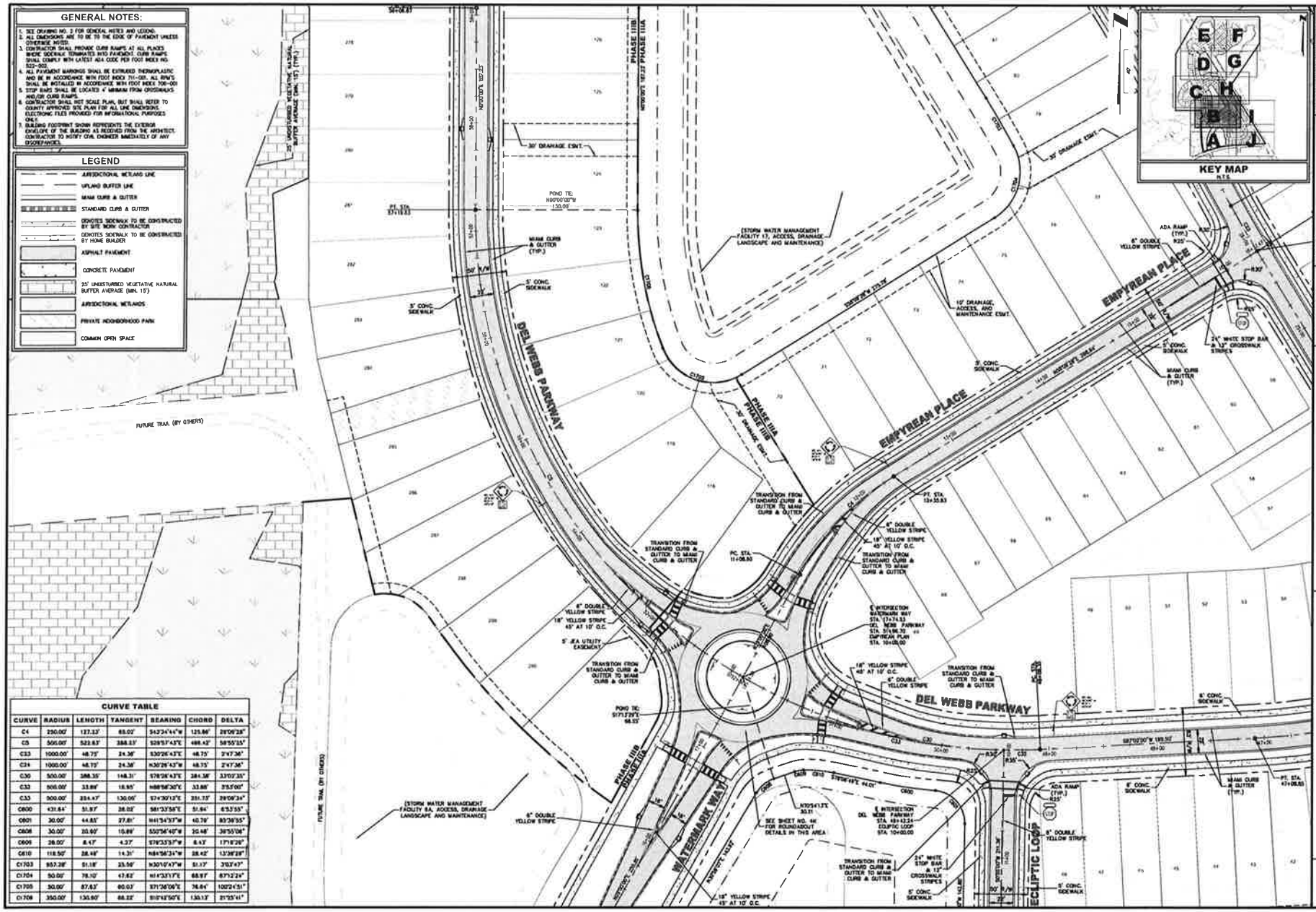


CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	BEARING	CHORD	DELTA
C4	250.00'	127.13'	65.02'	S42°34'44"W	125.86'	29°06'28"
C5	505.00'	523.63'	288.23'	S29°57'43"E	498.42'	59°55'25"
C33	1000.00'	48.75'	24.38'	S30°26'43"E	48.75'	2°47'36"
C34	1000.00'	48.75'	24.38'	N30°26'43"W	48.75'	2°47'36"
C30	500.00'	288.35'	148.31'	S78°26'43"E	284.38'	33°03'35"
C32	505.00'	33.89'	16.95'	N88°56'30"E	33.88'	3°51'00"
C33	500.00'	254.47'	130.05'	S74°30'13"E	251.73'	29°09'34"
C600	431.84'	51.87'	26.02'	S81°33'58"E	51.84'	6°53'55"
C601	30.00'	44.83'	27.81'	N41°54'37"W	40.78'	85°36'55"
C608	30.00'	20.97'	10.89'	S50°56'40"W	20.48'	39°55'06"
C609	28.00'	8.47'	4.27'	S76°33'57"W	8.43'	17°18'26"
C610	118.50'	28.48'	14.31'	N84°56'24"W	28.42'	13°38'28"
C1703	957.28'	51.18'	25.59'	N30°10'47"W	51.17'	3°03'47"
C1704	50.00'	78.10'	47.82'	N14°33'17"E	68.91'	87°12'24"
C1705	50.00'	87.63'	60.03'	S71°36'09"E	76.84'	100°24'51"
C1706	350.00'	130.60'	66.22'	S10°43'50"E	130.13'	21°23'41"

PLANS PREPARED UNDER THE DIRECTION OF

SEAL, J.D. MELICZAK
P.E. NUMBER 43051

PLOTTED February 8, 2023 – 4:25 PM, BY M. Dreher

REVISED	
TW NO.	19-238-04
DRAWN BY	A.C.D.
DESIGNED BY	M.J.D.M.
CHECKED BY	M.J.D.M.
DATE	OCTOBER 2022

ETM VISION • EXPERIENCE • RESULTS

Engineered Traffic & Mobility, Inc.
14175 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
REG. CERT. NO. C-8000316

GEOMETRY PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER

4B

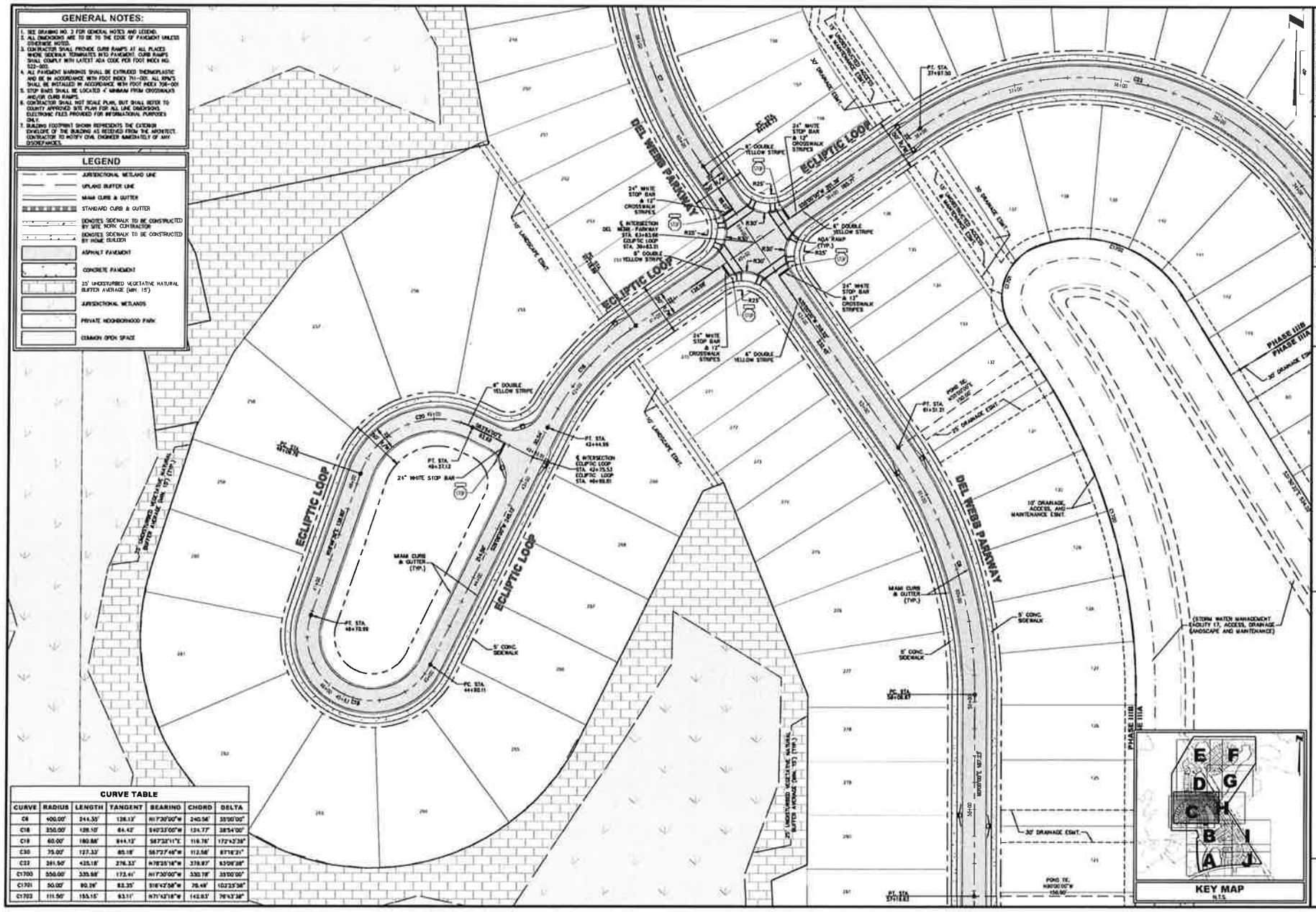
F:\2019\19-238\19-238 Wildlight Design\Plans\Plans 19\19-238-04_Geom.dwg

GENERAL NOTES:

1. SEE DRAWING NO. 2 FOR GENERAL NOTES AND LEGEND.
2. ALL DIMENSIONS ARE TO BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL PROVIDE CURB RAMPS AT ALL PLACES WHERE SIDEWALK TERMINATES INTO PAVEMENT. CURB RAMPS SHALL COMPLY WITH LATEST ADA CODE PER FDOT INDEX NO. 522-002.
4. ALL PAVEMENT MARKINGS SHALL BE EXTRUDED THERMOPLASTIC AND BE IN ACCORDANCE WITH FDOT INDEX 711-001. ALL RPM'S SHALL BE INSTALLED IN ACCORDANCE WITH FDOT INDEX 706-001
5. STOP BARS SHALL BE LOCATED 4' MINIMUM FROM CROSSWALKS AND/OR CURB RAMPS.
6. CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO COUNTY APPROVED SITE PLAN FOR ALL LINE DIMENSIONS. ELECTRONIC FILES PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
7. BUILDING FOOTPRINT SHOWN REPRESENTS THE EXTERIOR ENVELOPE OF THE BUILDING AS RECEIVED FROM THE ARCHITECT. CONTRACTOR TO NOTIFY CIVIL ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

LEGEND

- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- MIAMI CURB & GUTTER
- STANDARD CURB & GUTTER
- DENOTES SIDEWALK TO BE CONSTRUCTED BY SITE WORK CONTRACTOR
- DENOTES SIDEWALK TO BE CONSTRUCTED BY HOME BUILDER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE



CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	BEARING	CHORD	DELTA
C6	400.00'	244.35'	126.13'	N17°30'00"W	240.56'	35°00'00"
C18	350.00'	128.10'	64.42'	S40°33'00"W	124.77'	20°54'00"
C19	60.00'	180.88'	844.13'	S87°32'11"E	119.76'	172°42'38"
C30	75.00'	127.33'	85.18'	S67°27'49"W	112.58'	97°18'21"
C32	261.50'	425.18'	276.33'	N78°25'16"W	378.83'	93°08'28"
C1700	550.00'	335.98'	173.41'	N17°30'00"W	330.78'	35°00'00"
C1701	50.00'	90.28'	63.35'	S16°47'58"W	78.49'	103°23'58"
C1702	111.50'	155.15'	93.11'	N71°42'18"W	142.83'	79°43'38"

PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. MULCAHY
P.E. NUMBER 43631

PLOTTED February 8, 2023 - 4:25 PM, BY: Jo Drake

FILE NO.	19-238-04
DRAWN BY	A.C.D.
DESIGNED BY	N.J.M.
CHECKED BY	N.J.M.
DATE	OCTOBER 2022

REVISIONS

ETM

Englewood Thomas & Walker, Inc.
14175 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
REG. CBA LC-0000216

VISION • EXPERIENCE • RESULTS

GEOMETRY PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER

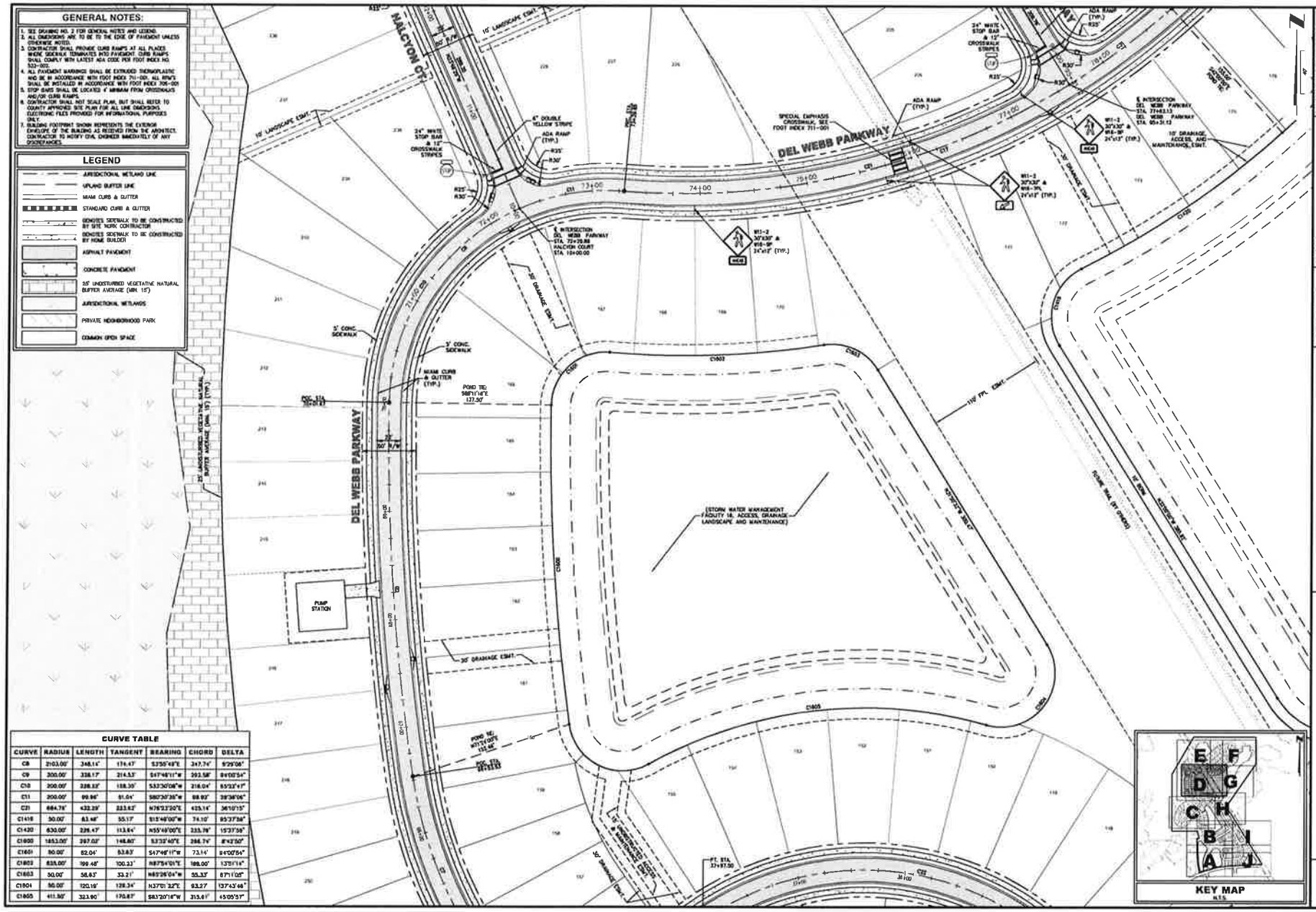
4C

GENERAL NOTES:

1. SEE DRAWING NO. 2 FOR GENERAL NOTES AND LEGEND.
2. ALL DIMENSIONS ARE TO BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL PROVIDE CURB RAMPS AT ALL PLACES WHERE SIDEWALK TERMINATES INTO PAVEMENT. CURB RAMPS SHALL COMPLY WITH LATEST ADA CODE PER FOOT INDEX NO. 522-001.
4. ALL PAVEMENT MARKINGS SHALL BE EXTRUDED THERMOPLASTIC AND BE IN ACCORDANCE WITH FOOT INDEX 711-001. ALL RPM'S SHALL BE INSTALLED IN ACCORDANCE WITH FOOT INDEX 706-001
5. STOP BARS SHALL BE LOCATED 4' MINIMUM FROM CROSSWALKS AND/OR CURB RAMPS.
6. CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO COUNTY APPROVED SITE PLAN FOR ALL LINE DIMENSIONS. ELECTRONIC FILES PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
7. BUILDING FOOTPRINT SHOWN REPRESENTS THE EXTERIOR ENVELOPE OF THE BUILDING AS RECEIVED FROM THE ARCHITECT. CONTRACTOR TO NOTIFY ETM, ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

LEGEND

- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- MIAMI CURB & GUTTER
- STANDARD CURB & GUTTER
- DENOTES SIDEWALK TO BE CONSTRUCTED BY SITE WORK CONTRACTOR
- DENOTES SIDEWALK TO BE CONSTRUCTED BY HOME BUILDER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE



CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	BEARING	CHORD	DELTA
C8	2103.00'	348.14'	174.47'	S73°55'49"E	347.74'	9°29'06"
C9	300.00'	338.17'	214.53'	S47°48'11"W	303.58'	64°00'54"
C10	300.00'	328.33'	178.39'	S33°50'06"W	316.04'	65°33'41"
C11	300.00'	99.94'	51.04'	S80°30'35"W	99.53'	19°38'06"
C21	664.79'	432.29'	223.62'	N76°23'20"E	425.14'	36°10'15"
C1410	30.00'	83.48'	55.17'	S15°48'00"W	74.10'	95°37'59"
C1420	630.00'	229.47'	113.64'	N55°49'00"E	223.78'	15°37'59"
C1600	1853.00'	397.02'	148.80'	S33°40'E	396.14'	8°42'50"
C1601	90.00'	82.04'	53.83'	S47°48'11"W	73.14'	54°00'54"
C1602	635.00'	199.48'	100.23'	N87°54'01"E	198.00'	17°51'14"
C1603	30.00'	58.63'	33.21'	N83°26'04"W	50.33'	87°11'05"
C1604	50.00'	120.19'	128.34'	N37°01'32"E	93.27'	137°43'46"
C1605	411.30'	323.90'	170.87'	S83°20'18"W	315.61'	45°05'57"

PLANS PREPARED UNDER THE DIRECTION OF

NEAL J.D. MULLIGAN, P.E. NUMBER 45051

PLOTTED: February 8, 2023 - 4:25 PM, BY: N. Grimm

REVISIONS

ETM NO.	19-239-04
DRAWN BY	A.E.D.
DESIGNED BY	N.J.G.M.
CHECKED BY	N.J.G.M.
DATE	OCTOBER 2022

ETM

VISION • EXPERIENCE • RESULTS

Engineering, Planning & Mobility, Inc.
1275 Old Rt. 6 Business
Lansdale/Hatfield, PA 19446
TEL: (267) 342-0300
FAX: (267) 342-0301
REG. CERT. NO. 4600016

GEOMETRY PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER

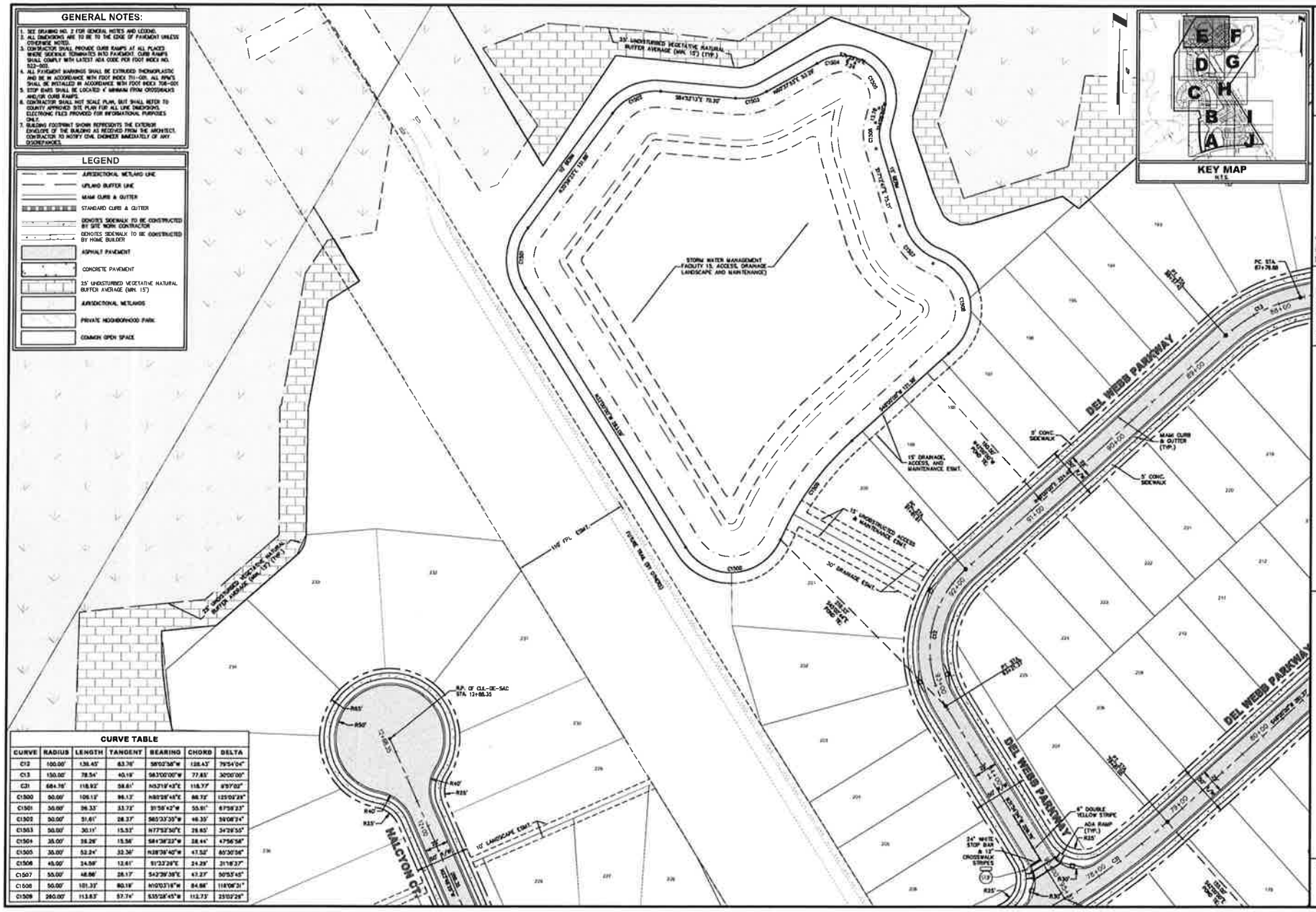
4D

GENERAL NOTES:

1. SEE DRAWING NO. 2 FOR GENERAL NOTES AND LEGEND.
2. ALL DIMENSIONS ARE TO BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL PROVIDE CURB RAMPS AT ALL PLACES WHERE SIDEWALK TERMINATES INTO PAVEMENT. CURB RAMPS SHALL COMPLY WITH LATEST ADA CODE. FOR FOOT INDEX NO. 522-002.
4. ALL PAVEMENT MARKINGS SHALL BE EXTRUDED THERMOPLASTIC AND BE IN ACCORDANCE WITH FOOT INDEX 711-020. ALL RPM'S SHALL BE INSTALLED IN ACCORDANCE WITH FOOT INDEX 706-020.
5. STOP BARS SHALL BE LOCATED 4' MINIMUM FROM CROSSWALKS AND/OR CURB RAMPS.
6. CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO COUNTY APPROVED SITE PLAN FOR ALL LINE DIMENSIONS. ELECTRONIC FILES PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
7. BUILDING FOOTPRINT SHOWN REPRESENTS THE EXTERIOR ENVELOPE OF THE BUILDING AS RECEIVED FROM THE ARCHITECT. CONTRACTOR TO NOTIFY CIVIL ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

LEGEND

- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- MIAMI CURB & GUTTER
- STANDARD CURB & GUTTER
- DENOTES SIDEWALK TO BE CONSTRUCTED BY SITE WORK CONTRACTOR
- DENOTES SIDEWALK TO BE CONSTRUCTED BY HOME BUILDER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE



CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	BEARING	CHORD	DELTA
C12	100.00'	138.45'	83.78'	S80°03'38"W	128.43'	79°54'04"
C13	130.00'	78.54'	40.19'	S63°00'00"W	77.65'	30°00'00"
C31	684.76'	118.92'	59.61'	N43°19'43"E	118.77'	9°57'02"
C1500	50.00'	106.13'	86.13'	N80°28'45"E	88.73'	121°03'25"
C1501	30.00'	36.33'	33.73'	S1°56'42"W	55.91'	67°58'23"
C1502	50.00'	31.61'	26.37'	S63°33'39"W	46.39'	36°08'24"
C1503	50.00'	30.11'	15.53'	N77°52'50"E	29.65'	34°28'55"
C1504	35.00'	26.26'	15.56'	S84°38'23"W	26.44'	47°56'56"
C1505	35.00'	52.24'	32.36'	N38°36'40"W	47.52'	85°30'56"
C1506	45.00'	24.56'	12.61'	S1°23'29"E	24.29'	31°16'37"
C1507	55.00'	48.86'	26.17'	S42°39'38"E	47.27'	50°53'45"
C1508	50.00'	101.37'	80.19'	N10°03'16"W	84.86'	116°08'31"
C1509	260.00'	113.83'	57.74'	S35°28'45"W	112.73'	25°02'28"

PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. MILLIGAN
P.E. NUMBER: 43851

REVISIONS

FILE NO.	19-228-2w
DRAWN BY	A.E.C.
DESIGNED BY	N.J.M
CHECKED BY	N.J.M
DATE	OCTOBER 2022

ETM

Engineered Training & Mentoring, Inc.
54175 Oak St, Augusta Road
Lockbourne, Oh, 43137
TEL: (614) 545-6285
FAX: (614) 545-6286
FED. TAX I.D.: 760-0519

VISION • EXPERIENCE • RESULTS

GEOMETRY PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

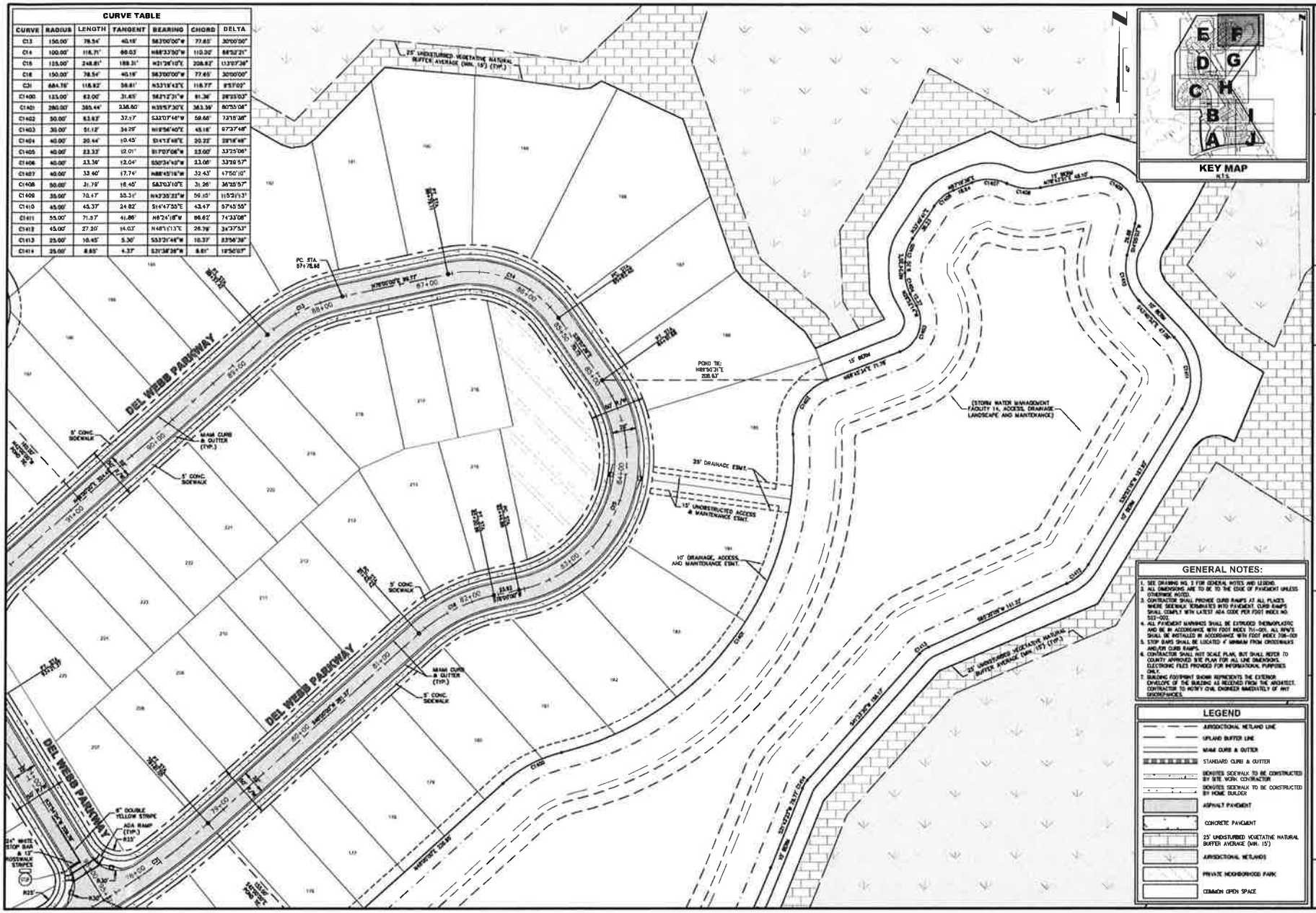
DRAWING NUMBER

4E

PLOTTED: February 8, 2023 - 4:23 PM, AK

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	BEARING	CHORD	DELTA
C13	150.00'	78.54'	40.15'	S63°00'00"W	77.65'	30°00'00"
C14	100.00'	116.71'	66.03'	N88°33'50"W	110.20'	66°52'21"
C15	125.00'	248.81'	188.31'	N21°26'10"E	208.92'	113°57'38"
C16	150.00'	78.54'	40.15'	S63°00'00"W	77.65'	30°00'00"
C21	684.76'	116.82'	58.51'	N33°16'42"E	116.77'	9°57'02"
C1400	135.00'	62.00'	31.45'	S62°12'31"W	61.36'	26°25'53"
C1401	250.00'	385.44'	238.50'	N39°57'30"E	348.39'	88°35'08"
C1402	50.00'	63.62'	37.17'	S32°07'46"W	59.66'	73°18'38"
C1403	30.00'	51.12'	34.29'	N16°56'40"E	45.16'	97°37'48"
C1404	40.00'	20.44'	10.45'	S14°13'48"E	20.22'	29°16'48"
C1405	40.00'	23.33'	12.01'	S17°07'06"W	23.00'	33°25'06"
C1406	40.00'	23.36'	12.04'	S50°34'48"W	23.05'	33°28'57"
C1407	40.00'	33.60'	17.74'	N88°45'16"W	32.43'	47°50'10"
C1408	50.00'	31.79'	16.46'	S83°03'10"E	31.26'	36°25'57"
C1409	35.00'	70.47'	55.31'	N43°35'22"W	59.15'	115°31'31"
C1410	45.00'	45.37'	24.82'	S14°47'55"E	43.47'	57°45'55"
C1411	55.00'	71.57'	41.86'	N67°24'18"W	66.62'	74°33'08"
C1412	45.00'	27.20'	14.03'	N48°11'13"E	26.78'	34°37'53"
C1413	25.00'	10.45'	5.30'	S53°21'48"W	10.37'	23°56'39"
C1414	25.00'	8.85'	4.37'	S31°38'38"W	8.81'	19°50'07"



PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. MULIGAN
P.E. NUMBER 72531

REVISIONS

Job No.	19-239-04
Drawn By	A.C.D.
Designed By	M.J.D.M
Checked By	M.J.D.M
Date	OCTOBER 2022

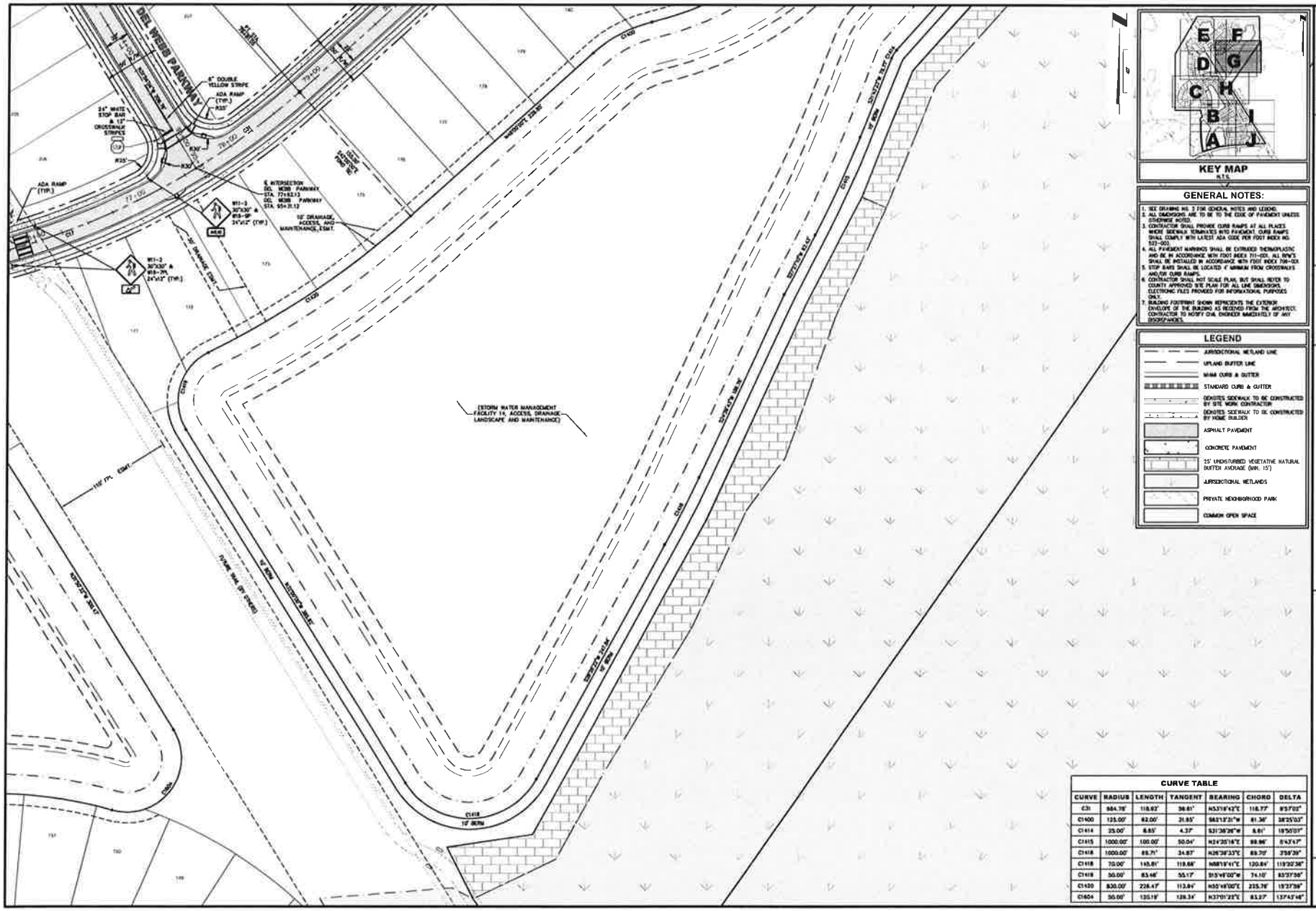
ETM
Engineered Thing & Miller, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
REG. : CBA - C.O. 1000016
VISION • EXPERIENCE • RESULTS

GEOMETRY PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
4F

PLOTTED: February 8, 2023 - 4:23 PM BY: M. Carter


DEL WEBB PARKWAY
6" DOUBLE YELLOW STRIPE
ADA RAMP (TYP.)
24" WHITE STOP BAR & 12" CROSSWALK STRIPES
ADA RAMP (TYP.)
℄ INTERSECTION DEL WEBB PARKWAY STA. 72+52.13 DEL WEBB PARKWAY STA. 55+31.12
10' DRAINAGE, ACCESS, AND MAINTENANCE, EGMT.
W DRAINAGE EGMT.
[STORM WATER MANAGEMENT FACILITY 14, ACCESS, DRAINAGE, LANDSCAPE AND MAINTENANCE]
(15' TYP. EGMT.)
TYPICAL WALL (BY OTHERS)
C1418
10' BERM
C1400
C1414
C1415
C1420
C1654
C1418
C1419
C1420
C1654
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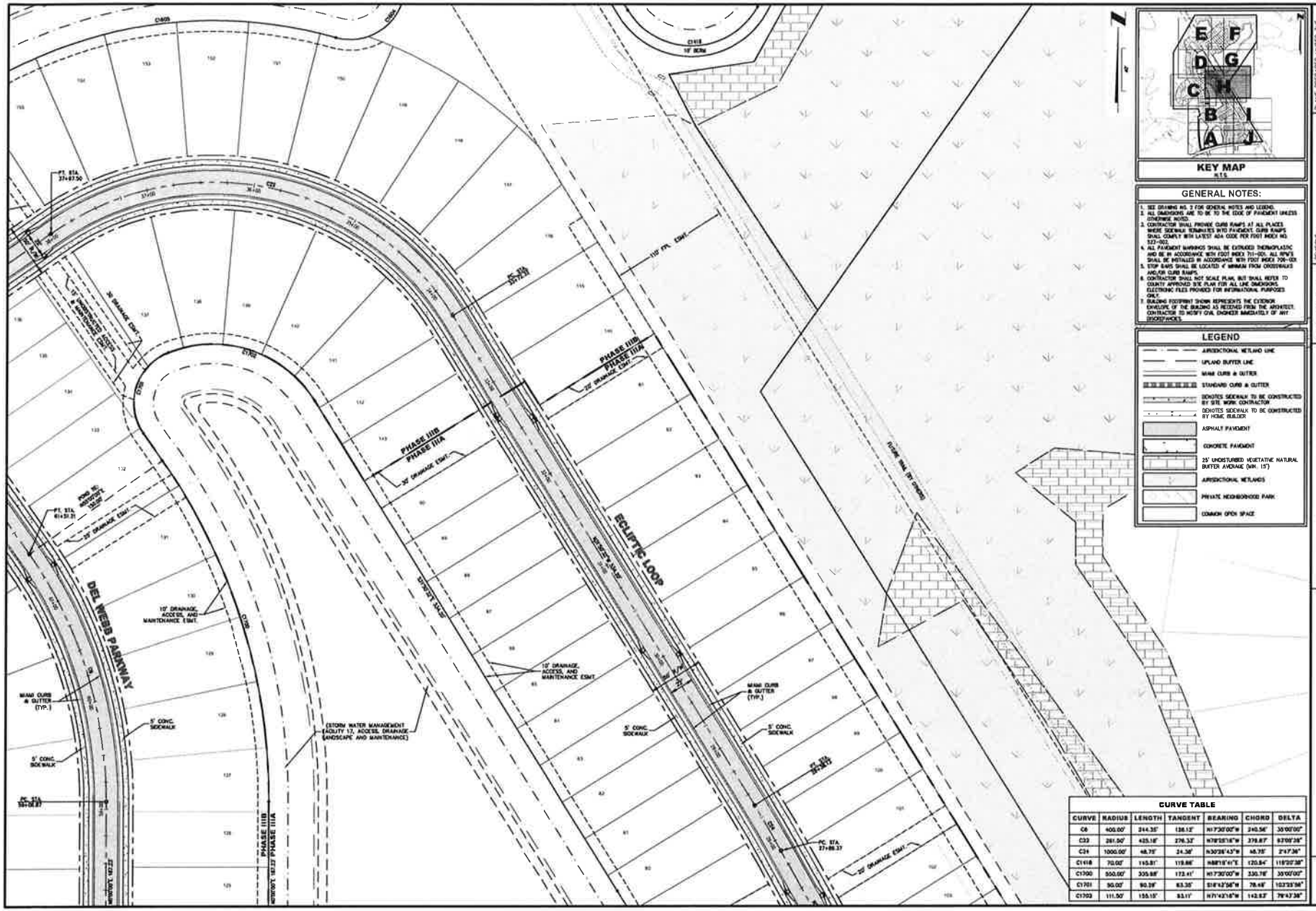

KEY MAP
N.T.S.

GENERAL NOTES:

1. SEE DRAWING NO. 2 FOR GENERAL NOTES AND LEGEND.
2. ALL DIMENSIONS ARE TO BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
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LEGEND

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- UPLAND BUFFER LINE
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- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
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- COMMON OPEN SPACE

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	BEARING	CHORD	DELTA
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C1703	111.50'	155.15'	93.11'	N71°42'16"W	142.82'	79°47'38"

PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. WILLIGAN
FL LICENSE NO. 43931

PLOTTED: February 6, 2023 - 4:03 PM, BY: Al Sylver

REVISIONS

ETM NO.	19-239-04
DRAWN BY:	A.C.S.
DESIGNED BY:	N.J.D.W.
CHECKED BY:	N.J.D.W.
DATE:	OCTOBER 2022

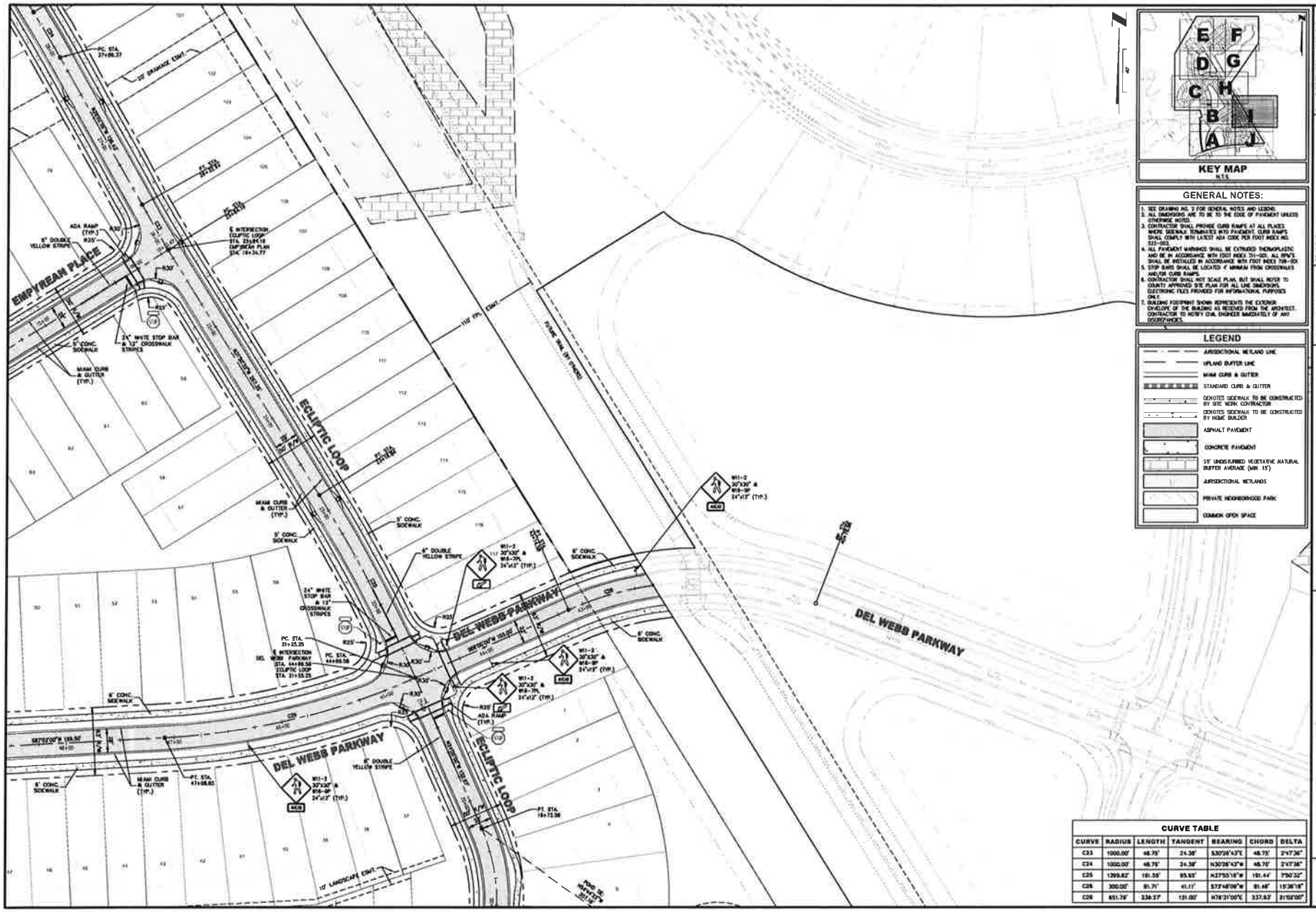
ETM
Englehardt-Thomas & O'Miller, Inc.
14175 Old Mt. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8401
REG. ENG. LC: 000005
VISION • EXPERIENCE • RESULTS

GEOMETRY PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER
4H

T:\2019\19-239\19-239-04 Lumina Cove Village 7 Parcel 6\19-239-04_Geom.dwg



KEY MAP
N.T.S.

GENERAL NOTES:

1. SEE DRAWING NO. 2 FOR GENERAL NOTES AND LEGEND.
2. ALL DIMENSIONS ARE TO BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL PROVIDE CURB RAMPS AT ALL PLACES WHERE SIDEWALK TERMINATES INTO PAVEMENT. CURB RAMPS SHALL COMPLY WITH LATEST ADA CODE PER FDOT INDEX NO. 522-001.
4. ALL PAVEMENT MARKINGS SHALL BE EXTRUDED THERMOPLASTIC AND BE IN ACCORDANCE WITH FDOT INDEX 711-001. ALL RPM'S SHALL BE INSTALLED IN ACCORDANCE WITH FDOT INDEX 706-001.
5. STOP BARS SHALL BE LOCATED 4' MINIMUM FROM CROSSWALKS AND/OR CURB RAMPS.
6. CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO COUNTY APPROVED SITE PLAN FOR ALL LINE DIMENSIONS. ELECTRONIC FILES PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
7. BUILDING FOOTPRINT SHOWN REPRESENTS THE EXTERIOR ENVELOPE OF THE BUILDING AS RECEIVED FROM THE ARCHITECT. CONTRACTOR TO NOTIFY CIVIL ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

LEGEND

- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- MIAMI CURB & GUTTER
- STANDARD CURB & GUTTER
- DENOTES SIDEWALK TO BE CONSTRUCTED BY SITE WORK CONTRACTOR
- DENOTES SIDEWALK TO BE CONSTRUCTED BY HOME BUILDER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN 15')
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	BEARING	CHORD	DELTA
C23	1000.00'	48.75'	24.38'	S30°26'43"E	48.75'	2°47'36"
C24	1000.00'	48.75'	24.38'	N30°26'43"W	48.75'	2°47'36"
C25	1399.82'	191.59'	95.93'	N27°55'18"W	191.44'	7°50'32"
C26	300.00'	81.71'	41.11'	S73°48'09"W	81.46'	15°36'18"
C29	651.79'	336.57'	171.00'	N76°31'00"E	337.63'	31°53'00"

PLANS PREPARED UNDER THE DIRECTION OF

NEAL J.D. WILLIAMS
P.E. NUMBER - 62597

REVISIONS

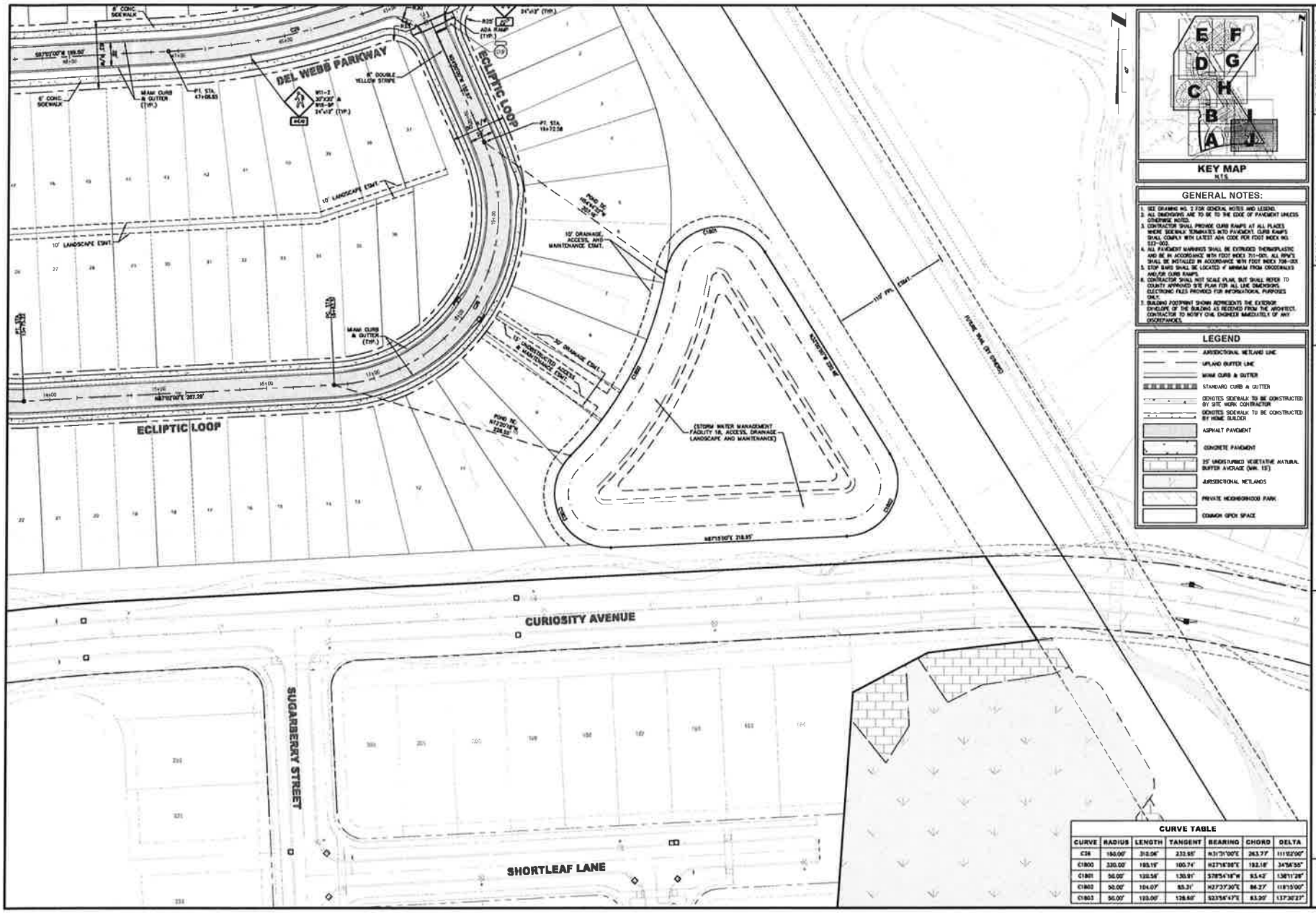
JOB NO.	19-239-3A
DRAWN BY	A.C.D.
DESIGNED BY	N.J.D.W.
CHECKED BY	N.J.D.W.
DATE	OCTOBER 2022

Employers-Thomas & Miller, Inc.
14175 Cleveland Rd, Augusta Road
Jacksonville, FL 32226
TEL: (904) 363-8000
FAX: (904) 363-8001
ETM
VISION • EXPERIENCE • RESULTS

GEOMETRY PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
4I


DEL WEBB PARKWAY
ECLIPTIC LOOP
ECLIPTIC LOOP
CURIOSITY AVENUE
SUGARBERRY STREET
SHORTLEAF LANE
10' LANDSCAPE EMT.
10' DRAINAGE, ACCESS, AND MAINTENANCE EMT.
32' DRAINAGE EMT.
15' UNOBSTRUCTED ACCESS & MAINTENANCE EMT.
(STORM WATER MANAGEMENT FACILITY 1B, ACCESS, DRAINAGE LANDSCAPE AND MAINTENANCE)
110' PPL EMT.
HIGHWAY 93 (BY OWNER)
MIAMI CURB & GUTTER (TYP.)
6' CONC. SIDEWALK
8" DOUBLE YELLOW STRIPE
ADA RAMP (TYP.)
PT. STA. 47+06.55
PT. STA. 19+72.58
POND 3A
POND 3C
POND 3D
N87°01'00"E 287.29'
N87°01'00"E 218.95'
N87°01'00"E 195.50'
R=20'
R=30'
R=25'
R=15'
R=50'
R=40'
R=35'
R=45'
R=55'
R=60'
R=65'
R=70'
R=75'
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R=160'
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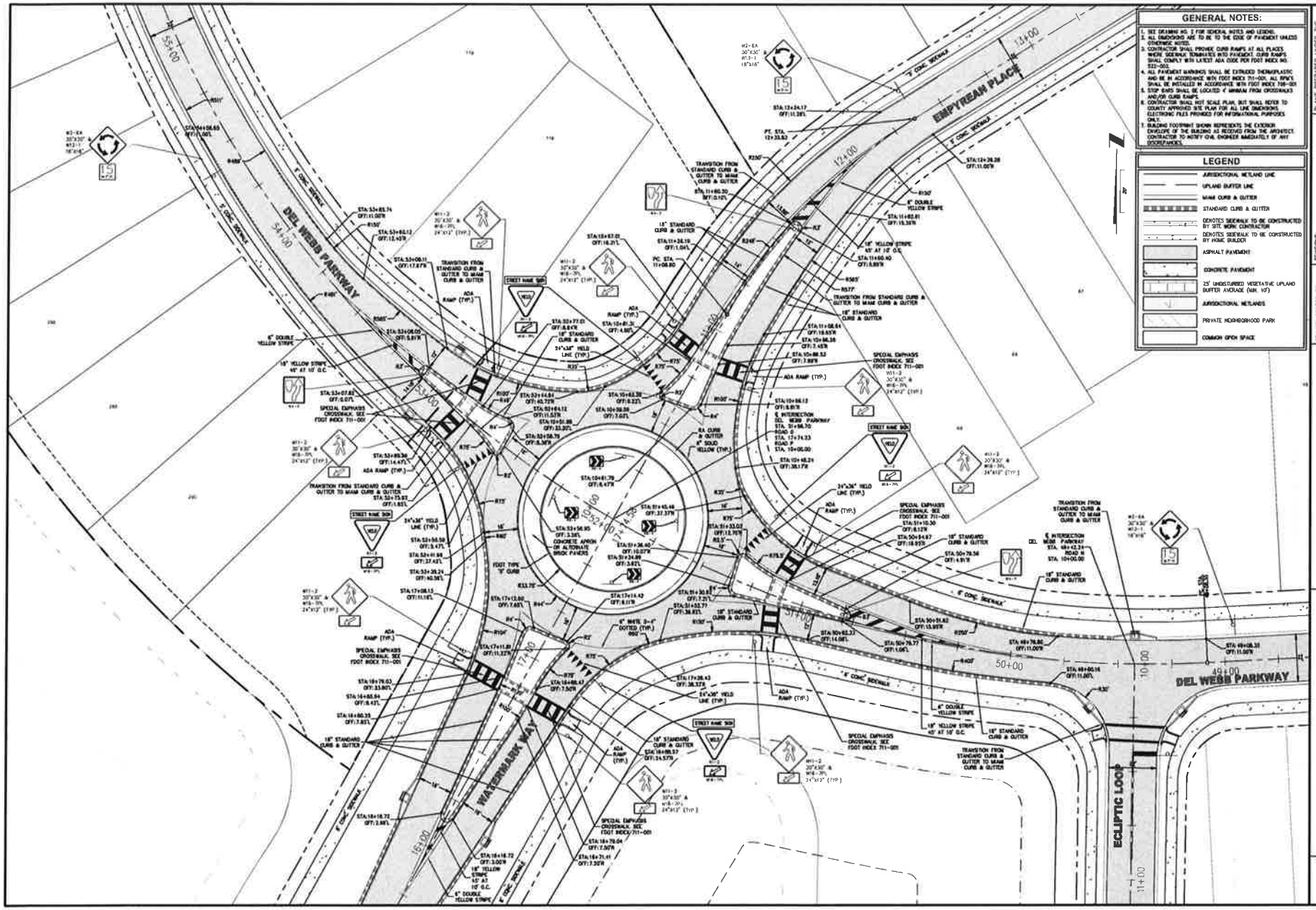
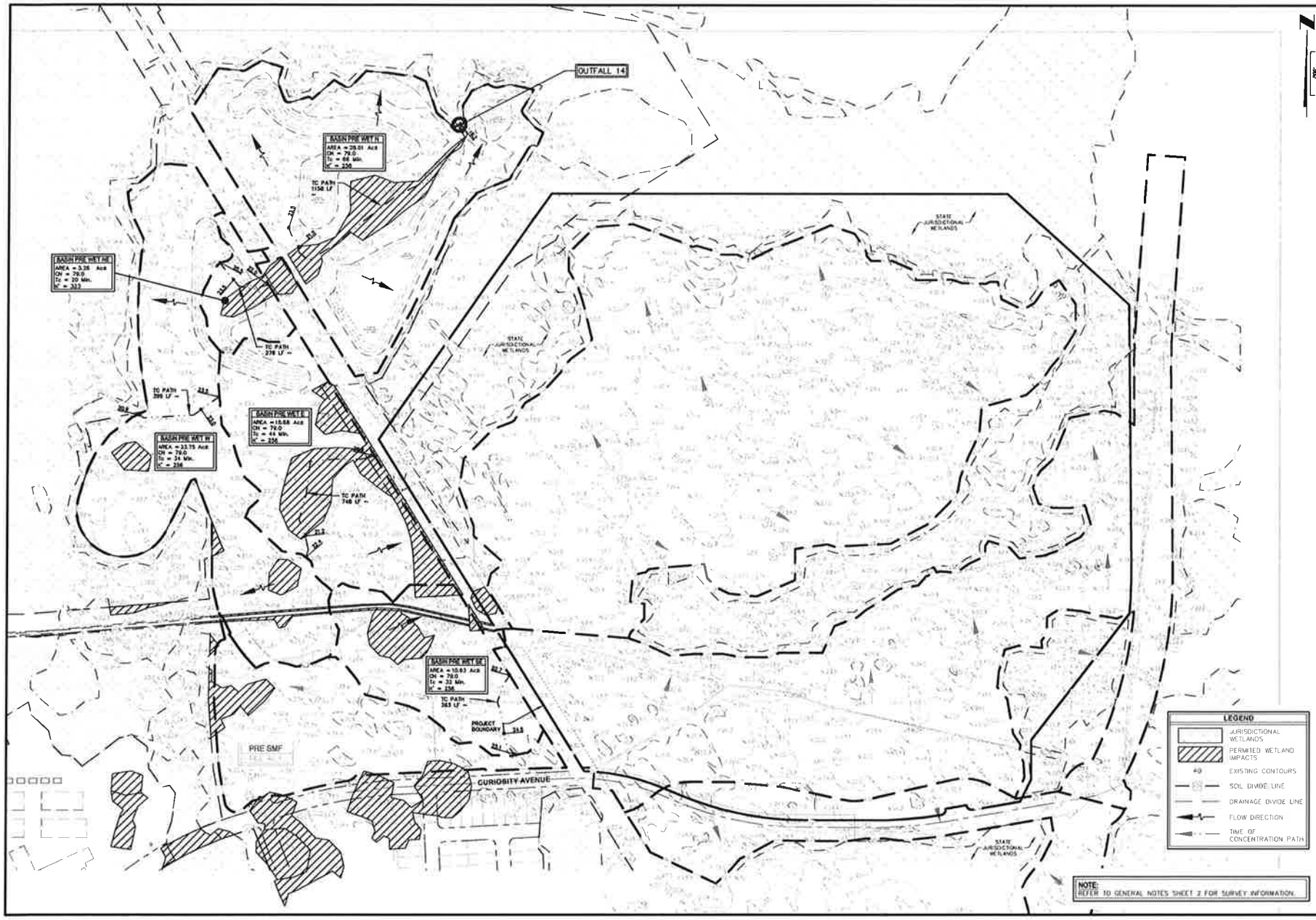
R=175'
R=180'
R=185'
R=190'
R=195'
R=200'
R=205'
R=210'
R=215'
R=220'
R=225'
R=230'
R=235'
R=240'
R=245'
R=250'


DEL WEBB PARKWAY
EMPYREAN PLACE
WATERMARK WAY
ECLIPTIC LOOP
GENERAL NOTES:
1. SEE DRAWING NO. 2 FOR GENERAL NOTES AND LEGEND.
2. ALL DIMENSIONS ARE TO BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL PROVIDE CURB RAMPS AT ALL PLACES WHERE SIDEWALK TERMINATES INTO PAVEMENT. CURB RAMPS SHALL COMPLY WITH LATEST ADA CODE PER FDOT INDEX NO. 522-002.
4. ALL PAVEMENT WARNINGS SHALL BE EXTRUDED THERMOPLASTIC AND BE IN ACCORDANCE WITH FDOT INDEX 711-001. ALL RPM'S SHALL BE INSTALLED IN ACCORDANCE WITH FDOT INDEX 706-001
5. STOP BARS SHALL BE LOCATED 4' MINIMUM FROM CROSSWALKS AND/OR CURB RAMPS.
6. CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO COUNTY APPROVED SITE PLAN FOR ALL LINE DIMENSIONS. ELECTRONIC FILES PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
7. BUILDING FOOTPRINT SHOWN REPRESENTS THE EXTERIOR ENVELOPE OF THE BUILDING AS RECEIVED FROM THE ARCHITECT. CONTRACTOR TO NOTIFY CIVIL ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
LEGEND
JURISDICTIONAL WETLAND LINE
UPLAND BUFFER LINE
MIAMI CURB & GUTTER
STANDARD CURB & GUTTER
DENOTES SIDEWALK TO BE CONSTRUCTED BY SITE WORK CONTRACTOR
DENOTES SIDEWALK TO BE CONSTRUCTED BY HOME BUILDER
ASPHALT PAVEMENT
CONCRETE PAVEMENT
25' UNDISTURBED VEGETATIVE UPLAND BUFFER AVERAGE (MIN. 10')
JURISDICTIONAL WETLANDS
PRIVATE NEIGHBORHOOD PARK
COMMON OPEN SPACE
PLANS PREPARED UNDER THE DIRECTION OF
NEAL J. MULLIGAN
REVISIONS
ETM NO. 19-238-04
DRAWN BY
DESIGNED BY
CHECKED BY
DATE OCTOBER 2022
Engineered - Thinking & Effective, Inc.
VISION • EXPERIENCE • RESULTS
ROUNDABOUT GEOMETRY PLAN
WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC
DRAWING NUMBER
4K



PLANS PREPARED UNDER THE DIRECTION OF:

SEAL: J.D. MULLICAN
P.E. LICENCE 43951

REVISIONS

Job No. 19-239-04
Drawn BY A.E.D.
DESIGNED BY K.J.S.M.
CHECKED BY K.J.S.M.
DATE OCTOBER 2022

ETM

Engineers • Planners & Surveyors, Inc.
14175 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
FACC: 7984 LC: 1900016

VISION • EXPERIENCE • RESULTS

PRE-DEVELOPMENT DRAINAGE PLAN

WILDLIGHT PDP #3 - PARCEL 7
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
5

PLOTTED: February 8, 2023 - 4:21 PM, BY: M. Grove

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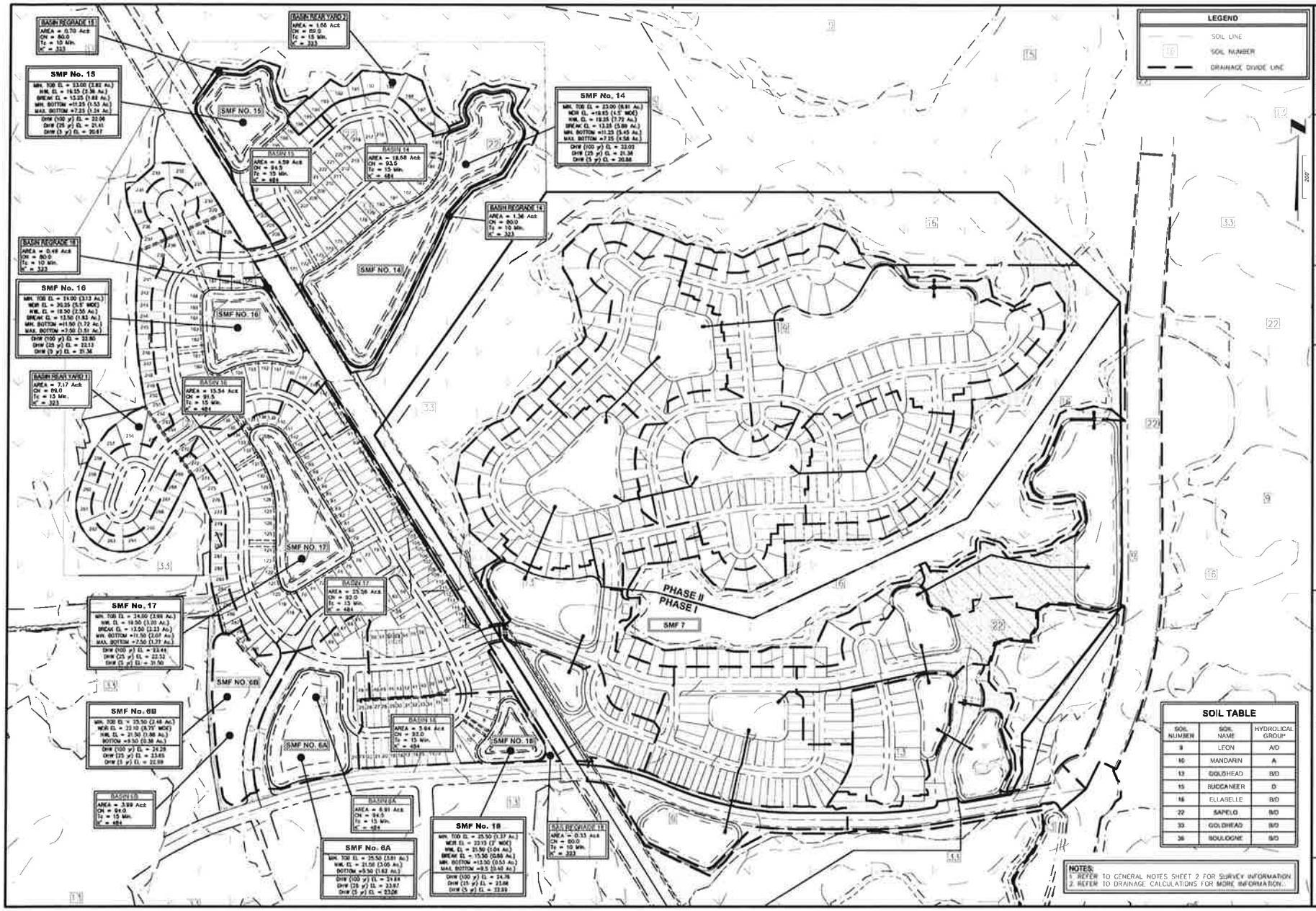

SOIL TABLE		
SOIL NUMBER	SOIL NAME	HYDROLICAL GROUP
9	LEON	A/D
10	MANDARIN	A
13	GIGLIOHEAD	B/D
15	BUCCANEER	D
16	ELLASELLE	B/D
22	SAPELO	B/D
33	GOLDHEAD	B/D
36	SOULOGNE	B/D

NOTES:
1. REFER TO GENERAL NOTES SHEET 2 FOR SURVEY INFORMATION.
2. REFER TO DRAINAGE CALCULATIONS FOR MORE INFORMATION.

PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. MILLIGAN
P.E. NUMBER 57001

REVISIONS

JOB NO.	19-238-04
DRAWN BY	A.C.D.
DESIGNED BY	N.J.M.
CHECKED BY	N.J.M.
DATE	OCTOBER 2022

ETM

Englehardt, Thibing & Milligan, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
WEB: ETM-INC.COM

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POST-DEVELOPMENT DRAINAGE PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER
6

PLOTTED: February 8, 2023 - 9:17AM BY: N. Jones

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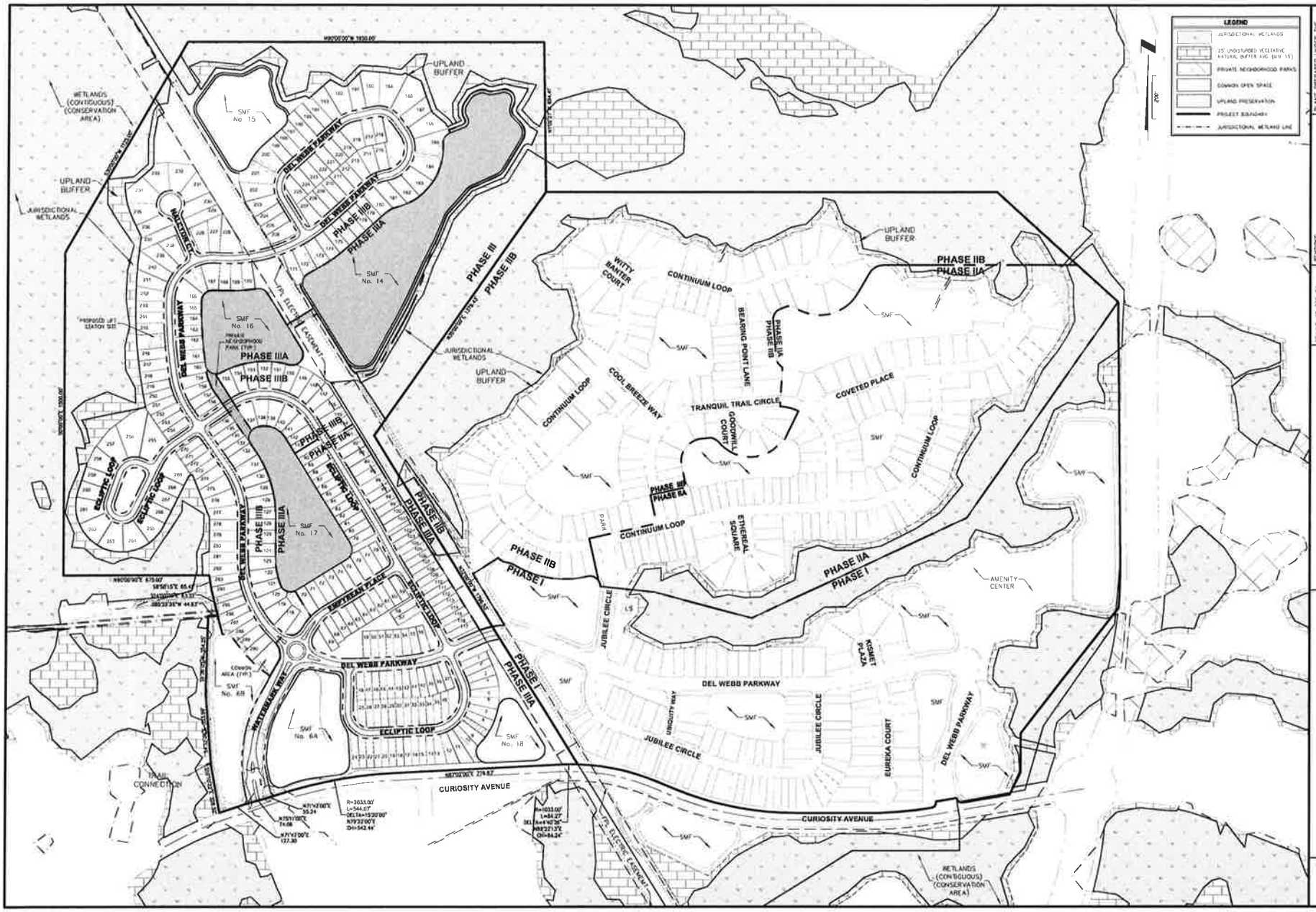

LEGEND
JURISDICTIONAL WETLANDS
25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVG. (MIN. 15')
PRIVATE NEIGHBORHOOD PARKS
COMMON OPEN SPACE
UPLAND PRESERVATION
PROJECT BOUNDARY
JURISDICTIONAL WETLAND LINE
200'
UPLAND BUFFER
WETLANDS (CONTIGUOUS) (CONSERVATION AREA)
JURISDICTIONAL WETLANDS
SMF No. 15
SMF No. 14
SMF No. 16
SMF No. 17
SMF No. 6A
SMF No. 6B
SMF No. 18
DEL WEBB PARKWAY
PHASE III
PHASE IIB
PHASE IIA
PHASE IIIA
PHASE IIIB
PHASE I
ECLIPTIC LOOP
NAUTICAL CT.
WATERMARK WAY
EMPYREAN PLACE
CURIOSITY AVENUE
TRAIL CONNECTION
PROPOSED LIFT STATION SITE
COMMON AREA (TYP.)
WITTY BANTER COURT
CONTINUUM LOOP
BEARING POINT LANE
COOL BREEZE WAY
TRANQUIL TRAIL CIRCLE
GOODWILL COURT
COVETED PLACE
ETHEREAL SQUARE
JUBILEE CIRCLE
KISMET PLAZA
EUREKA COURT
AMENITY CENTER
LS
PLANS PREPARED UNDER THE DIRECTION OF:
NEAL J.D. MULLIGAN
REGISTERED ENGINEER
REVISIONS
ETM
VISION • EXPERIENCE • RESULTS
CONSTRUCTION PHASING PLAN
WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC
DRAWING NUMBER
6A

LEGEND

- DRAINAGE DIVIDE LINE
- DRAINAGE SUB-DIVIDE LINE
- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- ASPHALT PAVEMENT
- COLLECTOR ROAD ASPHALT PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- CONCRETE PAVEMENT
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE

GENERAL NOTES:

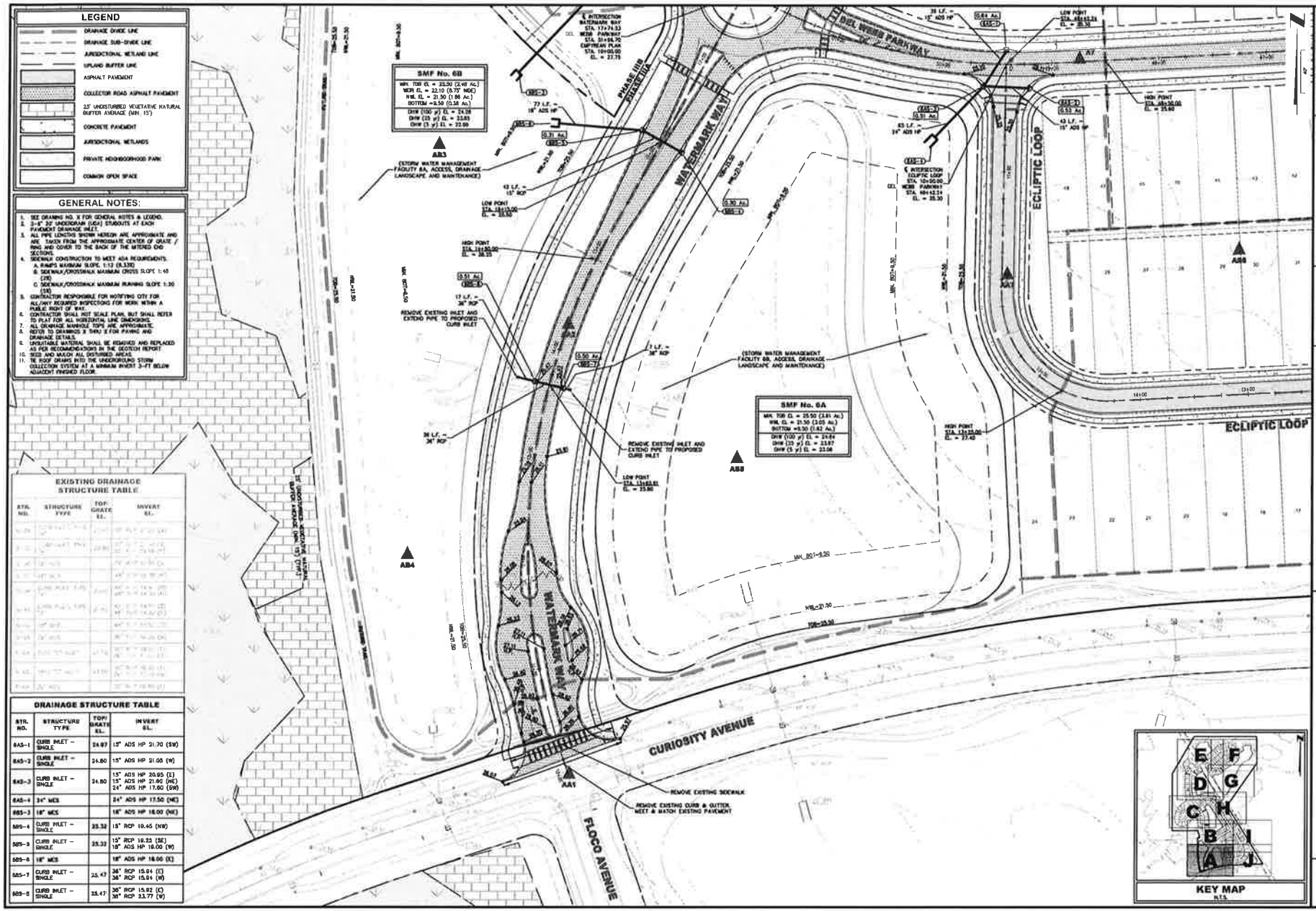
1. SEE DRAWING NO. X FOR GENERAL NOTES & LEGEND.
2. 3-8" 30' UNDERDRAIN (UDA) STUBOUTS AT EACH PAVEMENT DRAINAGE INLET.
3. ALL PIPE LENGTHS SHOWN HEREON ARE APPROXIMATE AND ARE TAKEN FROM THE APPROXIMATE CENTER OF GRATE / RING AND COVER TO THE BACK OF THE MITERED END SECTIONS.
4. SIDEWALK CONSTRUCTION TO MEET ADA REQUIREMENTS.
   A. RAMPS MAXIMUM SLOPE 1:12 (8.33%)
   B. SIDEWALK/CROSSWALK MAXIMUM CROSS SLOPE 1:48 (2%)
   C. SIDEWALK/CROSSWALK MAXIMUM RUNNING SLOPE 1:20 (5%)
5. CONTRACTOR RESPONSIBLE FOR NOTIFYING CITY FOR ALL/ANY REQUIRED INSPECTIONS FOR WORK WITHIN A PUBLIC RIGHT OF WAY.
6. CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO PLAT FOR ALL HORIZONTAL LINE DIMENSIONS.
7. ALL DRAINAGE MANHOLE TOPS ARE APPROXIMATE.
8. REFER TO DRAWINGS X THRU X FOR PAVING AND DRAINAGE DETAILS.
9. UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED AS PER RECOMMENDATIONS IN THE GEOTECH REPORT.
10. SEED AND MULCH ALL DISTURBED AREAS.
11. TIE ROOF DRAINS INTO THE UNDERGROUND STORM COLLECTION SYSTEM AT A MINIMUM INVERT 3-FT BELOW ADJACENT FINISHED FLOOR.

EXISTING DRAINAGE STRUCTURE TABLE

STR. NO.	STRUCTURE TYPE	TOP/ GRATE EL.	INVERT EL.
[illegible]	[illegible]	[illegible]	[illegible]

DRAINAGE STRUCTURE TABLE

STR. NO.	STRUCTURE TYPE	TOP/ GRATE EL.	INVERT EL.
6AS-1	CURB INLET – SINGLE	24.97	15" ADS HP 21.70 (SW)
6AS-2	CURB INLET – SINGLE	24.80	15" ADS HP 21.05 (W)
6AS-3	CURB INLET – SINGLE	24.80	15" ADS HP 20.95 (E) 15" ADS HP 21.80 (NE) 24" ADS HP 17.60 (SW)
6AS-4	24" MES		24" ADS HP 17.50 (NE)
6BS-3	18" MES		18" ADS HP 18.00 (NE)
6BS-4	CURB INLET – SINGLE	25.32	15" RCP 19.45 (NW)
6BS-5	CURB INLET – SINGLE	25.32	15" RCP 19.25 (SE) 18" ADS HP 18.00 (W)
6BS-6	18" MES		18" ADS HP 18.00 (E)
6BS-7	CURB INLET – SINGLE	25.47	36" RCP 15.04 (E) 36" RCP 15.04 (W)
6BS-8	CURB INLET – SINGLE	25.47	36" RCP 15.02 (E) 36" RCP 23.77 (W)



PLANS PREPARED UNDER THE DIRECTION OF:

SEAL AND SIGNATURE OF PE

REVISIONS

FILE NO.	19-238-04
DRAWN BY	A.C.D.
DESIGNED BY	A.D.W.
CHECKED BY	A.D.W.
DATE	OCTOBER 2022

ETM
Engineered Terra & Water, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
REG. CERT. NO. 0000016
VISION • EXPERIENCE • RESULTS

PAVING AND DRAINAGE PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
7A

PLOTTED: February 8, 2022 – 2:24 PM, BY: A. Davis

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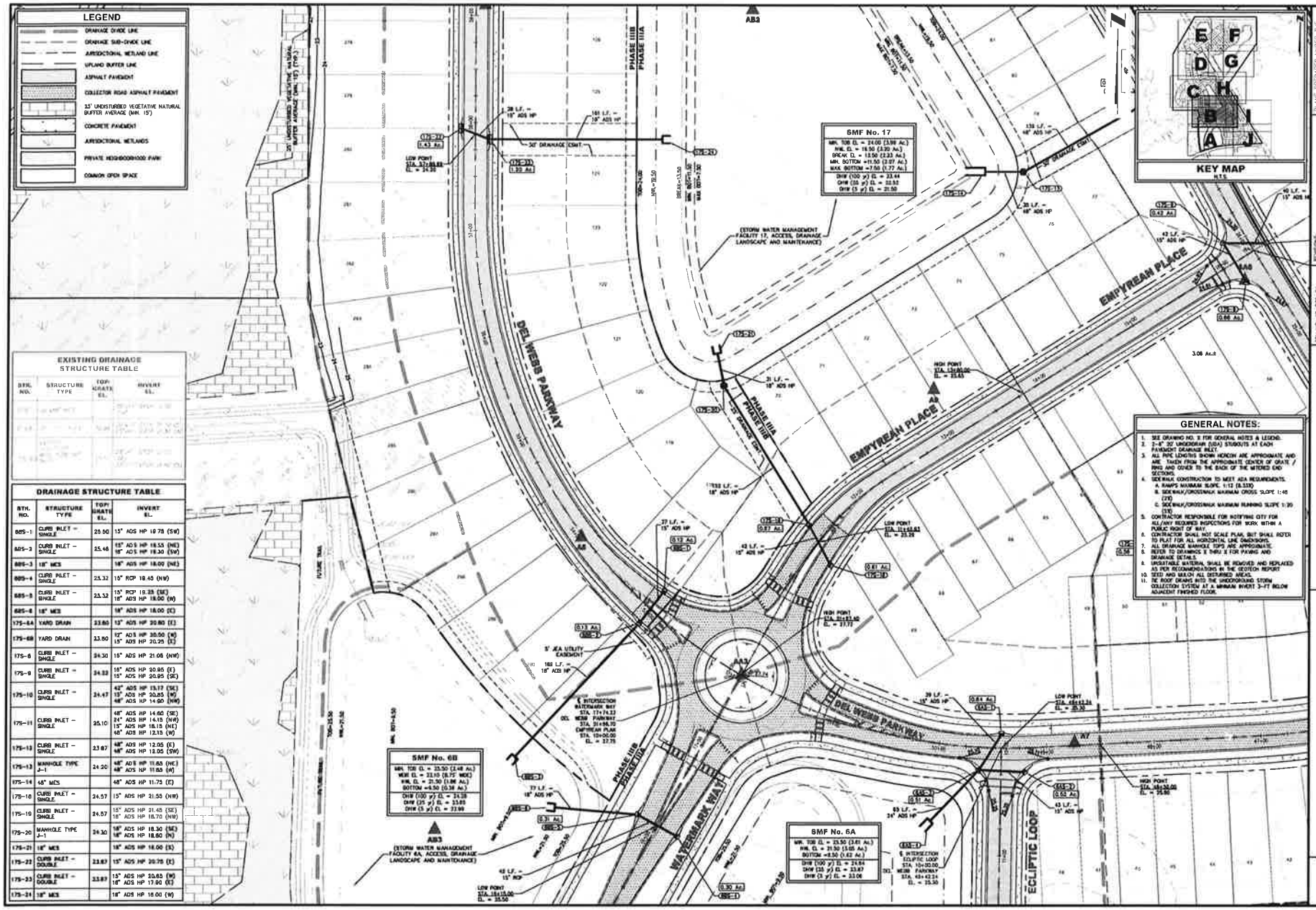

LEGEND

- DRAINAGE DIVIDE LINE
- DRAINAGE SUB-DIVIDE LINE
- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- ASPHALT PAVEMENT
- COLLECTOR ROAD ASPHALT PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- CONCRETE PAVEMENT
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE

EXISTING DRAINAGE STRUCTURE TABLE

STR. NO.	STRUCTURE TYPE	TOP/GRATE EL.	INVERT EL.

DRAINAGE STRUCTURE TABLE

STR. NO.	STRUCTURE TYPE	TOP/GRATE EL.	INVERT EL.
6DS-1	CURB INLET – SINGLE	25.50	15" ADS HP 19.75 (SW)
6DS-2	CURB INLET – SINGLE	25.46	15" ADS HP 18.55 (NE) 18" ADS HP 18.30 (SW)
6DS-3	18" MES		18" ADS HP 18.00 (NE)
6DS-4	CURB INLET – SINGLE	25.32	15" RCP 19.45 (NW)
6DS-5	CURB INLET – SINGLE	25.32	15" RCP 19.35 (SE) 18" ADS HP 18.00 (W)
6DS-6	18" MES		18" ADS HP 18.00 (E)
17S-6A	YARD DRAIN	23.80	12" ADS HP 20.80 (E)
17S-6B	YARD DRAIN	23.80	12" ADS HP 20.50 (W) 15" ADS HP 20.25 (E)
17S-8	CURB INLET – SINGLE	24.30	15" ADS HP 21.05 (NW)
17S-9	CURB INLET – SINGLE	24.33	15" ADS HP 20.95 (E) 15" ADS HP 20.95 (SE)
17S-10	CURB INLET – SINGLE	24.47	48" ADS HP 13.17 (SE) 12" ADS HP 20.85 (W) 48" ADS HP 14.60 (NW)
17S-11	CURB INLET – SINGLE	25.10	48" ADS HP 14.60 (SE) 24" ADS HP 14.15 (NW) 15" ADS HP 18.15 (NE) 48" ADS HP 12.15 (W)
17S-12	CURB INLET – SINGLE	23.87	48" ADS HP 12.05 (E) 48" ADS HP 12.05 (SW)
17S-13	MANHOLE TYPE J-1	24.20	48" ADS HP 11.65 (NE) 48" ADS HP 11.65 (W)
17S-14	48" MES		48" ADS HP 11.75 (E)
17S-16	CURB INLET – SINGLE	24.57	15" ADS HP 21.55 (NW)
17S-19	CURB INLET – SINGLE	24.57	15" ADS HP 21.45 (SE) 18" ADS HP 18.70 (NW)
17S-20	MANHOLE TYPE J-1	24.30	18" ADS HP 18.30 (SE) 18" ADS HP 18.80 (N)
17S-21	18" MES		18" ADS HP 18.00 (S)
17S-22	CURB INLET – DOUBLE	23.87	15" ADS HP 20.75 (E)
17S-23	CURB INLET – DOUBLE	23.87	15" ADS HP 20.65 (W) 18" ADS HP 17.90 (E)
17S-24	18" MES		18" ADS HP 18.00 (W)

GENERAL NOTES:

1. SEE DRAWING NO. 2 FOR GENERAL NOTES & LEGEND.
2. 2-6" 20' UNDERDRAIN (UDA) STUBOUTS AT EACH PAVEMENT DRAINAGE INLET.
3. ALL PIPE LENGTHS SHOWN HEREON ARE APPROXIMATE AND ARE TAKEN FROM THE APPROXIMATE CENTER OF GRATE / RING AND COVER TO THE BACK OF THE MITERED END SECTIONS.
4. SIDEWALK CONSTRUCTION TO MEET ADA REQUIREMENTS.
   A. RAMPS MAXIMUM SLOPE 1:12 (8.33%)
   B. SIDEWALK/CROSSWALK MAXIMUM CROSS SLOPE 1:48 (2%)
   C. SIDEWALK/CROSSWALK MAXIMUM RUNNING SLOPE 1:20 (5%)
5. CONTRACTOR RESPONSIBLE FOR NOTIFYING CITY FOR ALL/ANY REQUIRED INSPECTIONS FOR WORK WITHIN A PUBLIC RIGHT OF WAY.
6. CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO PLAT FOR ALL HORIZONTAL LINE DIMENSIONS.
7. ALL DRAINAGE MANHOLE TOPS ARE APPROXIMATE.
8. REFER TO DRAWINGS 3 THRU 5 FOR PAVING AND DRAINAGE DETAILS.
9. UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED AS PER RECOMMENDATIONS IN THE GEOTECH REPORT.
10. SEED AND MULCH ALL DISTURBED AREAS.
11. RE ROOF DRAINS INTO THE UNDERDRAIN STORM COLLECTION SYSTEM AT A MINIMUM INVERT 3-FT BELOW ADJACENT FINISHED FLOOR.

PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. MULLIGAN
P.E. NUMBER 43531

PLOTTED: February 8, 2023 - 4:28 PM, BY: A. Grover

REVISIONS

File No.	19-239-04
Drawn By	A.C.G.
Designed By	N.J.D.M.
Checked By	N.J.D.M.
Date	OCTOBER 2022

Englemann Thomas & Mulligan, Inc.
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EBS: 13994 LC: 0000519

ETM
VISION • EXPERIENCE • RESULTS

PAVING AND DRAINAGE PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
7B

LEGEND

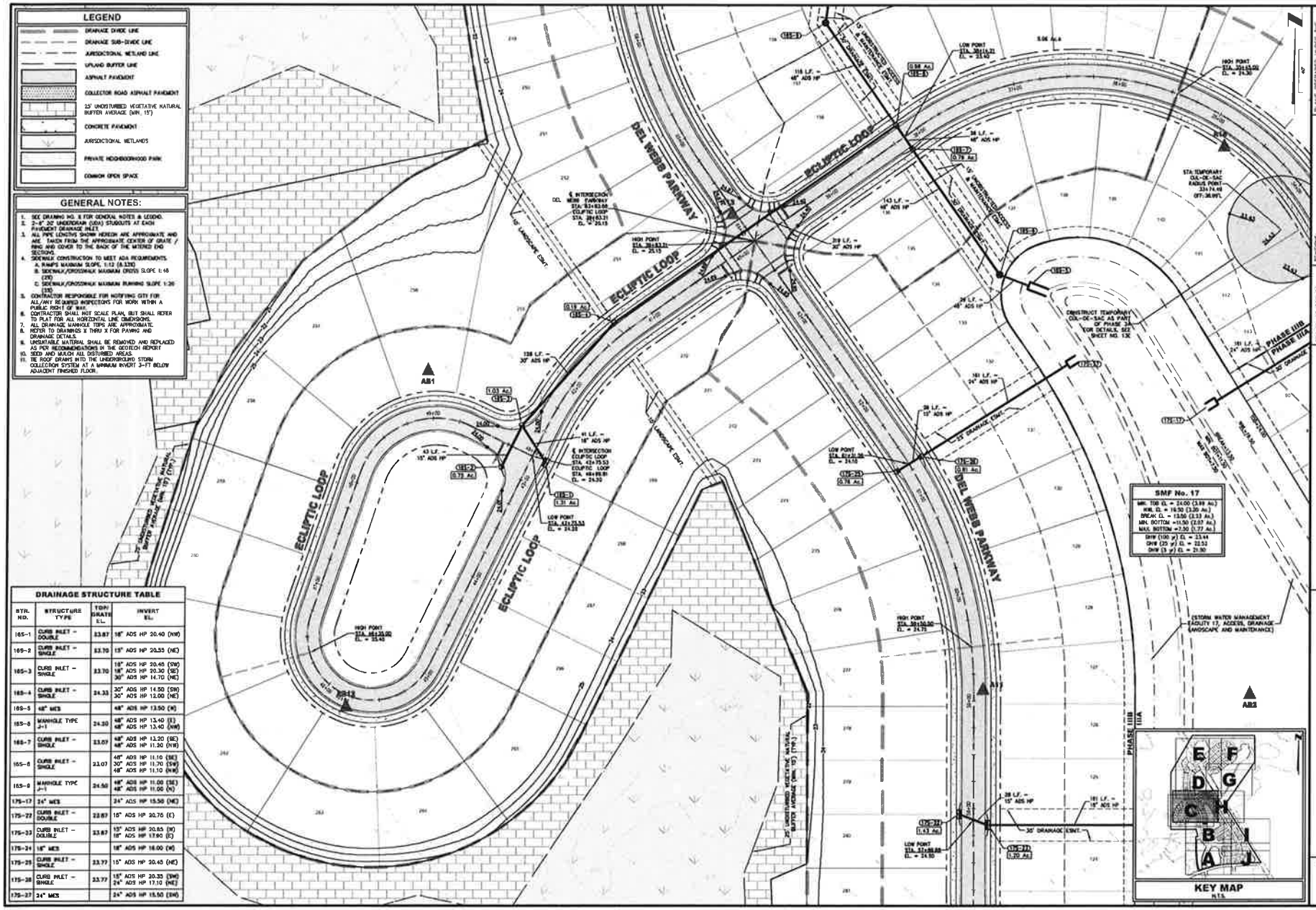
- DRAINAGE DIVIDE LINE
- DRAINAGE SUB-DIVIDE LINE
- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- ASPHALT PAVEMENT
- COLLECTOR ROAD ASPHALT PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- CONCRETE PAVEMENT
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE

GENERAL NOTES:

1. SEE DRAWING NO. 8 FOR GENERAL NOTES & LEGEND.
2. 2-8" 30' UNDERDRAIN (UDA) STUBOUTS AT EACH PAVEMENT DRAINAGE INLET.
3. ALL PIPE LENGTHS SHOWN HEREON ARE APPROXIMATE AND ARE TAKEN FROM THE APPROXIMATE CENTER OF GRATE / RING AND COVER TO THE BACK OF THE MITERED END SECTIONS.
4. SIDEWALK CONSTRUCTION TO MEET ADA REQUIREMENTS.
   A. RAMPS MAXIMUM SLOPE 1:12 (8.33%)
   B. SIDEWALK/CROSSWALK MAXIMUM CROSS SLOPE 1:48 (2%)
   C. SIDEWALK/CROSSWALK MAXIMUM RUNNING SLOPE 1:20 (5%)
5. CONTRACTOR RESPONSIBLE FOR NOTIFYING CITY FOR ALL/ANY REQUIRED INSPECTIONS FOR WORK WITHIN A PUBLIC RIGHT OF WAY.
6. CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO PLAT FOR ALL HORIZONTAL LINE DIMENSIONS.
7. ALL DRAINAGE MANHOLE TOPS ARE APPROXIMATE.
8. REFER TO DRAWINGS X THRU X FOR PAVING AND DRAINAGE DETAILS.
9. UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED AS PER RECOMMENDATIONS IN THE GEOTECH REPORT
10. SEED AND MULCH ALL DISTURBED AREAS.
11. TIE ROOF DRAINS INTO THE UNDERGROUND STORM COLLECTION SYSTEM AT A MINIMUM INVERT 3-FT BELOW ADJACENT FINISHED FLOOR.

DRAINAGE STRUCTURE TABLE

STR. NO.	STRUCTURE TYPE	TOP/ GRATE EL.	INVERT EL.
165-1	CURB INLET - DOUBLE	23.87	18" ADS HP 20.40 (NW)
165-2	CURB INLET - SINGLE	23.70	15" ADS HP 20.55 (NE)
165-3	CURB INLET - SINGLE	23.70	18" ADS HP 20.45 (SW) 18" ADS HP 20.30 (SE) 30" ADS HP 14.70 (NE)
165-4	CURB INLET - SINGLE	24.33	30" ADS HP 14.50 (SW) 30" ADS HP 12.00 (NE)
165-5	48" MES		48" ADS HP 13.50 (W)
165-6	MANHOLE TYPE J-1	24.30	48" ADS HP 13.40 (E) 48" ADS HP 13.40 (NW)
165-7	CURB INLET - SINGLE	23.07	48" ADS HP 12.20 (SE) 48" ADS HP 11.30 (NW)
165-8	CURB INLET - SINGLE	23.07	48" ADS HP 11.10 (SE) 30" ADS HP 11.70 (SW) 48" ADS HP 11.10 (NW)
165-9	MANHOLE TYPE J-1	24.50	48" ADS HP 11.00 (SE) 48" ADS HP 11.00 (N)
175-17	24" MES		24" ADS HP 15.50 (NE)
175-22	CURB INLET - DOUBLE	23.87	18" ADS HP 20.75 (E)
175-23	CURB INLET - DOUBLE	23.87	15" ADS HP 20.85 (W) 18" ADS HP 17.90 (E)
175-24	18" MES		18" ADS HP 18.00 (W)
175-25	CURB INLET - SINGLE	23.77	15" ADS HP 20.45 (NE)
175-26	CURB INLET - SINGLE	23.77	15" ADS HP 20.35 (SW) 24" ADS HP 17.10 (NE)
175-27	24" MES		24" ADS HP 15.50 (SW)



PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. MILLIGAN
P.E. NUMBER 49351

PLOTTED: February 8, 2022 - 4:26 PM, MT in Drafter

REVISIONS

FILE NO. 19-238-04
DRAWN BY: A.C.D.
DESIGNED BY: N.J.D.M.
CHECKED BY: N.J.D.M.
DATE: OCTOBER 2022

ETM
England-Thims & Miller, Inc.
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TEL: (904) 642-8550
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REG: 7284 LC-0000016
VISION • EXPERIENCE • RESULTS

PAVING AND DRAINAGE PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER

7C

LEGEND

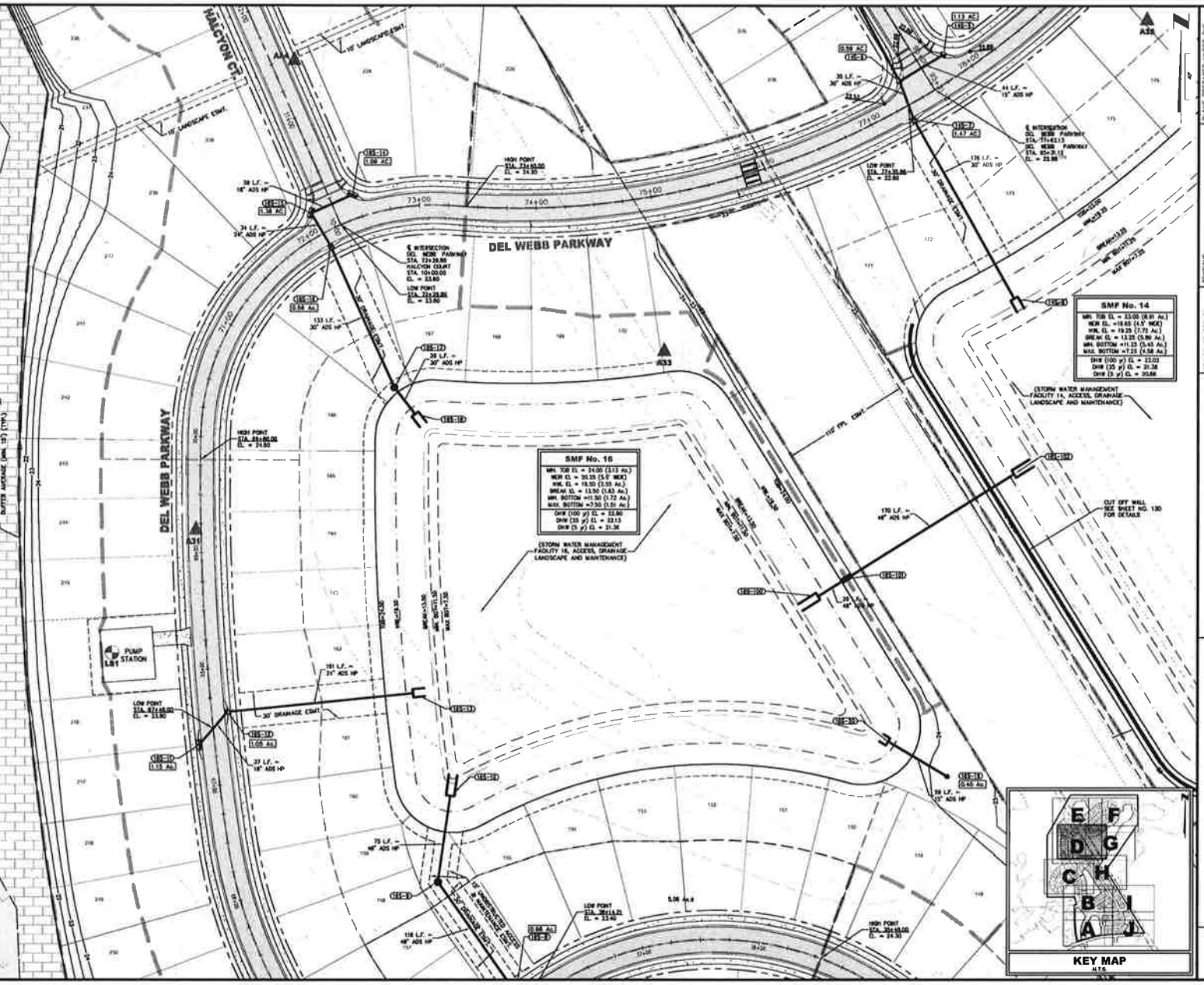
- DRAINAGE DIVIDE LINE
- DRAINAGE SUB-DIVIDE LINE
- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- ASPHALT PAVEMENT
- COLLECTOR ROAD ASPHALT PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- CONCRETE PAVEMENT
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE

GENERAL NOTES:

1. SEE DRAWING NO. 8 FOR GENERAL NOTES & LEGEND.
2. 2-4" DIP UNDERDRAIN (UDA) STUBOUTS AT EACH PAVEMENT DRAINAGE INLET.
3. ALL PIPE LENGTHS SHOWN HEREON ARE APPROXIMATE AND ARE TAKEN FROM THE APPROXIMATE CENTER OF GRATE / RING AND COVER TO THE BACK OF THE MITERED END SECTIONS.
4. SIDEWALK CONSTRUCTION TO MEET ADA REQUIREMENTS.
   A. RAMPS MAXIMUM SLOPE 1:12 (8.33%)
   B. SIDEWALK/CROSSWALK MAXIMUM CROSS SLOPE 1:48 (2%)
   C. SIDEWALK/CROSSWALK MAXIMUM RUNNING SLOPE 1:20 (5%)
5. CONTRACTOR RESPONSIBLE FOR NOTIFYING CITY FOR ALL/ANY REQUIRED INSPECTIONS FOR WORK WITHIN A PUBLIC RIGHT OF WAY.
6. CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO PLAT FOR ALL HORIZONTAL LINE DIMENSIONS.
7. ALL DRAINAGE MANHOLE TOPS ARE APPROXIMATE.
8. REFER TO DRAWINGS 8 THRU 8 FOR PAVING AND DRAINAGE DETAILS.
9. UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED AS PER RECOMMENDATIONS IN THE GEOTECH REPORT
10. SEED AND MULCH ALL DISTURBED AREAS.
11. TIE ROOF DRAINS INTO THE UNDERGROUND STORM COLLECTION SYSTEM AT A MINIMUM INVERT 3-FT BELOW ADJACENT FINISHED FLOOR.

DRAINAGE STRUCTURE TABLE

STR. NO.	STRUCTURE TYPE	TOP/ GRATE EL.	INVERT EL.
145-5	CURB INLET – SINGLE	22.35	15" ADS HP 18.60 (SW)
145-6	CURB INLET – SINGLE	22.35	24" ADS HP 13.00 (NW) 15" ADS HP 18.50 (NE) 30" ADS HP 10.90 (S)
145-7	CURB INLET – SINGLE	22.47	30" ADS HP 10.70 (N) 30" ADS HP 10.70 (SE)
145-8	30" MES		30" ADS HP 10.50 (NW)
165-9	MANHOLE TYPE J-1	24.50	48" ADS HP 11.00 (SE) 48" ADS HP 11.00 (N)
165-10	48" MES		48" ADS HP 10.90 (S)
165-11	CURB INLET – DOUBLE	23.47	18" ADS HP 18.90 (NE)
165-12	CURB INLET – SINGLE	23.47	18" ADS HP 18.80 (SW) 24" ADS HP 18.80 (E)
165-13	24" MES		24" ADS HP 15.00 (W)
165-14	CURB INLET – DOUBLE	23.30	18" ADS HP 18.80 (SW)
165-15	CURB INLET – DOUBLE	23.30	24" ADS HP 18.20 (NE) 18" ADS HP 18.70 (NE)
165-16	CURB INLET – SINGLE	23.47	24" ADS HP 18.10 (NW) 30" ADS HP 18.00 (SE)
165-17	MANHOLE TYPE J-1	24.20	30" ADS HP 15.80 (NW) 30" ADS HP 15.80 (SE)
165-18	30" MES		30" ADS HP 15.00 (NW)
165-19	YARD DRAIN	23.30	15" ADS HP 18.33 (NW)
165-20	15" MES		15" ADS HP 18.75 (SE)
165-100	48" MES		48" ADS HP 13.50 (NE)
165-101	CONTROL STRUCTURE SEE SHEET 13D FOR DETAIL	24.00	48" ADS HP 18.00 (SW) 48" ADS HP 18.00 (NE)
165-102	48" MES		48" ADS HP 13.75 (SW)
175-150	YARD DRAIN	22.85	12" ADS HP 20.00 (SE)



PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. MALLICAN
(U.S. NUMBER 43551)

REVISIONS

FILE NO. 19-238-04	
DRAWN BY A.C.D.	
DESIGNED BY N.J.M.	
CHECKED BY N.J.M.	
DATE OCTOBER 2022	

ETM

England-Thims & Miller, Inc.
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EMAIL: ETM@ETM.PRO
REG. 3994 LC-000016

VISION • EXPERIENCE • RESULTS

PAVING AND DRAINAGE PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER

7D

PLOTTED February 8, 2023 – 4:29 PM BY: M. Dwyer

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LEGEND

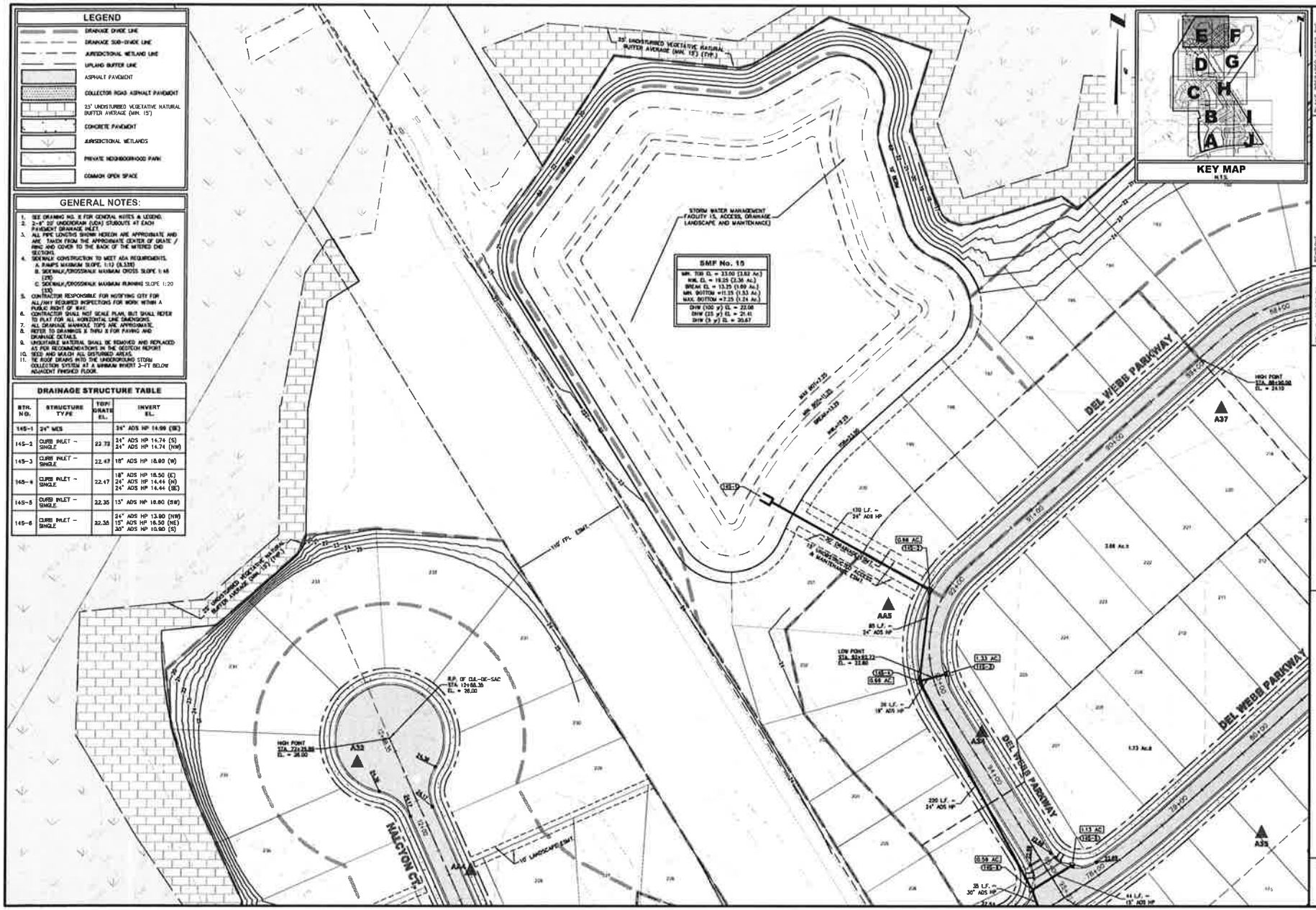
- DRAINAGE DIVIDE LINE
- DRAINAGE SUB-DIVIDE LINE
- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- ASPHALT PAVEMENT
- COLLECTOR ROAD ASPHALT PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- CONCRETE PAVEMENT
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE

GENERAL NOTES:

1. SEE DRAWING NO. 2E FOR GENERAL NOTES & LEGEND.
2. 2-6" 25' UNDERDRAIN (UDA) STUBOUTS AT EACH PAVEMENT DRAINAGE INLET.
3. ALL PIPE LENGTHS SHOWN HEREON ARE APPROXIMATE AND ARE TAKEN FROM THE APPROXIMATE CENTER OF GRATE / RING AND COVER TO THE BACK OF THE MITERED END SECTIONS.
4. SIDEWALK CONSTRUCTION TO MEET ADA REQUIREMENTS.
   A. RAMPS MAXIMUM SLOPE 1:12 (8.33%)
   B. SIDEWALK/CROSSWALK MAXIMUM CROSS SLOPE 1:48 (2%)
   C. SIDEWALK/CROSSWALK MAXIMUM RUNNING SLOPE 1:20 (5%)
5. CONTRACTOR RESPONSIBLE FOR NOTIFYING CITY FOR ALL/ANY REQUIRED INSPECTIONS FOR WORK WITHIN A PUBLIC RIGHT OF WAY.
6. CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO PLAT FOR ALL HORIZONTAL LINE DIMENSIONS.
7. ALL DRAINAGE MANHOLE TOPS ARE APPROXIMATE.
8. REFER TO DRAWINGS X THRU X FOR PAVING AND DRAINAGE DETAILS.
9. UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED AS PER RECOMMENDATIONS IN THE GEOTECH REPORT
10. SEED AND MULCH ALL DISTURBED AREAS.
11. TIE ROOF DRAINS INTO THE UNDERGROUND STORM COLLECTION SYSTEM AT A MINIMUM INVERT 3-FT BELOW ADJACENT FINISHED FLOOR.

DRAINAGE STRUCTURE TABLE

STR. NO.	STRUCTURE TYPE	TOP/ GRATE EL.	INVERT EL.
14S-1	24" MES		24" ADS HP 14.99 (SE)
14S-2	CURB INLET – SINGLE	22.72	24" ADS HP 14.74 (S) 24" ADS HP 14.74 (NW)
14S-3	CURB INLET – SINGLE	22.47	18" ADS HP 18.80 (W)
14S-4	CURB INLET – SINGLE	22.47	18" ADS HP 18.50 (E) 24" ADS HP 14.44 (N) 24" ADS HP 14.44 (SE)
14S-5	CURB INLET – SINGLE	22.35	15" ADS HP 18.80 (SW)
14S-6	CURB INLET – SINGLE	22.35	24" ADS HP 13.90 (NW) 15" ADS HP 16.50 (NE) 30" ADS HP 10.90 (S)



PLANS PREPARED UNDER THE DIRECTION OF:

NICAL J.D. MULLIGAN
P.E. NUMBER 46250

REVISIONS

JOB NO.	19-239-04
DRAWN BY	A.C.C.
DESIGNED BY	N.J.D.M.
CHECKED BY	N.J.D.M.
DATE	OCTOBER 2022

ETM
Engineered Thinking & Effective, Inc.
13376 Cleveland Avenue
Fort Myers, FL 33907
TELEPHONE: (239) 768-0600
FAX: (239) 768-0605
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VISION • EXPERIENCE • RESULTS

PAVING AND DRAINAGE PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER

7E

MODIFIED February 8, 2023 - 4:19 PM BY: M. Grafer

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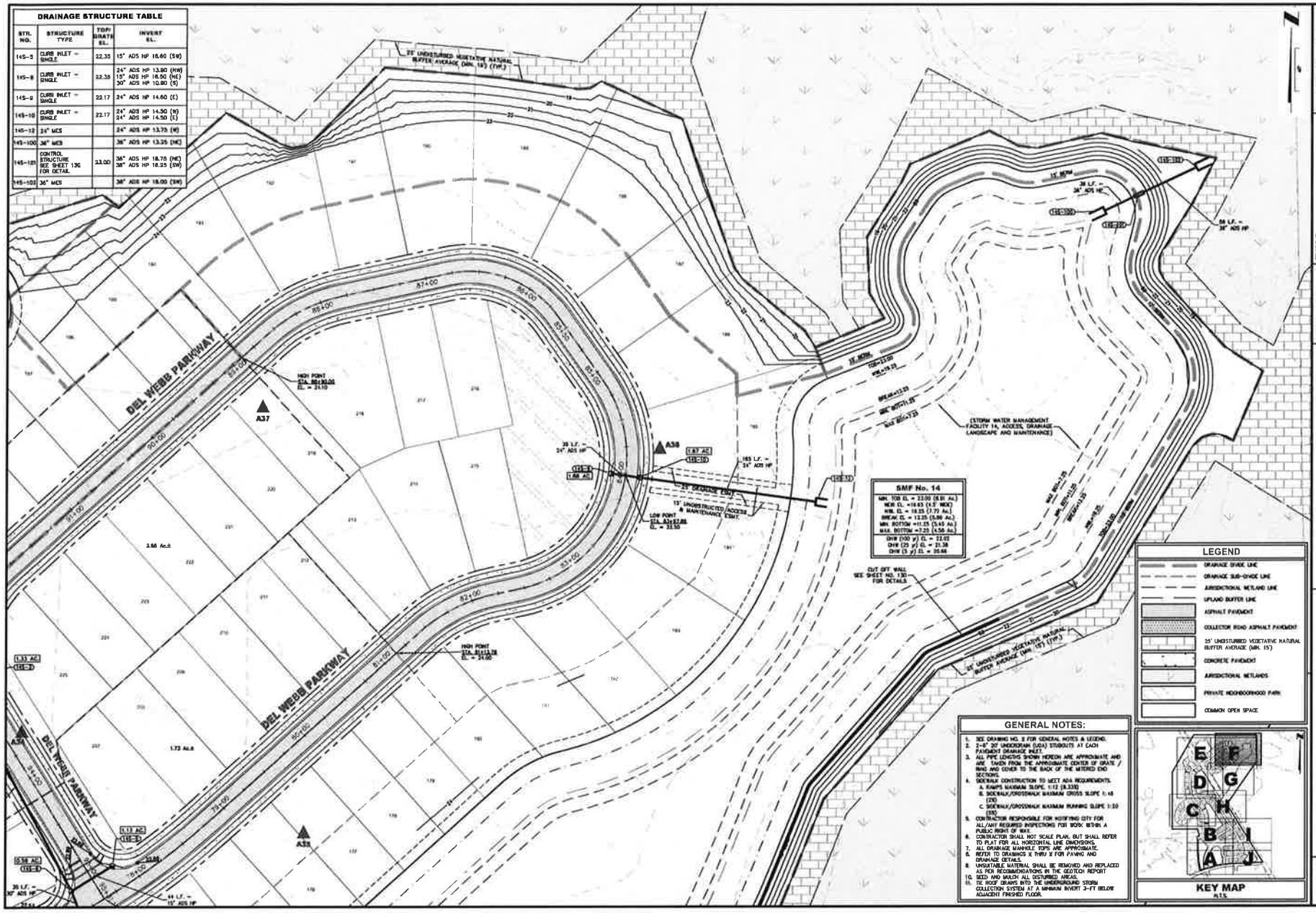
DRAINAGE STRUCTURE TABLE

STR. NO.	STRUCTURE TYPE	TOP/GRATE EL.	INVERT EL.
145-5	CURB INLET - SINGLE	22.35	15" ADS HP 18.60 (SW)
145-8	CURB INLET - SINGLE	22.35	24" ADS HP 13.90 (NW) 15" ADS HP 18.50 (NE) 30" ADS HP 10.80 (S)
145-9	CURB INLET - SINGLE	22.17	24" ADS HP 14.60 (E)
145-10	CURB INLET - SINGLE	22.17	24" ADS HP 14.50 (W) 24" ADS HP 14.50 (E)
145-12	24" MES		24" ADS HP 13.75 (W)
145-100	36" MES		36" ADS HP 13.25 (NE)
145-101	CONTROL STRUCTURE SEE SHEET 13G FOR DETAIL	23.00	36" ADS HP 18.75 (NE) 36" ADS HP 18.25 (SW)
145-102	36" MES		36" ADS HP 18.00 (SW)



GENERAL NOTES:

1. SEE DRAWING NO. 2 FOR GENERAL NOTES & LEGEND.
2. 2-Ø" 20' UNDERDRAIN (UDA) STUBOUTS AT EACH PAVEMENT DRAINAGE INLET.
3. ALL PIPE LENGTHS SHOWN HEREON ARE APPROXIMATE AND ARE TAKEN FROM THE APPROXIMATE CENTER OF GRATE / RING AND CENTER TO THE BACK OF THE MITERED END SECTIONS.
4. SIDEWALK CONSTRUCTION TO MEET ADA REQUIREMENTS.
   A. RAMPS MAXIMUM SLOPE 1:12 (8.33%)
   B. SIDEWALK/CROSSWALK MAXIMUM CROSS SLOPE 1:48 (2%)
   C. SIDEWALK/CROSSWALK MAXIMUM RUNNING SLOPE 1:20 (5%)
5. CONTRACTOR RESPONSIBLE FOR NOTIFYING CITY FOR ALL/ANY REQUIRED INSPECTIONS FOR WORK WITHIN A PUBLIC RIGHT OF WAY.
6. CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO PLAT FOR ALL HORIZONTAL LINE DIMENSIONS.
7. ALL DRAINAGE MANHOLE TOPS ARE APPROXIMATE.
8. REFER TO DRAWINGS X THRU X FOR PAVING AND DRAINAGE DETAILS.
9. UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED AS PER RECOMMENDATIONS IN THE GEOTECH REPORT
10. SEED AND MULCH ALL DISTURBED AREAS.
11. TIE ROOF DRAINS INTO THE UNDERGROUND STORM COLLECTION SYSTEM AT A MINIMUM INVERT 3-FT BELOW ADJACENT FINISHED FLOOR.

PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J. D. MULLIGAN
REG. NO. 19-239-04

REVISIONS

JOB NO.	19-239-04
DRAWN BY	A.C.D.
DESIGNED BY	N.J.D.M.
CHECKED BY	N.J.D.M.
DATE	OCTOBER 2022

ETM
Engineering, Planning & Testing, Inc.
10775 Gray Rd., Augusta Road
Jacksonville, FL 32256
PH.: (904) 363-8000
FAX: (904) 363-8001
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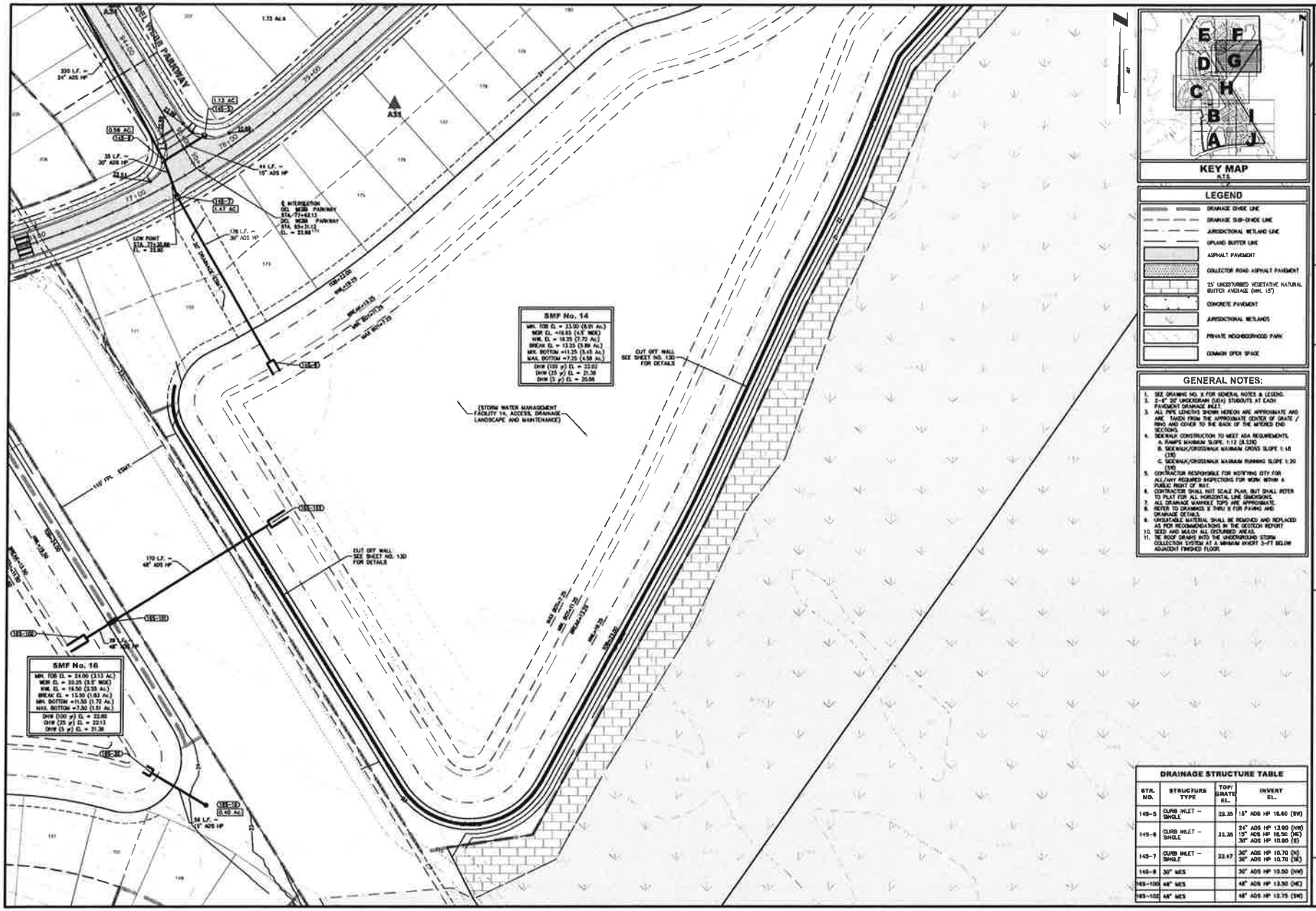
VISION • EXPERIENCE • RESULTS

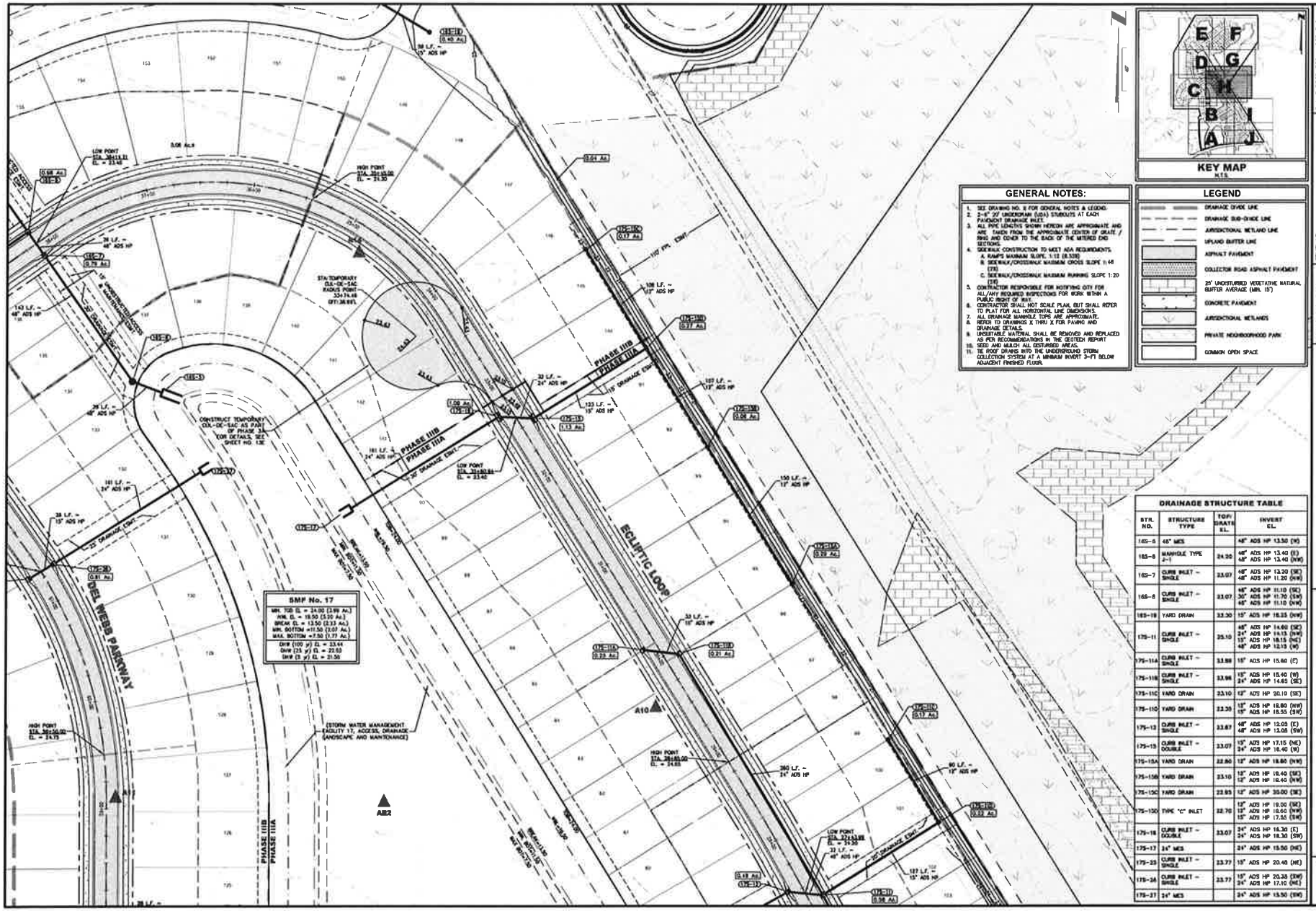
PAVING AND DRAINAGE PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
7F

PLOTTED: February 8, 2023 - 4:29 PM, BY: Al Grover


SMF No. 14
MIN. TOB EL = 23.00 (8.01 Ac.)
MOR EL. =16.63 (4.5' MOE)
MAX. EL = 16.25 (7.72 Ac.)
BREAK EL = 13.35 (3.99 Ac.)
MIN. BOTTOM =11.25 (3.45 Ac.)
MAX. BOTTOM =7.25 (4.58 Ac.)
DHW (100 yr) EL = 23.03
DHW (25 yr) EL = 21.36
DHW (5 yr) EL = 20.06
SMF No. 16
MIN. TOB EL = 24.00 (1.13 Ac.)
MOR EL = 20.25 (3.5' MOE)
MAX. EL = 19.50 (2.55 Ac.)
BREAK EL = 15.30 (1.63 Ac.)
MIN. BOTTOM =11.30 (1.72 Ac.)
MAX. BOTTOM =7.50 (1.51 Ac.)
DHW (100 yr) EL = 22.60
DHW (25 yr) EL = 22.13
DHW (5 yr) EL = 21.36
(STORM WATER MANAGEMENT FACILITY 14, ACCESS, DRAINAGE, LANDSCAPE AND MAINTENANCE)
CUT OFF WALL SEE SHEET NO. 13D FOR DETAILS
CUT OFF WALL SEE SHEET NO. 13D FOR DETAILS
DEL WEBB PARKWAY
30' DRAINAGE EASEMENT
110' PPL EASMT.
320 L.F. - 24" ADS HP
35 L.F. - 30" ADS HP
44 L.F. - 15" ADS HP
136 L.F. - 30" ADS HP
170 L.F. - 48" ADS HP
38 L.F. - 48" ADS HP
34 L.F. - 15" ADS HP
LOW POINT STA. 77+30.86 EL = 22.80
℄ INTERSECTION DEL WEBB PARKWAY STA. 77+42.13 DEL WEBB PARKWAY STA. 65+31.17, EL. = 22.84'
1.13 AC
0.56 AC
1.47 AC
0.40 AC
1.73 Ac.±
A33
A34
KEY MAP
NTS
LEGEND
DRAINAGE DIVIDE LINE
DRAINAGE SUB-DIVIDE LINE
JURISDICTIONAL WETLAND LINE
UPLAND BUFFER LINE
ASPHALT PAVEMENT
COLLECTOR ROAD ASPHALT PAVEMENT
25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
CONCRETE PAVEMENT
JURISDICTIONAL WETLANDS
PRIVATE NEIGHBORHOOD PARK
COMMON OPEN SPACE
GENERAL NOTES:
1. SEE DRAWING NO. X FOR GENERAL NOTES & LEGEND.
2. 2-6" 20' UNDERDRAIN (UD4) STUBOUTS AT EACH PAVEMENT DRAINAGE INLET.
3. ALL PIPE LENGTHS SHOWN HEREON ARE APPROXIMATE AND ARE TAKEN FROM THE APPROXIMATE CENTER OF GRATE / RING AND COVER TO THE BACK OF THE MITERED END SECTIONS.
4. SIDEWALK CONSTRUCTION TO MEET ADA REQUIREMENTS.
A. RAMPS MAXIMUM SLOPE 1:12 (8.33%)
B. SIDEWALK/CROSSWALK MAXIMUM CROSS SLOPE 1:48 (2%)
C. SIDEWALK/CROSSWALK MAXIMUM RUNNING SLOPE 1:20 (5%)
5. CONTRACTOR RESPONSIBLE FOR NOTIFYING CITY FOR ALL/ANY REQUIRED INSPECTIONS FOR WORK WITHIN A PUBLIC RIGHT OF WAY.
6. CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO PLAT FOR ALL HORIZONTAL LINE DIMENSIONS.
7. ALL DRAINAGE MANHOLE TOPS ARE APPROXIMATE.
8. REFER TO DRAWINGS X THRU X FOR PAVING AND DRAINAGE DETAILS.
9. UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED AS PER RECOMMENDATIONS IN THE GEOTECH REPORT
10. SEED AND MULCH ALL DISTURBED AREAS.
11. TIE ROOF DRAINS INTO THE UNDERGROUND STORM COLLECTION SYSTEM AT A MINIMUM INVERT 3-FT BELOW ADJACENT FINISHED FLOOR.
DRAINAGE STRUCTURE TABLE
STR. NO. | STRUCTURE TYPE | TOP/GRATE EL. | INVERT EL.
145-5 | CURB INLET – SINGLE | 23.35 | 15" ADS HP 18.60 (SW)
145-6 | CURB INLET – SINGLE | 23.35 | 24" ADS HP 13.90 (NW) 15" ADS HP 16.50 (NE) 36" ADS HP 10.90 (S)
145-7 | CURB INLET – SINGLE | 22.47 | 30" ADS HP 10.70 (N) 36" ADS HP 10.70 (SE)
145-8 | 30" MES | | 30" ADS HP 10.50 (NW)
145-100 | 48" MES | | 48" ADS HP 13.50 (NE)
145-102 | 48" MES | | 48" ADS HP 12.75 (SW)
PLANS PREPARED UNDER THE DIRECTION OF:
SEAL J.D. MILLIGAN
REVISIONS
FILE NO. 19-238-04
DRAWN BY A.G.D.
DESIGNED BY N.J.M
CHECKED BY N.J.M
DATE OCTOBER 2022
ETM
England-Theisen & Miller, Inc.
VISION • EXPERIENCE • RESULTS
PAVING AND DRAINAGE PLAN
WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC
DRAWING NUMBER
7G



KEY MAP
N.T.S.

GENERAL NOTES:

1. SEE DRAWING NO. 2 FOR GENERAL NOTES & LEGEND.
2. 2-6" 20' UNDERDRAIN (UDA) STUBOUTS AT EACH PAVEMENT DRAINAGE INLET.
3. ALL PIPE LENGTHS SHOWN HEREON ARE APPROXIMATE AND ARE TAKEN FROM THE APPROXIMATE CENTER OF GRATE / RING AND CENTER TO THE BACK OF THE MITERED END SECTIONS.
4. SIDEWALK CONSTRUCTION TO MEET ADA REQUIREMENTS
   A. RAMPS MAXIMUM SLOPE, 1:12 (8.33%)
   B. SIDEWALK/CROSSWALK MAXIMUM CROSS SLOPE 1:48 (2%)
   C. SIDEWALK/CROSSWALK MAXIMUM RUNNING SLOPE 1:20 (5%)
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10. SEED AND MULCH ALL DISTURBED AREAS.
11. TIE ROOF DRAINS INTO THE UNDERGROUND STORM COLLECTION SYSTEM AT A MINIMUM INVERT 3-FT BELOW ADJACENT FINISHED FLOOR.

LEGEND

- DRAINAGE DIVIDE LINE
- DRAINAGE SUB-DIVIDE LINE
- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- ASPHALT PAVEMENT
- COLLECTOR ROAD ASPHALT PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- CONCRETE PAVEMENT
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE

DRAINAGE STRUCTURE TABLE

STR. NO.	STRUCTURE TYPE	TOP/GRATE EL.	INVERT EL.
165-6	48" MES		48" ADS HP 13.50 (W)
165-8	MANHOLE TYPE 2-1	24.26	48" ADS HP 13.40 (E) 48" ADS HP 13.40 (NW)
165-7	CURB INLET - SINGLE	23.07	48" ADS HP 13.20 (SE) 48" ADS HP 11.20 (NW)
165-8	CURB INLET - SINGLE	23.07	48" ADS HP 11.10 (SE) 36" ADS HP 11.70 (SW) 48" ADS HP 11.10 (NW)
169-19	YARD DRAIN	23.30	15" ADS HP 18.25 (NW)
175-11	CURB INLET - SINGLE	25.10	48" ADS HP 14.60 (SE) 24" ADS HP 14.13 (NW) 15" ADS HP 18.15 (NE) 48" ADS HP 12.13 (W)
175-11A	CURB INLET - SINGLE	23.88	15" ADS HP 15.60 (E)
175-11B	CURB INLET - SINGLE	23.96	15" ADS HP 15.40 (W) 24" ADS HP 14.65 (SE)
175-11C	YARD DRAIN	23.10	12" ADS HP 20.10 (SE)
175-11D	YARD DRAIN	23.30	12" ADS HP 18.80 (NW) 15" ADS HP 18.55 (SW)
175-12	CURB INLET - SINGLE	23.87	48" ADS HP 12.05 (E) 48" ADS HP 13.05 (SW)
175-13	CURB INLET - DOUBLE	23.07	15" ADS HP 17.15 (NE) 24" ADS HP 16.40 (W)
175-13A	YARD DRAIN	22.80	12" ADS HP 18.80 (NW)
175-13B	YARD DRAIN	23.10	12" ADS HP 18.40 (SE) 12" ADS HP 18.40 (NW)
175-13C	YARD DRAIN	23.95	12" ADS HP 20.00 (SE)
175-13D	TYPE "C" INLET	22.70	12" ADS HP 19.00 (SE) 12" ADS HP 18.60 (NW) 15" ADS HP 17.55 (SW)
175-18	CURB INLET - DOUBLE	23.07	24" ADS HP 16.35 (E) 24" ADS HP 16.30 (SW)
175-17	24" MES		24" ADS HP 13.50 (NE)
175-23	CURB INLET - SINGLE	23.77	15" ADS HP 20.45 (NE)
175-24	CURB INLET - SINGLE	23.77	15" ADS HP 20.38 (SW) 24" ADS HP 17.10 (NE)
175-27	24" MES		24" ADS HP 13.50 (SW)

PLANS PREPARED UNDER THE DIRECTION OF:

SEAL/LID HOLDER
P.E. NUMBER: 43551

REVISIONS

JOB NO.	19-239-04
DRAWN BY	A.C.D.
DESIGNED BY	N.J.W.
CHECKED BY	N.J.W.
DATE	OCTOBER 2023

Engineer: Thiele & Tiller, Inc.
14175 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 645-9400
FAX: (904) 645-9401
REG. CERT. NO. 3984

ETM
VISION • EXPERIENCE • RESULTS

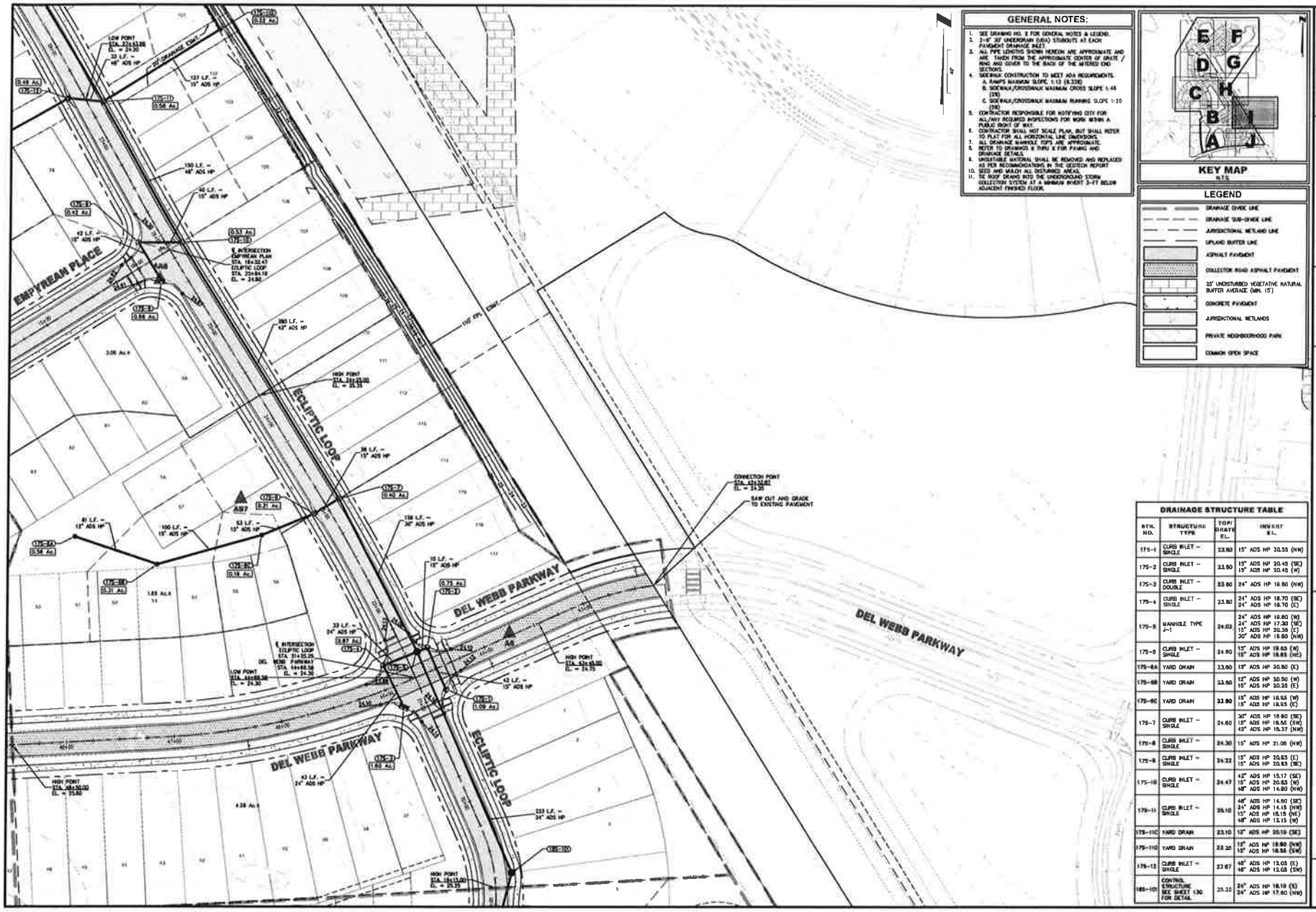
PAVING AND DRAINAGE PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
7H

PLOTTED: February 9, 2023 - 4:26 PM, BY: Al Garcia

C:\2019\19-239\19-239-04\Location\Design\Final\Version 6\19-239-04_7H.dwg



GENERAL NOTES:

1. SEE DRAWING NO. 2 FOR GENERAL NOTES & LEGEND.
2. 3-6" 30' UNDERGRAIN (UDA) STUBOUTS AT EACH PAVEMENT DRAINAGE INLET.
3. ALL PIPE LENGTHS SHOWN HEREON ARE APPROXIMATE AND ARE TAKEN FROM THE APPROXIMATE CENTER OF GRATE / RING AND COVER TO THE BACK OF THE MITERED END SECTIONS.
4. SIDEWALK CONSTRUCTION TO MEET ADA REQUIREMENTS.
   A. RAMPS MAXIMUM SLOPE 1:12 (8.33%)
   B. SIDEWALK/CROSSWALK MAXIMUM CROSS SLOPE 1:48 (2%)
   C. SIDEWALK/CROSSWALK MAXIMUM RUNNING SLOPE 1:20 (5%)
5. CONTRACTOR RESPONSIBLE FOR NOTIFYING CITY FOR ALL/ANY REQUIRED INSPECTIONS FOR WORK WITHIN A PUBLIC RIGHT OF WAY.
6. CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO PLAT FOR ALL HORIZONTAL LINE DIMENSIONS.
7. ALL DRAINAGE MANHOLE TOPS ARE APPROXIMATE.
8. REFER TO DRAWINGS 8 THRU 8 FOR PAVING AND DRAINAGE DETAILS.
9. UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED AS PER RECOMMENDATIONS IN THE GEOTECH REPORT
10. SEED AND MULCH ALL DISTURBED AREAS.
11. TIE ROOF DRAINS INTO THE UNDERGROUND STORM COLLECTION SYSTEM AT A MINIMUM INVERT 3-FT BELOW ADJACENT FINISHED FLOOR.

KEY MAP

N.T.S.

LEGEND

- DRAINAGE DIVIDE LINE
- DRAINAGE SUB-DIVIDE LINE
- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- ASPHALT PAVEMENT
- COLLECTOR ROAD ASPHALT PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- CONCRETE PAVEMENT
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE

DRAINAGE STRUCTURE TABLE

STR. NO.	STRUCTURE TYPE	TOP/ GRATE EL.	INVERT EL.
175-1	CURB INLET – SINGLE	23.80	15" ADS HP 20.55 (NW)
175-2	CURB INLET – SINGLE	23.80	15" ADS HP 20.45 (SE) 15" ADS HP 20.45 (W)
175-3	CURB INLET – DOUBLE	23.80	24" ADS HP 19.80 (NW)
175-4	CURB INLET – SINGLE	23.80	24" ADS HP 18.70 (SE) 24" ADS HP 18.70 (E)
175-5	MANHOLE TYPE J-1	24.03	24" ADS HP 19.80 (W) 24" ADS HP 17.30 (SE) 15" ADS HP 20.35 (E) 30" ADS HP 18.60 (NW)
175-6	CURB INLET – SINGLE	24.80	15" ADS HP 19.65 (W) 15" ADS HP 19.65 (NE)
175-6A	YARD DRAIN	23.80	12" ADS HP 20.80 (E)
175-6B	YARD DRAIN	23.80	12" ADS HP 20.50 (W) 15" ADS HP 20.55 (E)
175-6C	YARD DRAIN	23.80	15" ADS HP 19.95 (W) 15" ADS HP 19.95 (E)
175-7	CURB INLET – SINGLE	24.60	30" ADS HP 18.80 (SE) 15" ADS HP 19.55 (SW) 42" ADS HP 15.37 (NW)
175-8	CURB INLET – SINGLE	24.30	15" ADS HP 21.05 (NW)
175-9	CURB INLET – SINGLE	24.23	15" ADS HP 20.63 (E) 15" ADS HP 20.63 (SE)
175-10	CURB INLET – SINGLE	24.47	42" ADS HP 15.17 (SE) 15" ADS HP 20.63 (W) 48" ADS HP 14.80 (NW)
175-11	CURB INLET – SINGLE	25.10	48" ADS HP 14.80 (SE) 24" ADS HP 14.15 (NW) 15" ADS HP 18.15 (NE) 48" ADS HP 13.15 (W)
175-11C	YARD DRAIN	23.10	12" ADS HP 20.10 (SE)
175-11D	YARD DRAIN	23.25	12" ADS HP 18.80 (NW) 15" ADS HP 18.55 (SW)
175-12	CURB INLET – SINGLE	23.67	48" ADS HP 13.05 (E) 48" ADS HP 12.05 (SW)
185-101	CONTROL STRUCTURE SEE SHEET 13G FOR DETAIL	25.25	24" ADS HP 18.18 (S) 24" ADS HP 17.80 (NW)

PLANS PREPARED UNDER THE DIRECTION OF

NEAL J.D. MULLIGAN
P.E. NUMBER - 43931

PLOTTED February 8, 2023 - 2:30 PM BY: Jo Ellen

REVISIONS

TM NO.	19-239-04
DRAWN BY	A.C.D.
DESIGNED BY	N.J.D.M.
CHECKED BY	N.J.D.M.
DATE	OCTOBER 2022

Englewood-Thomas & Tiffany, Inc.
1477 Outlet Dr. Augusta Road
Jacksonville, FL 32256
TEL: (904) 543-9400
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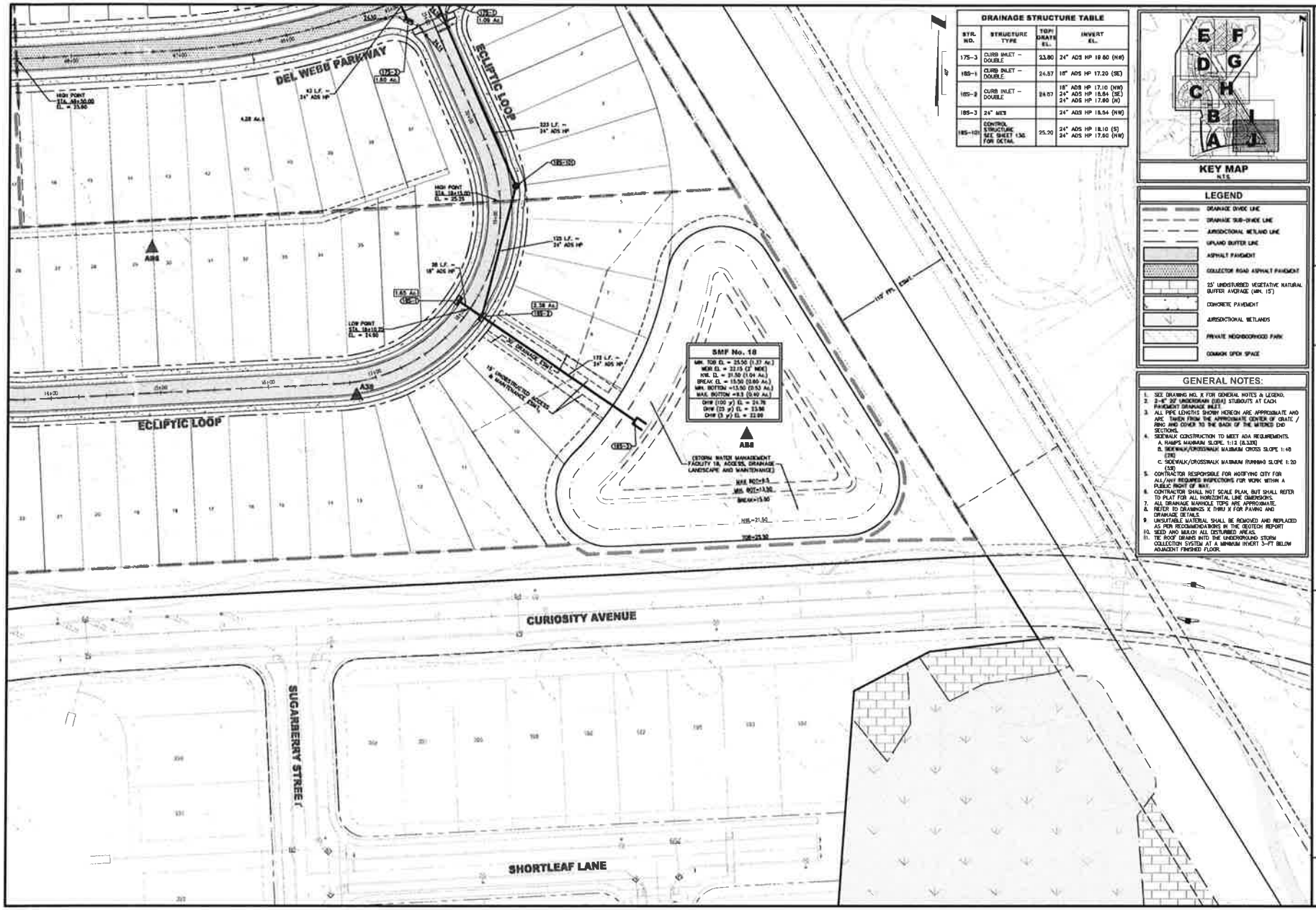
ETM
VISION • EXPERIENCE • RESULTS

PAVING AND DRAINAGE PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER

71



DRAINAGE STRUCTURE TABLE

STR. NO.	STRUCTURE TYPE	TOP/ GRATE EL.	INVERT EL.
175-3	CURB INLET - DOUBLE	23.80	24" ADS HP 19.80 (NW)
185-1	CURB INLET - DOUBLE	24.57	18" ADS HP 17.20 (SE)
185-2	CURB INLET - DOUBLE	24.57	18" ADS HP 17.10 (NW) 24" ADS HP 16.64 (SE) 24" ADS HP 17.80 (N)
185-3	24" MES		24" ADS HP 18.54 (NW)
185-10A	CONTROL STRUCTURE SEE SHEET 13G FOR DETAIL	25.20	24" ADS HP 18.10 (S) 24" ADS HP 17.60 (NW)

KEY MAP
N.T.S.

LEGEND

- DRAINAGE DIVIDE LINE
- DRAINAGE SUB-DIVIDE LINE
- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- ASPHALT PAVEMENT
- COLLECTOR ROAD ASPHALT PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- CONCRETE PAVEMENT
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE

GENERAL NOTES:

1. SEE DRAWING NO. X FOR GENERAL NOTES & LEGEND.
2. 3-4" 20' UNDERDRAIN (UDA) STUBOUTS AT EACH PAVEMENT DRAINAGE INLET.
3. ALL PIPE LENGTHS SHOWN HEREON ARE APPROXIMATE AND ARE TAKEN FROM THE APPROXIMATE CENTER OF GRATE / RING AND COVER TO THE BACK OF THE WINGS END SECTIONS.
4. SIDEWALK CONSTRUCTION TO MEET ADA REQUIREMENTS.
   A. RAMPS MAXIMUM SLOPE, 1:12 (8.33%)
   B. SIDEWALK/CROSSWALK MAXIMUM CROSS SLOPE 1:48 (2%)
   C. SIDEWALK/CROSSWALK MAXIMUM RUNNING SLOPE 1:20 (5%)
5. CONTRACTOR RESPONSIBLE FOR NOTIFYING CITY FOR ALL/ANY REQUIRED INSPECTIONS FOR WORK WITHIN A PUBLIC RIGHT OF WAY.
6. CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO PLAT FOR ALL HORIZONTAL LINE DIMENSIONS.
7. ALL DRAINAGE MANHOLE TOPS ARE APPROXIMATE.
8. REFER TO DRAWINGS X THRU X FOR PAVING AND DRAINAGE DETAILS
9. UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED AS PER RECOMMENDATIONS IN THE GEOTECH REPORT
10. SEED AND MULCH ALL DISTURBED AREAS.
11. TIE ROOF DRAINS INTO THE UNDERGROUND STORM COLLECTION SYSTEM AT A MINIMUM INVERT 3-FT BELOW ADJACENT FINISHED FLOOR.

PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. MULLIGAN
P.E. NUMBER = 90051

REVISIONS

FILE NO.	19-239-04
DRAWN BY	A.C.D.
DESIGNED BY	N.J.M.
CHECKED BY	N.J.M.
DATE	OCTOBER 2022

Engineers, Thing & Miller, Inc.
14375 Old St. Augustine Road
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WEB: ETM-INC.COM

ETM
VISION • EXPERIENCE • RESULTS

PAVING AND DRAINAGE PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
7J

POSTED: February 8, 2023 - 4:30 PM, BY: M. Drew

LOT GRADING REQUIREMENTS

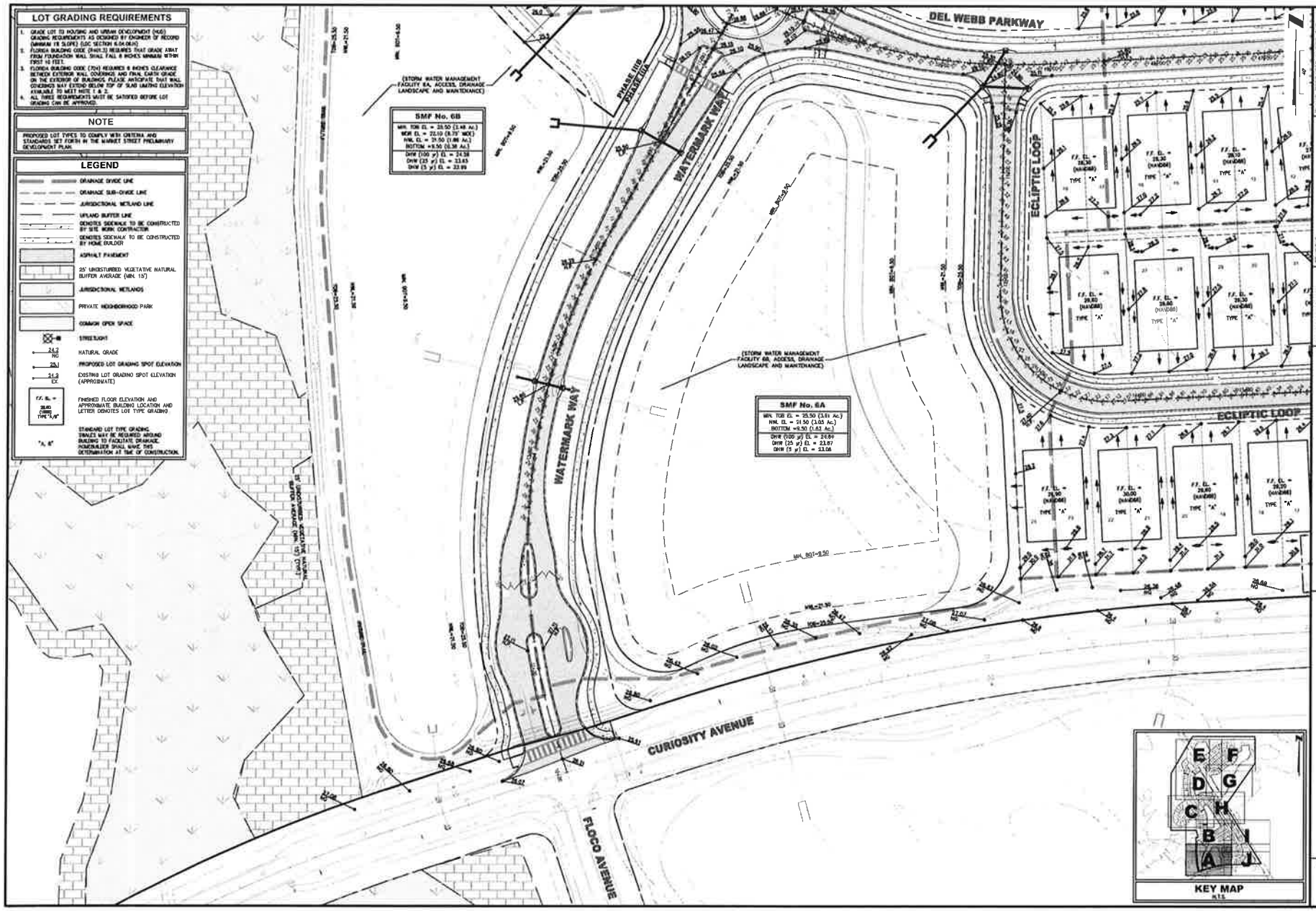
1. GRADE LOT TO HOUSING AND URBAN DEVELOPMENT (HUD) GRADING REQUIREMENTS AS DESIGNED BY ENGINEER OF RECORD (MINIMUM 1% SLOPE) (LDC SECTION 6.04.06.H)
2. FLORIDA BUILDING CODE (R401.3) REQUIRES THAT GRADE AWAY FROM FOUNDATION WALL SHALL FALL 6 INCHES MINIMUM WITHIN FIRST 10 FEET.
3. FLORIDA BUILDING CODE (704) REQUIRES 6 INCHES CLEARANCE BETWEEN EXTERIOR WALL COVERINGS AND FINAL EARTH GRADE ON THE EXTERIOR OF BUILDINGS. PLEASE ANTICIPATE THAT WALL COVERINGS MAY EXTEND BELOW TOP OF SLAB LIMITING ELEVATION AVAILABLE TO MEET NOTE 1 & 2.
4. ALL THREE REQUIREMENTS MUST BE SATISFIED BEFORE LOT GRADING CAN BE APPROVED.

NOTE

PROPOSED LOT TYPES TO COMPLY WITH CRITERIA AND STANDARDS SET FORTH IN THE MARKET STREET PRELIMINARY DEVELOPMENT PLAN.

LEGEND

- DRAINAGE DIVIDE LINE
- DRAINAGE SUB-DIVIDE LINE
- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- DENOTES SIDEWALK TO BE CONSTRUCTED BY SITE WORK CONTRACTOR
- DENOTES SIDEWALK TO BE CONSTRUCTED BY HOME BUILDER
- ASPHALT PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE
- STREETLIGHT
- 24.2 NG — NATURAL GRADE
- 25.1 — PROPOSED LOT GRADING SPOT ELEVATION
- 21.2 EX — EXISTING LOT GRADING SPOT ELEVATION (APPROXIMATE)
- F.F. EL. = 28.40 (NAVD88) TYPE "A/B" — FINISHED FLOOR ELEVATION AND APPROXIMATE BUILDING LOCATION AND LETTER DENOTES LOT TYPE GRADING
- "A, B" — STANDARD LOT TYPE GRADING SWALES MAY BE REQUIRED AROUND BUILDING TO FACILITATE DRAINAGE. HOMEBUILDER SHALL MAKE THIS DETERMINATION AT TIME OF CONSTRUCTION.



PLANS PREPARED UNDER THE DIRECTION OF
NEAL J.D. MILLIGAN
P.E. NUMBER 67551

REVISIONS

FILE NO.	19-239-04
DRAWN BY	A.C.D.
DESIGNED BY	N.J.D.M.
CHECKED BY	N.J.D.M.
DATE	OCTOBER 2022

England-Thims & Miller, Inc.
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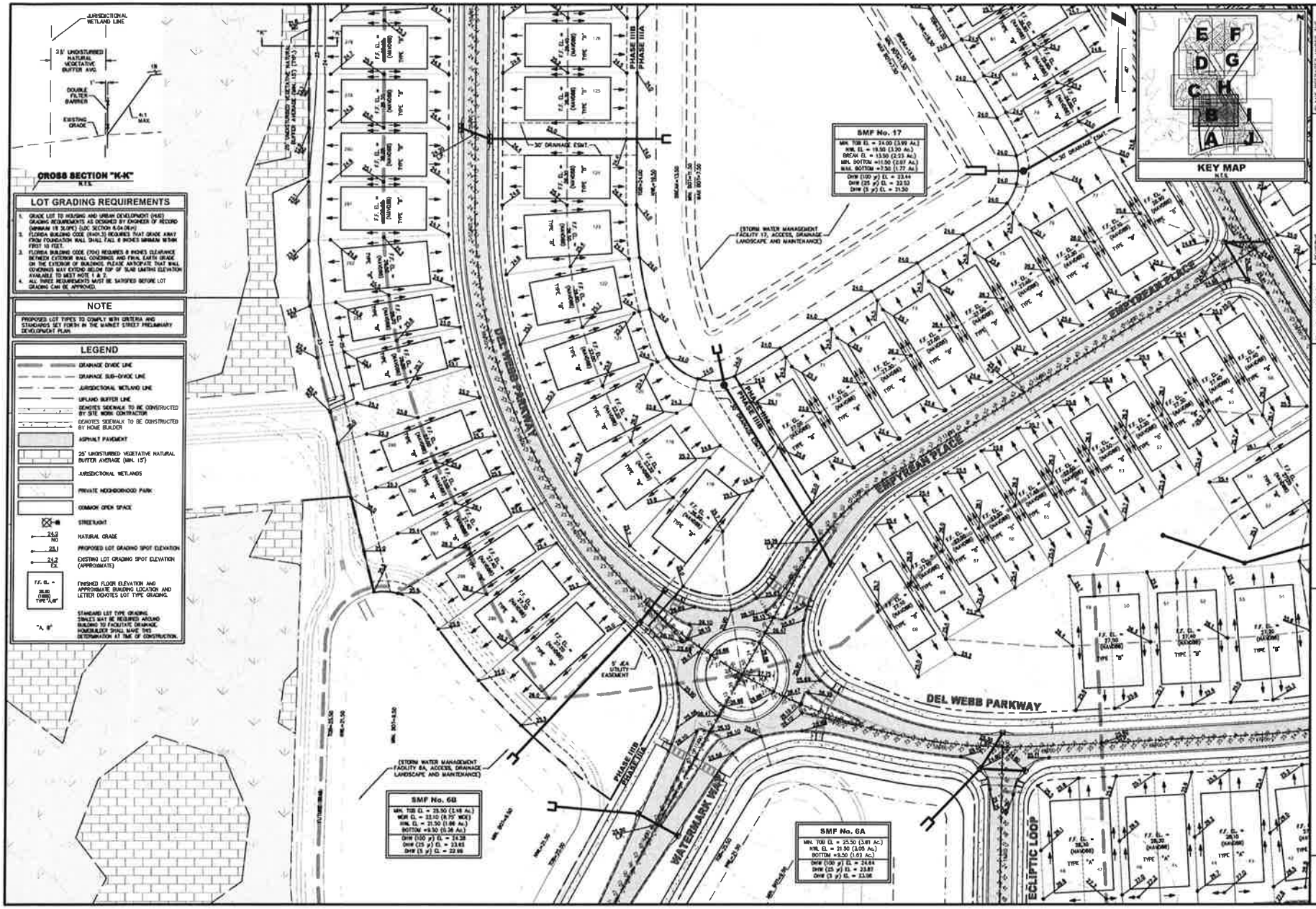
REG: EB4 LC: 0000116
ETM
VISION • EXPERIENCE • RESULTS

NEIGHBORHOOD GRADING PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
8A



PLANS PREPARED UNDER THE DIRECTION OF

NEAL J.D. MILLIGAN
P.E. NUMBER 43951

PLOTTED February 8, 2023 - 2:32 PM, BY: Al Greer

KEYSPACE

TM NO.	79-239-04
DRAWN BY	A.G.D.
DESIGNED BY	A.J.M.
CHECKED BY	N.J.M.
DATE	OCTOBER, 2022

ETM

Employers Thomas & Milligan, Inc.
14173 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
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ENG.: 7384 LC-0000016

VISION • EXPERIENCE • RESULTS

NEIGHBORHOOD GRADING PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER

8B

T:\2019\19-239\19-239-04\Landdev\Dwg\Plot\Plan 6\19-239-04_sgd.dwg

LOT GRADING REQUIREMENTS

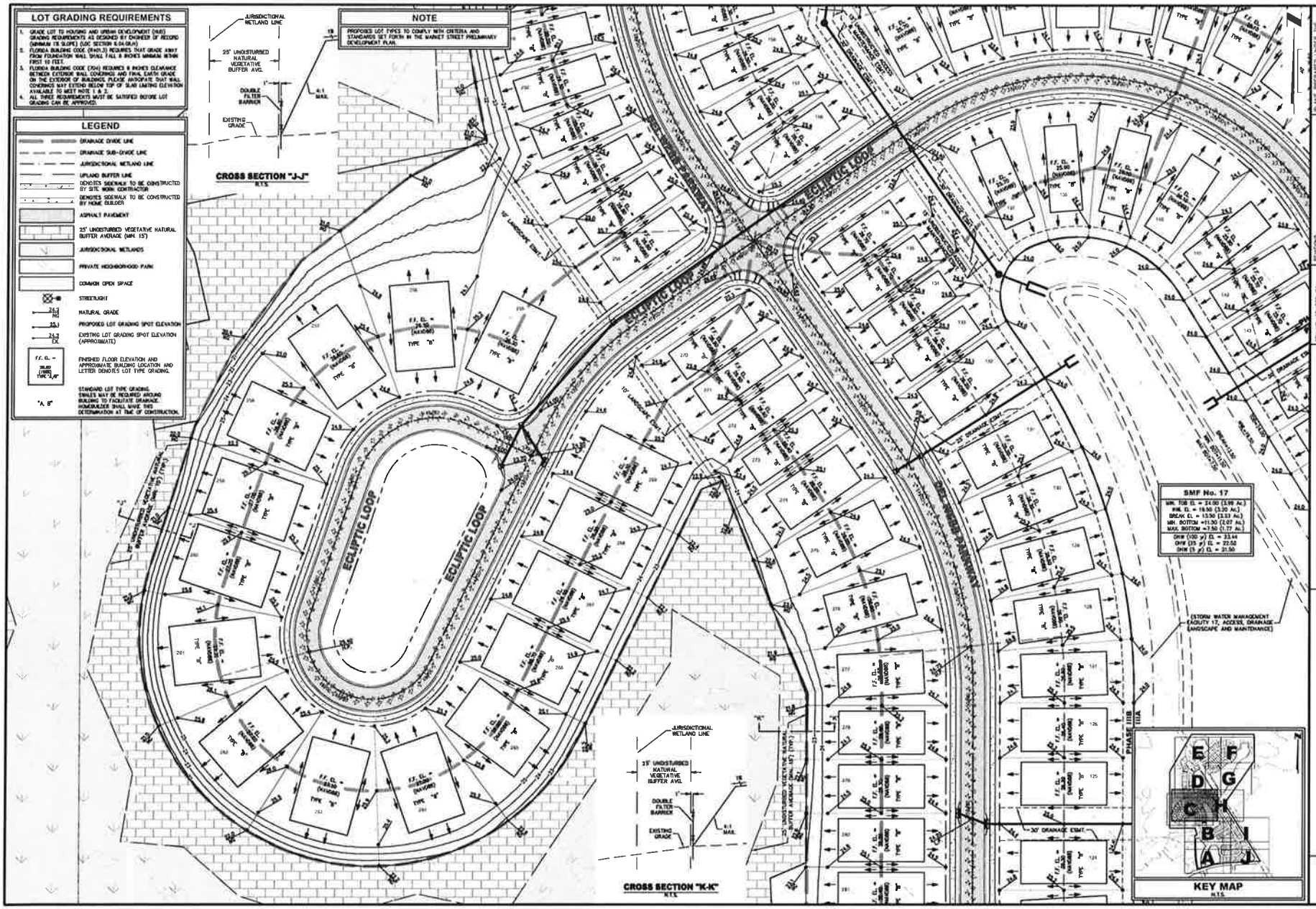
1. GRADE LOT TO HOUSING AND URBAN DEVELOPMENT (HUD) GRADING REQUIREMENTS AS DESIGNED BY ENGINEER OF RECORD (MINIMUM 1% SLOPE) (LDC SECTION 6.04.04.H)
2. FLORIDA BUILDING CODE (R401.3) REQUIRES THAT GRADE AWAY FROM FOUNDATION WALL SHALL FALL 6 INCHES MINIMUM WITHIN FIRST 10 FEET.
3. FLORIDA BUILDING CODE (704) REQUIRES 6 INCHES CLEARANCE BETWEEN EXTERIOR WALL COVERINGS AND FINAL EARTH GRADE ON THE EXTERIOR OF BUILDINGS. PLEASE INDICATE THAT WALL COVERINGS MAY EXTEND BELOW TOP OF SLAB LIMITING ELEVATION AVAILABLE TO WEST NOTE 1 & 2.
4. ALL THREE REQUIREMENTS MUST BE SATISFIED BEFORE LOT GRADING CAN BE APPROVED.

LEGEND

- DRAINAGE DIVIDE LINE
- DRAINAGE SUB-DIVIDE LINE
- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- DENOTES SIDEWALK TO BE CONSTRUCTED BY SITE WORK CONTRACTOR
- DENOTES SIDEWALK TO BE CONSTRUCTED BY HOME BUILDER
- ASPHALT PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE
- STREETLIGHT
- 24.3 NG — NATURAL GRADE
- 25.1 — PROPOSED LOT GRADING SPOT ELEVATION
- 24.2 EX. — EXISTING LOT GRADING SPOT ELEVATION (APPROXIMATE)
- F.F. G. = 25.50 (100) TYPE "A/B" — FINISHED FLOOR ELEVATION AND APPROXIMATE BUILDING LOCATION AND LETTER DENOTES LOT TYPE GRADING.
- "A, B" — STANDARD LOT TYPE GRADING. SWALES MAY BE REQUIRED AROUND BUILDING TO FACILITATE DRAINAGE. HOMEBUILDER SHALL MAKE THIS DETERMINATION AT TIME OF CONSTRUCTION.

NOTE

PROPOSED LOT TYPES TO COMPLY WITH CRITERIA AND STANDARDS SET FORTH IN THE MARKET STREET PRELIMINARY DEVELOPMENT PLAN.



PLANS PREPARED UNDER THE DIRECTION OF

NEAL J.D. MULLIGAN
P.E. NUMBER 43531

REVISIONS

F.W. NO.	19-228-04
DRAWN BY	A.D.D.
DESIGNED BY	N.J.D.M.
CHECKED BY	N.J.D.M.
DATE	OCTOBER 2022

ETM
Englehardt Thomas & Mulligan, Inc.
1773 Cox St. Augusta Road
Jacksonville, FL 32205
TEL: (904) 845-4800
FAX: (904) 845-4801
REG. CBM - LB - 0000216
VISION • EXPERIENCE • RESULTS

NEIGHBORHOOD GRADING PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER

8C

PLOTTED February 8, 2023 - 4:22 PM BY: A. Drew

LOT GRADING REQUIREMENTS

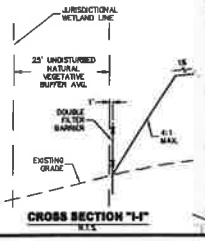
1. GRADE LOT TO HOUSING AND URBAN DEVELOPMENT (HUD) GRADING REQUIREMENTS AS DEMANDED BY ENGINEER OF RECORD (MINIMUM 1% SLOPE) (LDC SECTION 6.04.06.H)
2. FLORIDA BUILDING CODE (R401.3) REQUIRES THAT GRADE AWAY FROM FOUNDATION WALL SHALL FALL 6 INCHES MINIMUM WITHIN FIRST 10 FEET.
3. FLORIDA BUILDING CODE (704) REQUIRES 6 INCHES CLEARANCE BETWEEN EXTERIOR WALL COVERINGS AND FINAL EARTH GRADE ON THE EXTERIOR OF BUILDINGS. FLEXIBLE APRONS THAT WALL COVERINGS MAY EXTEND BELOW TOP OF SLAB LIMITING ELEVATION AVAILABLE TO MEET NOTE 1 & 2.
4. ALL THREE REQUIREMENTS MUST BE SATISFIED BEFORE LOT GRADING CAN BE APPROVED.

NOTE

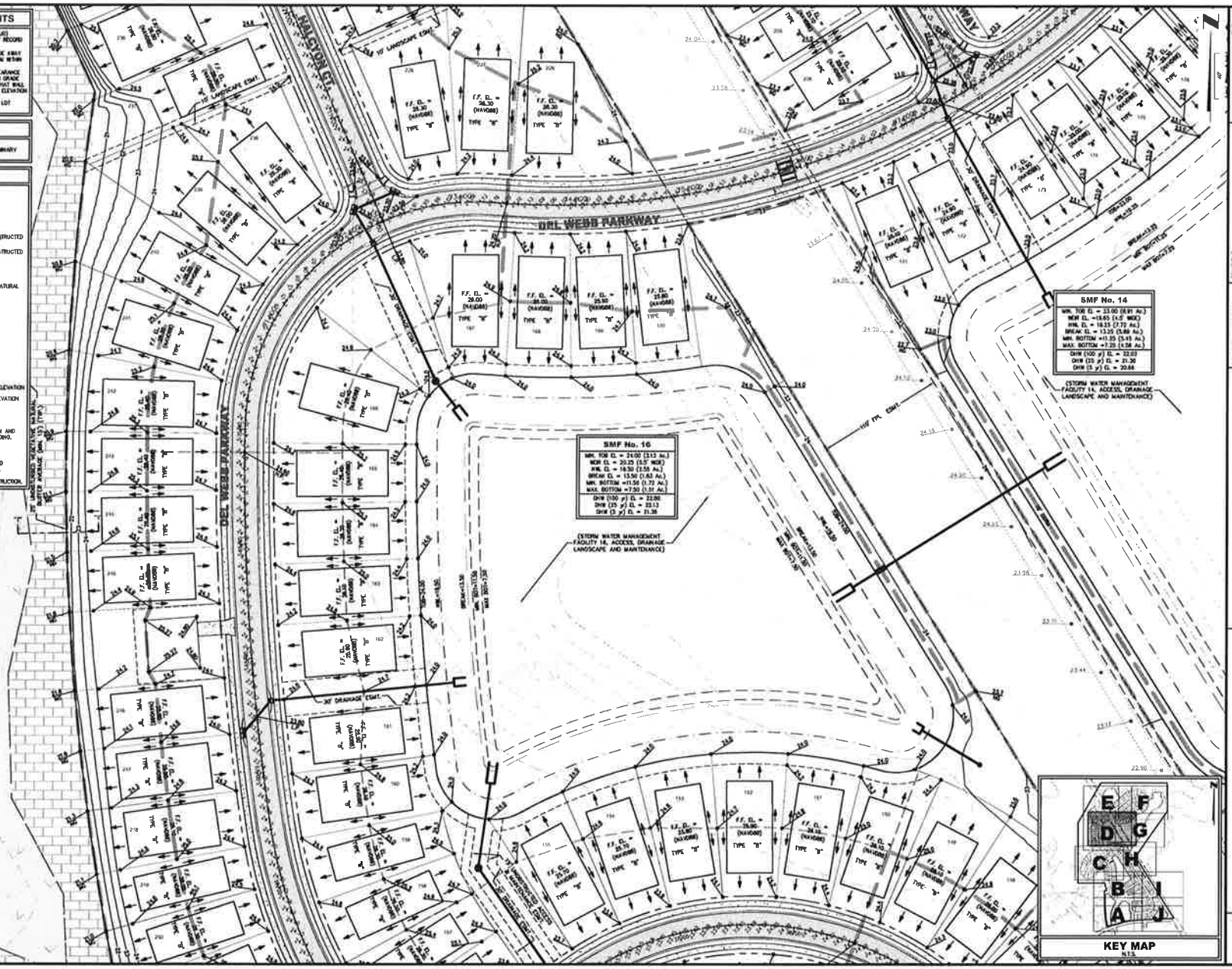
PROPOSED LOT TYPES TO COMPLY WITH CRITERIA AND STANDARDS SET FORTH IN THE MARKET STREET PRELIMINARY DEVELOPMENT PLAN.

LEGEND

- DRAINAGE DIVIDE LINE
- DRAINAGE SUB-DIVIDE LINE
- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- DENOTES SIDEWALK TO BE CONSTRUCTED BY SITE WORK CONTRACTOR
- DENOTES SIDEWALK TO BE CONSTRUCTED BY HOME BUILDER
- ASPHALT PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE
- STREETLIGHT
- 24.2 NG — NATURAL GRADE
- 23.1 — PROPOSED LOT GRADING SPOT ELEVATION
- 24.2 EX. — EXISTING LOT GRADING SPOT ELEVATION (APPROXIMATE)
- F.F. EL. = 30.00 (1000) TYPE "A/B" — FINISHED FLOOR ELEVATION AND APPROXIMATE BUILDING LOCATION AND LETTER DENOTES LOT TYPE GRADING.
- "A, B" — STANDARD LOT TYPE GRADING. SWALES MAY BE REQUIRED AROUND BUILDING TO FACILITATE DRAINAGE. HOMEBUILDER SHALL MAKE THIS DETERMINATION AT TIME OF CONSTRUCTION.



CROSS SECTION "I-I"
N.T.S.



PLANS PREPARED UNDER THE DIRECTION OF:
NEAL J.D. MULLIGAN
P.E. NUMBER: 43831

REVISIONS

File No.	15-239-04
Drawn By	A.G.S.
Designed By	N.J.D.M.
Checked By	N.J.D.M.
Date	OCTOBER 2022

Engineers • Planners & Surveyors, Inc.
14775 Old St. Augustine Road
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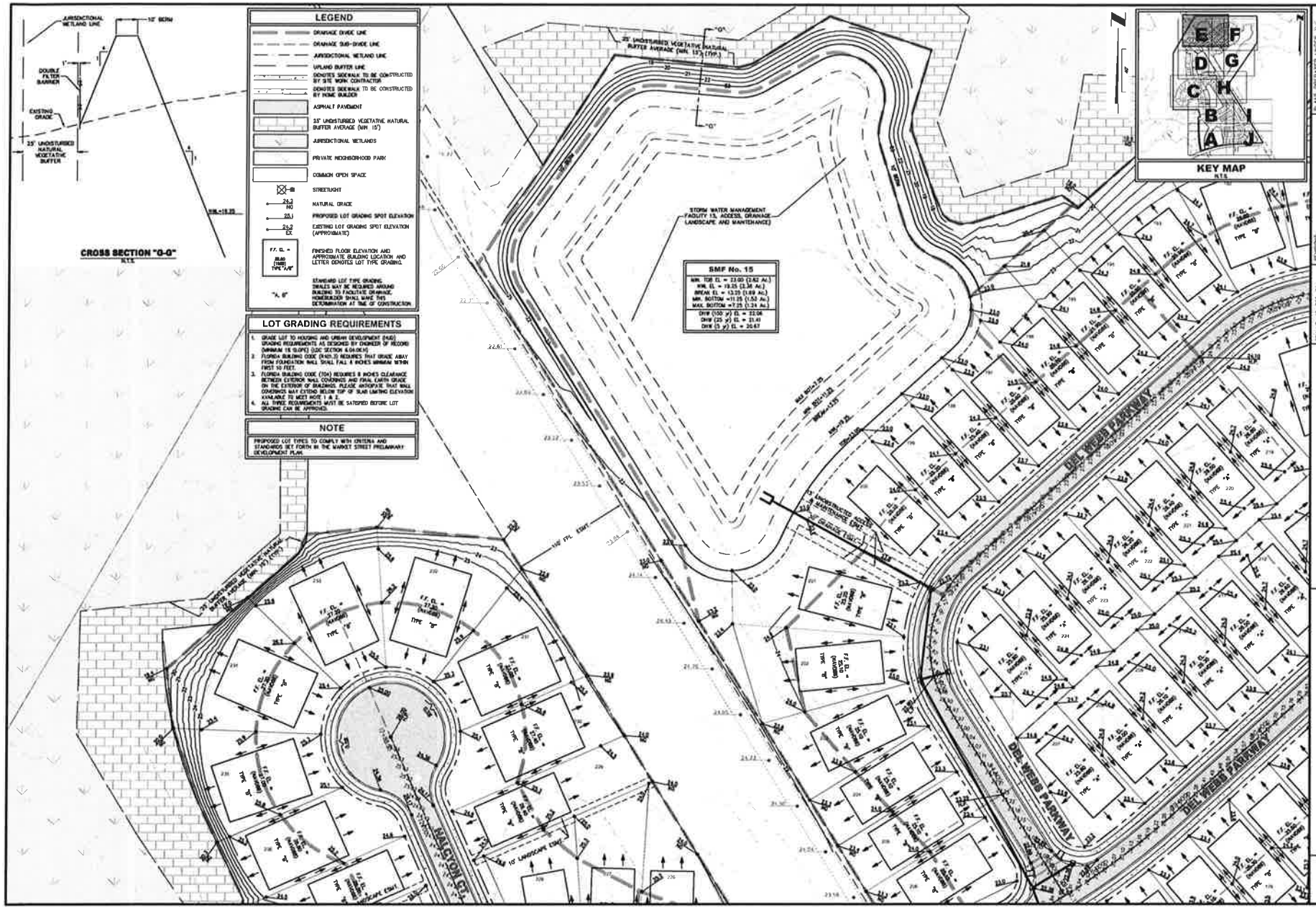
ETM
VISION • EXPERIENCE • RESULTS

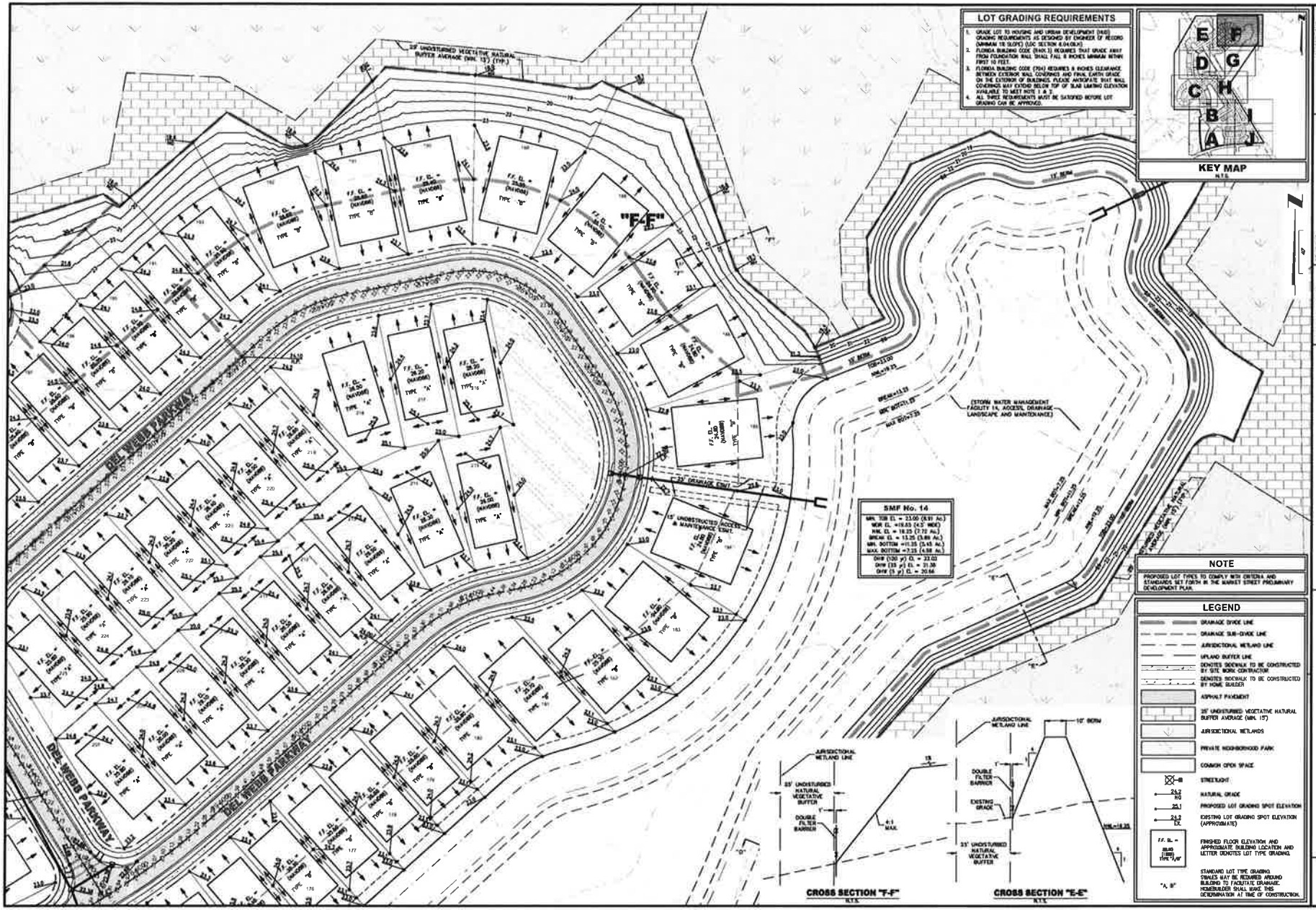
NEIGHBORHOOD GRADING PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
8D

PLOTTED February 8, 2023 - 4:23 PM BY: Gerald
L:\2015\15-239\15-239-04\Landform\Sheets\Plot\Parcel 6\15-239-04_Grd1.dwg


LEGEND
DRAINAGE DIVIDE LINE
DRAINAGE SUB-DIVIDE LINE
JURISDICTIONAL WETLAND LINE
UPLAND BUFFER LINE
DENOTES SIDEWALK TO BE CONSTRUCTED BY SITE WORK CONTRACTOR
DENOTES SIDEWALK TO BE CONSTRUCTED BY HOME BUILDER
ASPHALT PAVEMENT
25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
JURISDICTIONAL WETLANDS
PRIVATE NEIGHBORHOOD PARK
COMMON OPEN SPACE
STREETLIGHT
NATURAL GRADE
PROPOSED LOT GRADING SPOT ELEVATION
EXISTING LOT GRADING SPOT ELEVATION (APPROXIMATE)
FINISHED FLOOR ELEVATION AND APPROXIMATE BUILDING LOCATION AND LETTER DENOTES LOT TYPE GRADING.
STANDARD LOT TYPE GRADING SWALES MAY BE REQUIRED AROUND BUILDING TO FACILITATE DRAINAGE. HOMEBUILDER SHALL MAKE THIS DETERMINATION AT TIME OF CONSTRUCTION
LOT GRADING REQUIREMENTS
1. GRADE LOT TO HOUSING AND URBAN DEVELOPMENT (HUD) GRADING REQUIREMENTS AS DESIGNED BY ENGINEER OF RECORD (MINIMUM 1% SLOPE) (LDC SECTION 6.04.06.H)
2. FLORIDA BUILDING CODE (R401.3) REQUIRES THAT GRADE AWAY FROM FOUNDATION WALL SHALL FALL 6 INCHES MINIMUM WITHIN FIRST 10 FEET.
3. FLORIDA BUILDING CODE (704) REQUIRES 8 INCHES CLEARANCE BETWEEN EXTERIOR WALL COVERINGS AND FINAL EARTH GRADE ON THE EXTERIOR OF BUILDINGS. PLEASE ANTICIPATE THAT WALL COVERINGS MAY EXTEND BELOW TOP OF SLAB LIMITING ELEVATION AVAILABLE TO MEET NOTE 1 & 2.
4. ALL TYPICS REQUIREMENTS MUST BE SATISFIED BEFORE LOT GRADING CAN BE APPROVED.
NOTE
PROPOSED LOT TYPES TO COMPLY WITH CRITERIA AND STANDARDS SET FORTH IN THE MARKET STREET PRELIMINARY DEVELOPMENT PLAN.
CROSS SECTION "G-G"
JURISDICTIONAL WETLAND LINE
10' BERM
DOUBLE FILTER BARRIER
EXISTING GRADE
25' UNDISTURBED NATURAL VEGETATIVE BUFFER
STORM WATER MANAGEMENT FACILITY 13, ACCESS, DRAINAGE, LANDSCAPE AND MAINTENANCE
SMF No. 15
MIN. TOB EL = 23.00 (3.62 Ac.)
MIN. EL = 19.25 (3.34 Ac.)
BREAK EL = 13.25 (1.69 Ac.)
MIN. BOTTOM =11.25 (1.53 Ac.)
MAX. BOTTOM =7.25 (1.24 Ac.)
DHW (100 yr) EL = 22.06
DHW (25 yr) EL = 21.41
DHW (5 yr) EL = 20.67
25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15') (TYP.)
100' FPL EDMT
10' LANDSCAPE EDMT
HALCYON CT.
DEL WEBB PARKWAY
KEY MAP
NTS
PLANS PREPARED UNDER THE DIRECTION OF
SEAL J.D. MULCAHY
P.E. NUMBER 43531
REVISIONS
FILE NO. 16-238-04
DRAWN BY A.C.S.
DESIGNED BY K.J.S.M.
CHECKED BY K.J.S.M.
DATE OCTOBER 2022
Engineering Thinking & Delivery, Inc.
VISION • EXPERIENCE • RESULTS
NEIGHBORHOOD GRADING PLAN
WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC
DRAWING NUMBER
8E



PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. MILLIGAN
P.E. NUMBER: 43531

PLOTTED February 9, 2023 - 4:23 PM, 8" = 20'-0"

REVISIONS

FW NO. 19-239-CH
DRAWN BY: A.C.D.
DESIGNED BY: N.J.D.M.
CHECKED BY: N.J.D.M.
DATE: DECEMBER 2022

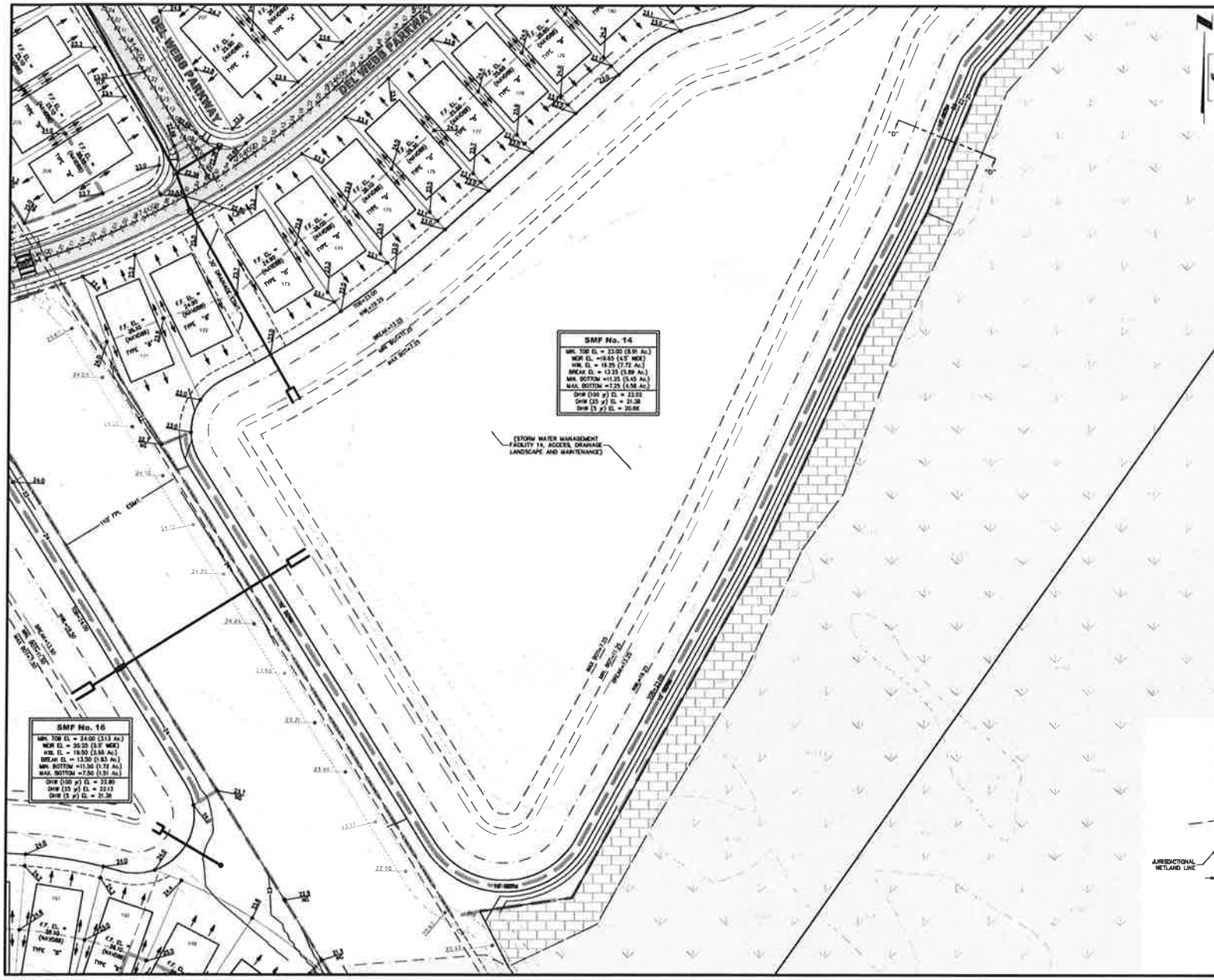
Engineering Planning & Management, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
EB0: 1944 LC: 0000516

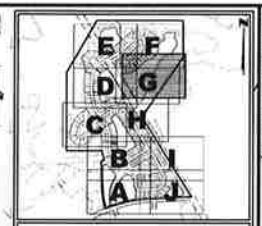
ETM
VISION • EXPERIENCE • RESULTS

NEIGHBORHOOD GRADING PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
8F





KEY MAP

NTS

LOT GRADING REQUIREMENTS

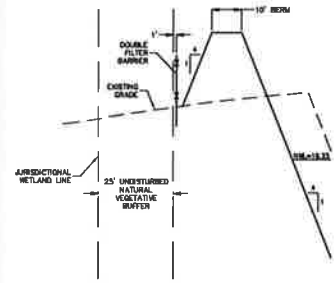
1. GRADE LOT TO HOUSING AND URBAN DEVELOPMENT (HUD) GRADING REQUIREMENTS AS DESIGNED BY ENGINEER OF RECORD (MINIMUM 1% SLOPE) (LDC SECTION 4.04.06.H)
2. FLORIDA BUILDING CODE (FBC) R) REQUIRES THAT GRADE AWAY FROM FOUNDATION WALL SHALL FALL 6 INCHES MINIMUM WITHIN FIRST 10 FEET.
3. FLORIDA BUILDING CODE (FBC) REQUIRES 6 INCHES CLEARANCE BETWEEN EXTERIOR WALL COVERINGS AND FINAL EARTH GRADE ON THE EXTERIOR OF BUILDINGS. PLEASE ANTICIPATE THAT WALL COVERINGS MAY EXTEND BELOW TOP OF SLAB LIMITING ELEVATION AVAILABLE TO MEET NOTE 1 & 2.
4. ALL THREE REQUIREMENTS MUST BE SATISFIED BEFORE LOT GRADING CAN BE APPROVED.

NOTE

PROPOSED LOT TYPES TO COMPLY WITH CRITERIA AND STANDARDS SET FORTH IN THE MARKET STREET PRELIMINARY DEVELOPMENT PLAN.

LEGEND

- DRAINAGE DIVIDE LINE
- DRAINAGE SUB-DIVIDE LINE
- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- DENOTES SIDEWALK TO BE CONSTRUCTED BY SITE WORK CONTRACTOR
- DENOTES SIDEWALK TO BE CONSTRUCTED BY HOME BUILDER
- ASPHALT PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE
- STREETLIGHT
- 24.3 NG — NATURAL GRADE
- 25.1 — PROPOSED LOT GRADING SPOT ELEVATION
- 24.3 EX — EXISTING LOT GRADING SPOT ELEVATION (APPROXIMATE)
- f.f. EL. = 25.00 (1000) TYPE "A, B" — FINISHED FLOOR ELEVATION AND APPROXIMATE BUILDING LOCATION AND LETTER DENOTES LOT TYPE GRADING
- "A, B" — STANDARD LOT TYPE GRADING. SWALES MAY BE REQUIRED AROUND BUILDING TO FACILITATE DRAINAGE. HOMEBUILDER SHALL MAKE THIS DETERMINATION AT TIME OF CONSTRUCTION.



CROSS SECTION "D-D"

NTS

PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. MULLIGAN
N.E. WAVER 43531

REVISIONS

TW NO. 19-239-04	DRAWN BY A.C.D.
DESIGNED BY N.J.D.M.	CHECKED BY N.J.D.M.
DATE OCTOBER 2022	

Engineered Thinking & Matter, Inc.
14175 Old St. Augustine Road
Jacksonville, FL 32258
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REG. CERT. LC. 0000318

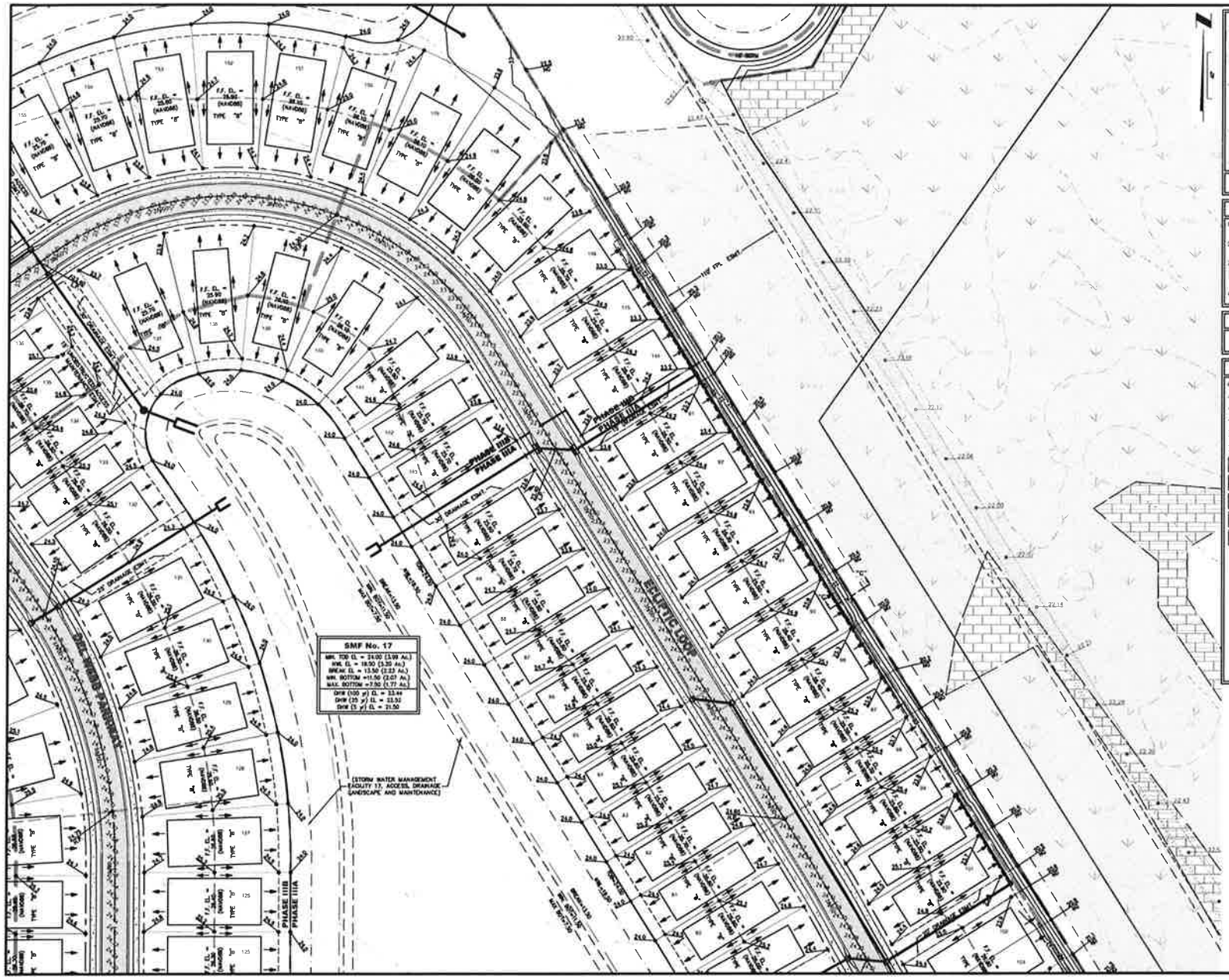
ETM
VISION • EXPERIENCE • RESULTS

NEIGHBORHOOD GRADING PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
8G

PLOTTED February 9, 2023 - 3:34 PM, BY: M Dwyer


SMF No. 17
MIN. TOP EL = 24.00 (3.99 Ac.)
MAX. EL = 18.00 (3.30 Ac.)
BREAK EL = 13.50 (2.32 Ac.)
MIN. BOTTOM =11.50 (2.07 Ac.)
MAX. BOTTOM =7.50 (1.77 Ac.)
DHW (100 yr) EL = 23.44
DHW (25 yr) EL = 23.33
DHW (3 yr) EL = 21.50
(STORM WATER MANAGEMENT FACILITY 17, ACCESS, DRAINAGE, LANDSCAPE AND MAINTENANCE)
PHASE IIIA
PHASE IIIB
PHASE IIIC
PHASE IIIB
PHASE IIIA
BUCKHORN PARKWAY
SEPTIC LOOP
DRAINAGE EASEMENT
25' DRAINAGE EASEMENT
F.F. EL. = 25.50 (NAVD88) TYPE "B"
F.F. EL. = 25.00 (NAVD88) TYPE "A"
F.F. EL. = 24.50 (NAVD88) TYPE "A"
F.F. EL. = 24.00 (NAVD88) TYPE "A"
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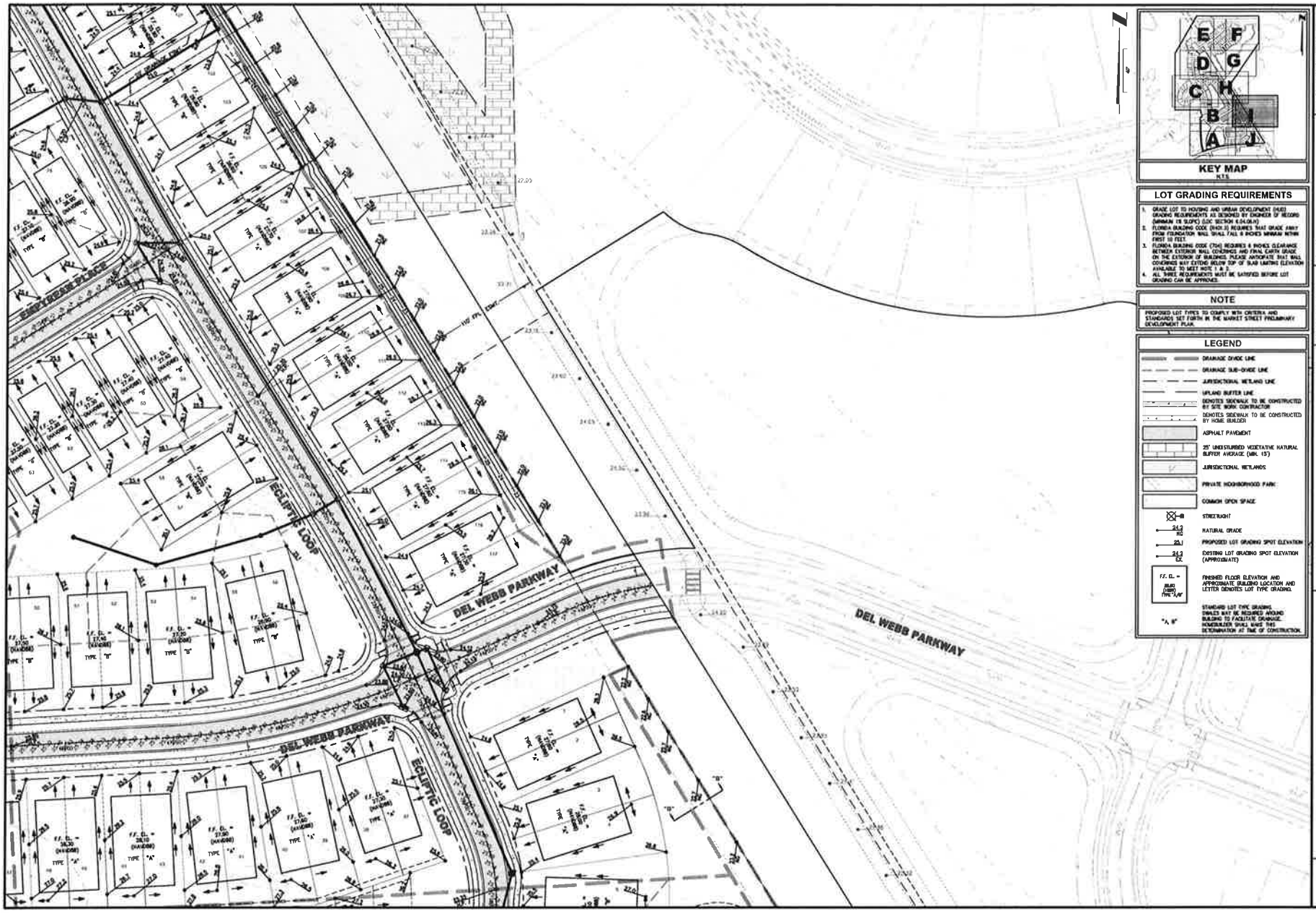
F.F. EL. =



KEY MAP

NTS

LOT GRADING REQUIREMENTS

1. GRADE LOT TO HOUSING AND UPSTREAM DEVELOPMENT (MAS) GRADING REQUIREMENTS AS DESIGNED BY ENGINEER OF RECORD (MINIMUM 1% SLOPE) (LDC SECTION 4.04.06.H)
2. FLORIDA BUILDING CODE (R401.3) REQUIRES THAT GRADE AWAY FROM FOUNDATION WALL SHALL FALL 6 INCHES MINIMUM WITHIN FIRST 10 FEET.
3. FLORIDA BUILDING CODE (704) REQUIRES 6 INCHES CLEARANCE BETWEEN EXTERIOR WALL COVERINGS AND FINAL EARTH GRADE ON THE EXTERIOR OF BUILDINGS. PLEASE ANTICIPATE THAT WALL COVERINGS MAY EXTEND BELOW TOP OF SLAB LIMITING ELEVATION AVAILABLE TO MEET NOTE 1 & 2.
4. ALL THREE REQUIREMENTS MUST BE SATISFIED BEFORE LOT GRADING CAN BE APPROVED.

NOTE

PROPOSED LOT TYPES TO COMPLY WITH CRITERIA AND STANDARDS SET FORTH IN THE MARKET STREET PRELIMINARY DEVELOPMENT PLAN.

LEGEND

- DRAINAGE DIVIDE LINE
- DRAINAGE SUB-DIVIDE LINE
- JURISDICTIONAL WETLAND LINE
- UPLAND BUFFER LINE
- DENOTES SIDEWALK TO BE CONSTRUCTED BY SITE WORK CONTRACTOR
- DENOTES SIDEWALK TO BE CONSTRUCTED BY HOME BUILDER
- ASPHALT PAVEMENT
- 25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15')
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE
- STREETLIGHT
- 24.3 NG — NATURAL GRADE
- 23.1 — PROPOSED LOT GRADING SPOT ELEVATION
- 24.3 EX — EXISTING LOT GRADING SPOT ELEVATION (APPROXIMATE)
- F.F. O. = 30.00 (MIN) TYPE "A/B" — FINISHED FLOOR ELEVATION AND APPROXIMATE BUILDING LOCATION AND LETTER DENOTES LOT TYPE GRADING.
- "A, B" — STANDARD LOT TYPE GRADING SWALES MAY BE REQUIRED AROUND BUILDING TO FACILITATE DRAINAGE. HOMEBUILDER SHALL MAKE THIS DETERMINATION AT TIME OF CONSTRUCTION.

PLANS PREPARED UNDER THE DIRECTION OF

SEAL J.D. MILLIGAN
P.E. NUMBER - 43531

REVISIONS

FW NO.	19-239-34
DRAWN BY	A.G.O.
DESIGNED BY	M.J.D.M
CHECKED BY	M.J.D.M
DATE	OCTOBER 2022

Kimley»Horn & Associates, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 646-9485
REG: CBA 1.1 - CERTIFICATE

ETM
VISION • EXPERIENCE • RESULTS

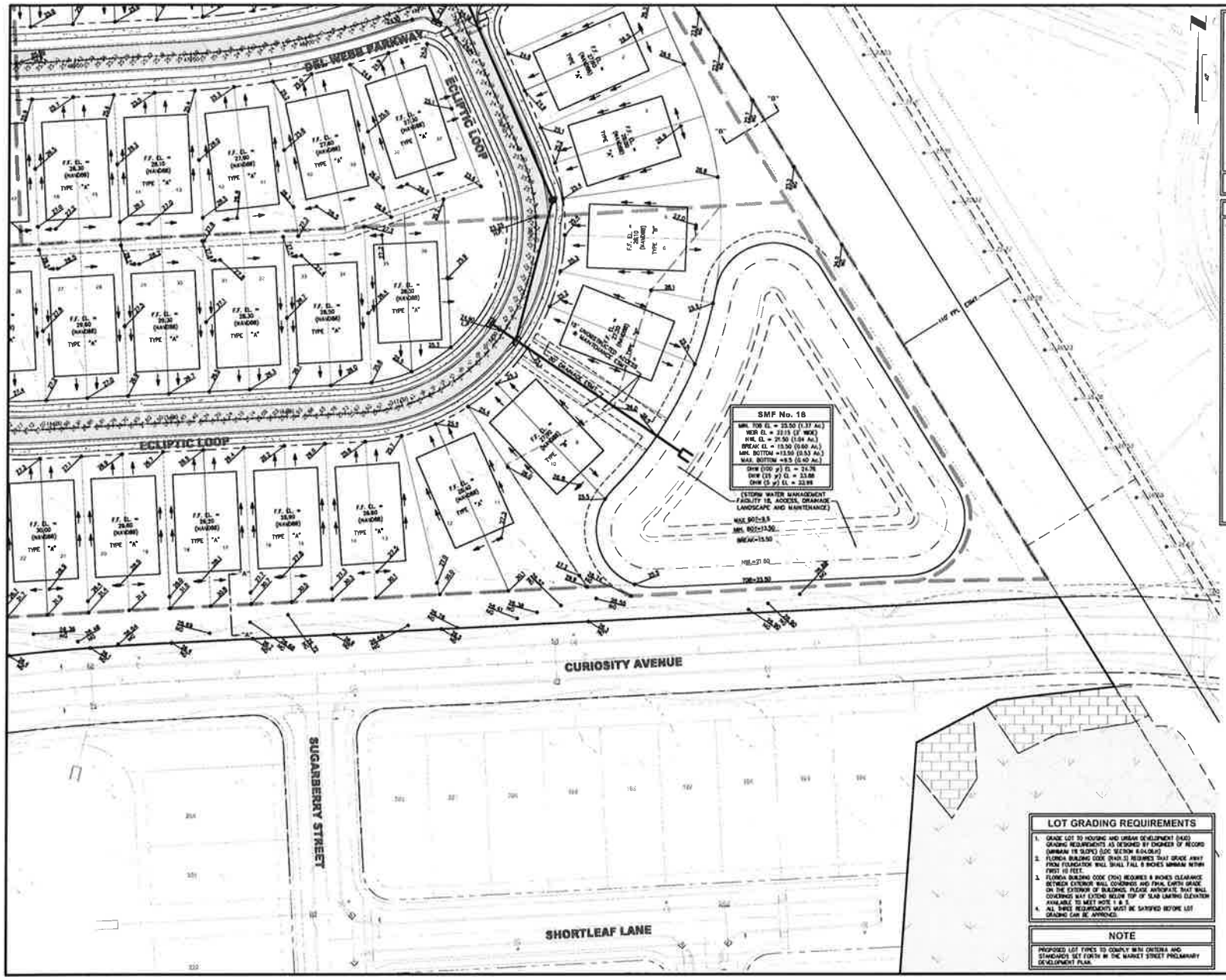
NEIGHBORHOOD GRADING PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
8I

PLOTTED February 8, 2023 - 4:23 PM BY: M. Dreher

T:\2019\19-239\19-239-34\Landdev\Dwg\Plans\Paver 8\19-239-34_GG.dwg


DEL WEBB PARKWAY
ECLIPTIC LOOP
ECLIPTIC LOOP
CURIOSITY AVENUE
SUGARBERRY STREET
SHORTLEAF LANE
SMF No. 18
MIN. TOB EL. = 23.50 (1.37 Ac)
NOR EL. = 22.15 (2' NOR)
HWL EL. = 21.50 (1.04 Ac)
BREAK EL. = 15.50 (0.60 Ac)
MIN. BOTTOM =13.50 (0.53 Ac)
MAX. BOTTOM =9.5 (0.40 Ac)
DHW (100 yr) EL. = 24.76
DHW (25 yr) EL. = 33.88
DHW (5 yr) EL. = 32.99
(STORM WATER MANAGEMENT FACILITY 18, ACCESS, DRAINAGE, LANDSCAPE AND MAINTENANCE)
MAX SIDE=9.5
MIN. BOT=13.50
BREAK=15.50
HWL=21.50
TOB=23.50
110' P.U. EASEMENT
F.F. EL. = 28.30 (NAVD88) TYPE "A"
F.F. EL. = 28.10 (NAVD88) TYPE "A"
F.F. EL. = 27.60 (NAVD88) TYPE "A"
F.F. EL. = 27.60 (NAVD88) TYPE "A"
F.F. EL. = 28.30 (NAVD88) TYPE "A"
F.F. EL. = 28.30 (NAVD88) TYPE "A"
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F.F. EL. = 28.30 (NAVD88) TYPE "A"
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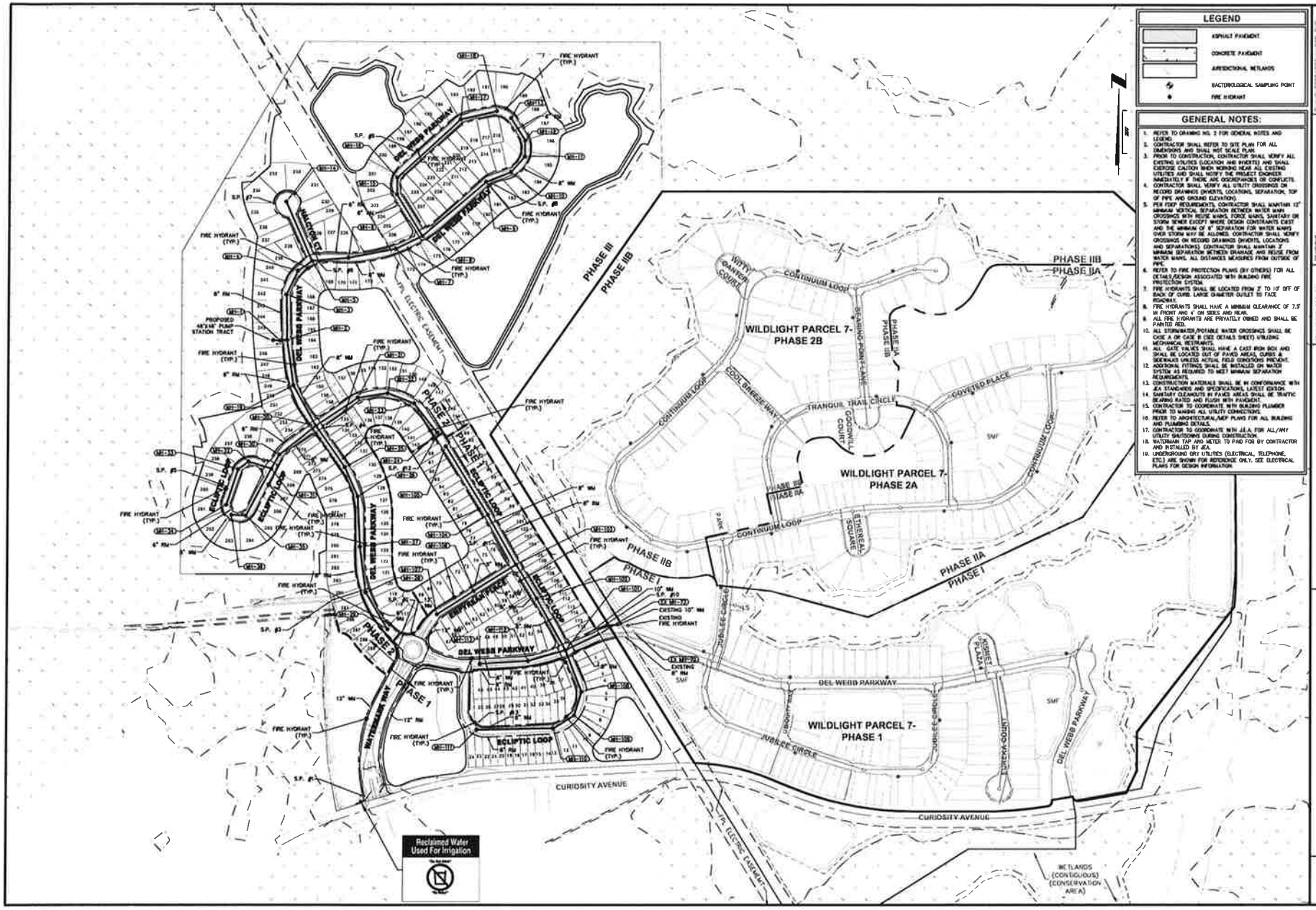
F.F. EL. = 28.60 (NAVD88) TYPE "A"
F.F. EL. = 28.60



LEGEND

- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- JURISDICTIONAL WETLANDS
- BACTERIOLOGICAL SAMPLING POINT
- FIRE HYDRANT

GENERAL NOTES:

1. REFER TO DRAWING NO. 2 FOR GENERAL NOTES AND LEGEND.
2. CONTRACTOR SHALL REFER TO SITE PLAN FOR ALL DIMENSIONS AND SHALL NOT SCALE PLAN.
3. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES (LOCATION AND INVERTS) AND SHALL EXERCISE CAUTION WHEN WORKING NEAR ALL EXISTING UTILITIES AND SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY IF THERE ARE DISCREPANCIES OR CONFLICTS.
4. CONTRACTOR SHALL VERIFY ALL UTILITY CROSSINGS ON RECORD DRAWINGS (INVERTS, LOCATIONS, SEPARATION, TOP OF PIPE AND GROUND ELEVATION).
5. PER FDEP REQUIREMENTS, CONTRACTOR SHALL MAINTAIN 12" MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN CROSSINGS WITH REUSE MAINS, FORCE MAINS, SANITARY OR STORM SEWER EXCEPT WHERE DESIGN CONSTRAINTS EXIST AND THE MINIMUM OF 6" SEPARATION FOR WATER MAINS OVER STORM MAY BE ALLOWED. CONTRACTOR SHALL VERIFY CROSSINGS ON RECORD DRAWINGS (INVERTS, LOCATIONS AND SEPARATIONS). CONTRACTOR SHALL MAINTAIN 3' HORIZONTAL SEPARATION BETWEEN DRAINAGE AND REUSE FROM WATER MAINS. ALL DISTANCES MEASURED FROM OUTSIDE OF PIPE.
6. REFER TO FIRE PROTECTION PLANS (BY OTHERS) FOR ALL DETAILS/DESIGN ASSOCIATED WITH BUILDING FIRE PROTECTION SYSTEM.
7. FIRE HYDRANTS SHALL BE LOCATED FROM 3' TO 10' OFF OF BACK OF CURB. LARGE DIAMETER OUTLET TO FACE ROADWAY.
8. FIRE HYDRANTS SHALL HAVE A MINIMUM CLEARANCE OF 7.5' IN FRONT AND 4' ON SIDES AND REAR.
9. ALL FIRE HYDRANTS ARE PRIVATELY OWNED AND SHALL BE PAINTED RED.
10. ALL STORMWATER/POTABLE WATER CROSSINGS SHALL BE CASE A OR CASE B (SEE DETAILS SHEET) UTILIZING MECHANICAL RESTRAINTS.
11. ALL GATE VALVES SHALL HAVE A CAST IRON BOX AND SHALL BE LOCATED OUT OF PAVED AREAS, CURBS & SIDEWALKS UNLESS ACTUAL FIELD CONDITIONS PREVAIL.
12. ADDITIONAL FITTINGS SHALL BE INSTALLED ON WATER SYSTEM AS REQUIRED TO MEET MINIMUM SEPARATION REQUIREMENTS.
13. CONSTRUCTION MATERIALS SHALL BE IN CONFORMANCE WITH JEA STANDARDS AND SPECIFICATIONS, LATEST EDITION.
14. SANITARY CLEANOUTS IN PAVED AREAS SHALL BE TRAFFIC BEARING RATED AND FLUSH WITH PAVEMENT.
15. CONTRACTOR TO COORDINATE WITH BUILDING PLUMBER PRIOR TO MAKING ALL UTILITY CONNECTIONS.
16. REFER TO ARCHITECTURAL/MEP PLANS FOR ALL BUILDING AND PLUMBING DETAILS.
17. CONTRACTOR TO COORDINATE WITH JEA FOR ALL/ANY UTILITY SHUTDOWNS DURING CONSTRUCTION.
18. WATERMAIN TAP AND METER TO PAID FOR BY CONTRACTOR AND INSTALLED BY JEA.
19. UNDERGROUND DRY UTILITIES (ELECTRICAL, TELEPHONE, ETC.) ARE SHOWN FOR REFERENCE ONLY. SEE ELECTRICAL PLANS FOR DESIGN INFORMATION.

PLANS PREPARED UNDER THE DIRECTION OF:

NICOLE D. BOLATETE
P.E. NUMBER - 73021

REVISIONS

FILE NO. 19-239-04	
DRAWN BY: A.C.O.	
DESIGNED BY: N.D.B.	
CHECKED BY: N.D.B.	
DATE: OCTOBER 2022	

ETM

Englehardt-Thorn & Miller, Inc.
14375 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
REG.: CBA LC 0000015

VISION • EXPERIENCE • RESULTS

MASTER UTILITY PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER

9

PLOTTED February 9, 2023 - 4:23 PM BY: N. Bolatete

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GENERAL NOTES:

1. REFER TO DRAWING NO. 2 FOR GENERAL NOTES AND LEGEND.
2. CONTRACTOR SHALL REFER TO SITE PLAN FOR ALL DIMENSIONS AND SHALL NOT SCALE PLAN.
3. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES (LOCATION AND INVERTS) AND SHALL EXERCISE CAUTION WHEN WORKING NEAR ALL EXISTING UTILITIES AND SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY IF THERE ARE DISCREPANCIES OR CONFLICTS.
4. CONTRACTOR SHALL VERIFY ALL UTILITY CROSSINGS ON RECORD DRAWINGS (INVERTS, LOCATIONS, SEPARATION, TOP OF PIPE AND GROUND ELEVATION).
5. PER FDEP REQUIREMENTS, CONTRACTOR SHALL MAINTAIN 12" MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN CROSSINGS WITH REUSE MAINS, FORCE MAINS, SANITARY OR STORM SEWER EXCEPT WHERE DESIGN CONSTRAINTS EXIST AND THE MINIMUM OF 6" SEPARATION FOR WATER MAINS OVER STORM MAY BE ALLOWED. CONTRACTOR SHALL VERIFY CROSSINGS ON RECORD DRAWINGS (INVERTS, LOCATIONS AND SEPARATIONS). CONTRACTOR SHALL MAINTAIN 3' MINIMUM SEPARATION BETWEEN DRAINAGE AND REUSE FROM WATER MAINS. ALL DISTANCES MEASURES FROM OUTSIDE OF PIPE.
6. FIRE HYDRANTS SHALL BE LOCATED FROM 2' TO 10' OFF OF BACK OF CURB. LARGE DIAMETER OUTLET TO FACE ROADWAY.
7. FIRE HYDRANTS SHALL HAVE A MINIMUM CLEARANCE OF 7.5' IN FRONT AND 4' ON SIDES AND REAR.
8. ALL STORMWATER/POTABLE WATER CROSSINGS SHALL BE CASE A OR CASE B (SEE DETAILS SHEET) UTILIZING MECHANICAL RESTRAINTS.
9. ALL GATE VALVES SHALL HAVE A CAST IRON BOX AND SHALL BE LOCATED OUT OF PAVED AREAS, CURBS & SIDEWALKS UNLESS ACTUAL FIELD CONDITIONS PREVENT.
10. ADDITIONAL FITTINGS SHALL BE INSTALLED IN WATER SYSTEM AS REQUIRED TO MEET MINIMUM SEPARATION REQUIREMENTS.
11. CONSTRUCTION MATERIALS SHALL BE IN CONFORMANCE WITH JEA STANDARDS AND SPECIFICATIONS, LATEST EDITION.
12. SANITARY CLEANOUTS IN PAVED AREAS SHALL BE TRAFFIC BEARING RATED AND FLUSH WITH PAVEMENT.
13. CONTRACTOR TO COORDINATE WITH J.E.A. FOR ALL/ANY UTILITY SHUTDOWNS DURING CONSTRUCTION.
14. UNDERGROUND DRY UTILITIES (ELECTRICAL, TELEPHONE, ETC.) ARE SHOWN FOR REFERENCE ONLY. SEE ELECTRICAL PLANS FOR DESIGN INFORMATION.
15. ALL WATER AND REUSE METER BOXES SHALL BE LOCATED BETWEEN THE SIDEWALK AND RIGHT-OF-WAY LINE, WITHIN THE RIGHT-OF-WAY.

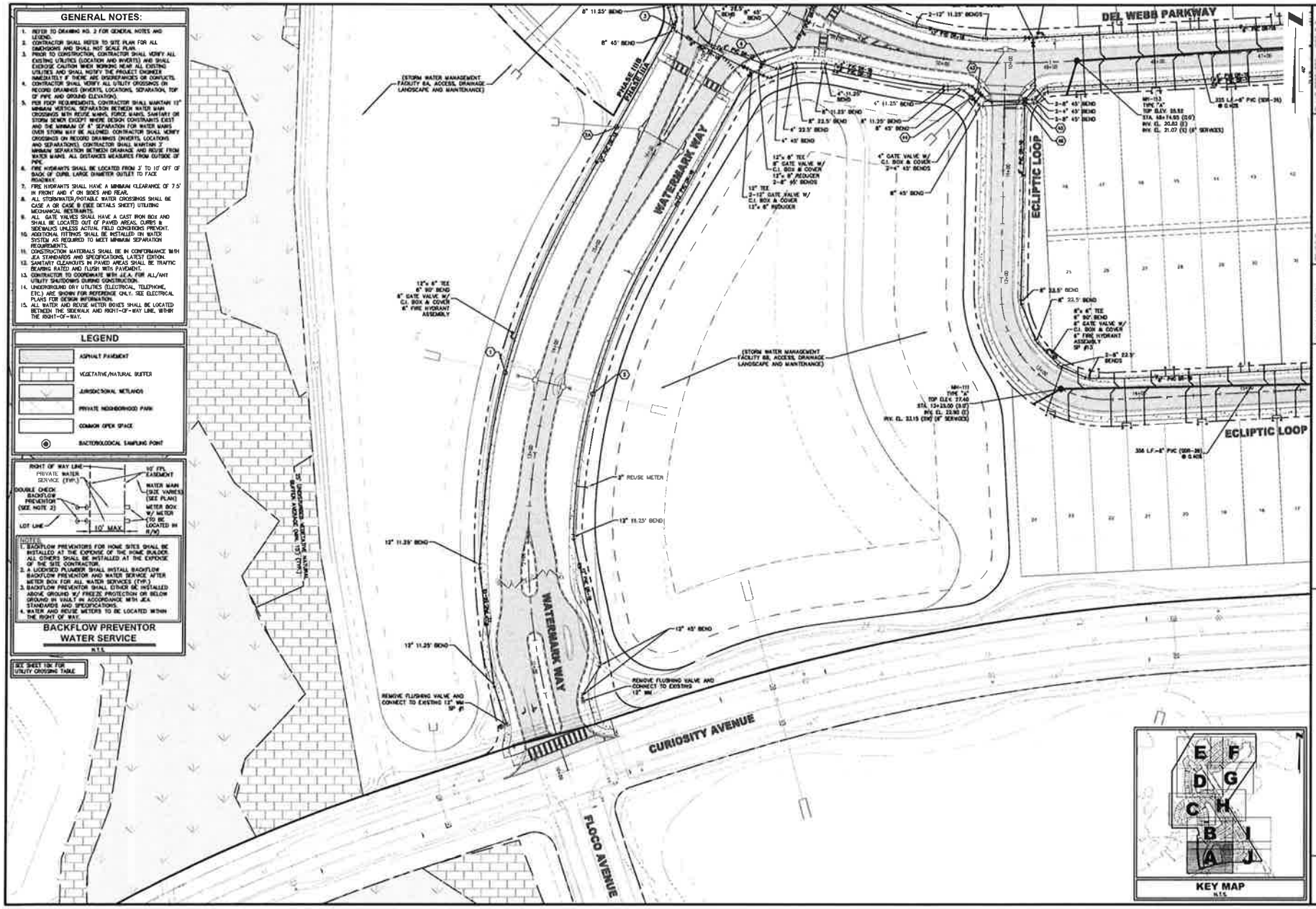
LEGEND

- ASPHALT PAVEMENT
- VEGETATIVE/NATURAL BUFFER
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE
- BACTERIOLOGICAL SAMPLING POINT

NOTES:
1. BACKFLOW PREVENTORS FOR HOME SITES SHALL BE INSTALLED AT THE EXPENSE OF THE HOME BUILDER. ALL OTHERS SHALL BE INSTALLED AT THE EXPENSE OF THE SITE CONTRACTOR.
2. A LICENSED PLUMBER SHALL INSTALL BACKFLOW PREVENTOR AND WATER SERVICE AFTER METER BOX FOR ALL WATER SERVICES (TYP.).
3. BACKFLOW PREVENTOR SHALL EITHER BE INSTALLED ABOVE GROUND W/ FREEZE PROTECTION OR BELOW GROUND IN VAULT IN ACCORDANCE WITH JEA STANDARDS AND SPECIFICATIONS.
4. WATER AND REUSE METERS TO BE LOCATED WITHIN THE RIGHT OF WAY.

BACKFLOW PREVENTOR WATER SERVICE
N.T.S.

SEE SHEET 10K FOR UTILITY CROSSING TABLE



PLANS PREPARED UNDER THE DIRECTION OF NICOLE D. BOLATETE P.E. NUMBER - 74922

PLOTTED: February 8, 2023 - 4:36 PM, BY: JP Dreher

REVISIONS

FILE NO.	19-239-04
DRAWN BY	A.C.D.
DESIGNED BY	N.J.B.M.
CHECKED BY	N.J.B.M.
DATE	OCTOBER 2022

ETM — England-Thims & Miller, Inc.
14775 Old St. Augustine Road, Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
WEB: ETM-INC.COM
VISION • EXPERIENCE • RESULTS

WATER AND SEWER PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER
10A

C:\2019\19-239\19-239-04\Landdev\Dwgs\Plans\Permit 10\19-239-04_WS.dwg

GENERAL NOTES:

1. REFER TO DRAWING NO. 2 FOR GENERAL NOTES AND LEGEND.
2. CONTRACTOR SHALL REFER TO SITE PLAN FOR ALL DIMENSIONS AND SHALL NOT SCALE PLAN.
3. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES (LOCATION AND INVERTS) AND SHALL EXERCISE CAUTION WHEN WORKING NEAR ALL EXISTING UTILITIES AND SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY IF THERE ARE DISCREPANCIES OR CONFLICTS.
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LEGEND

- ASPHALT PAVEMENT
- VEGETATIVE/NATURAL BUFFER
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE
- BACTERIOLOGICAL SAMPLING POINT

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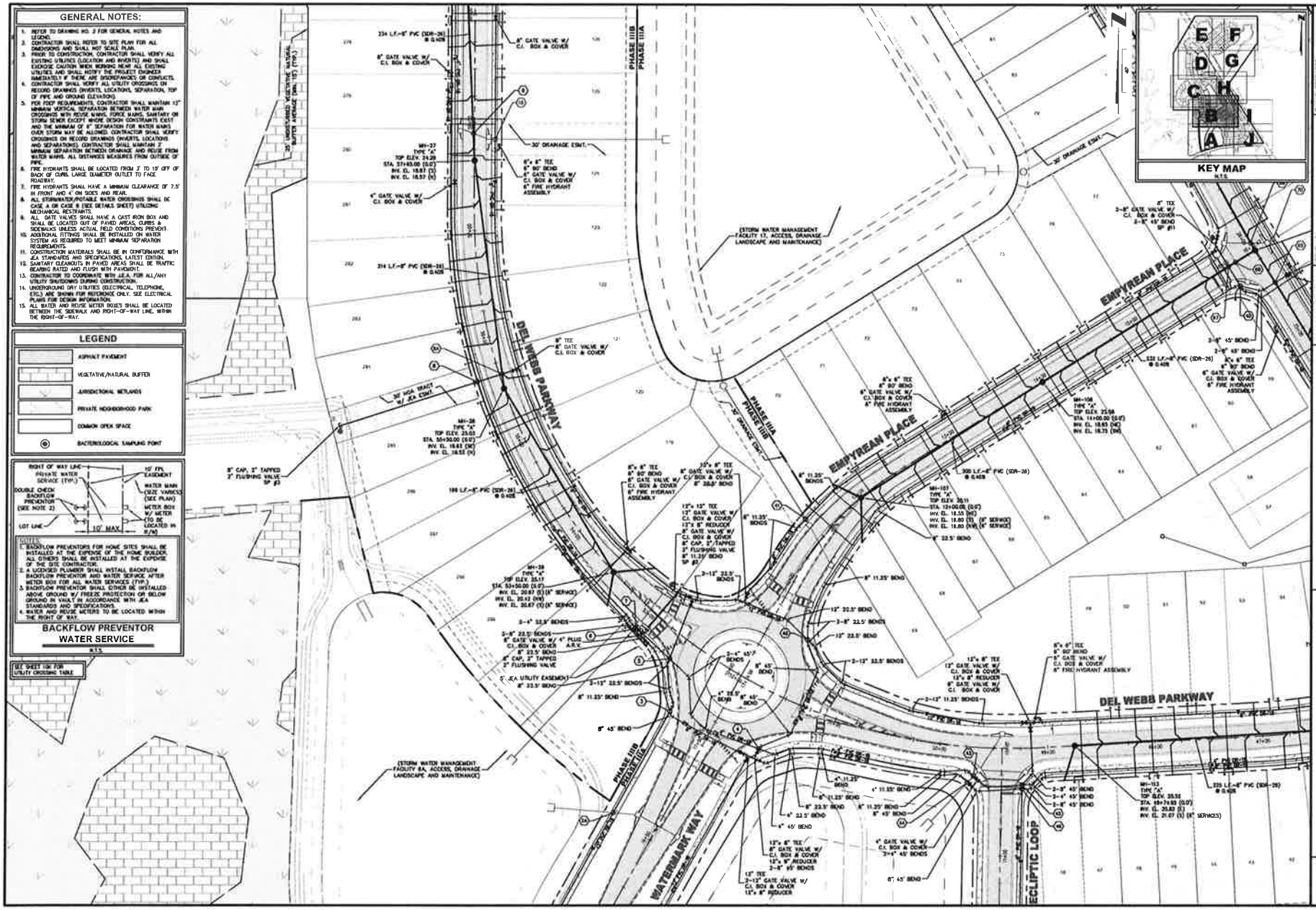
BACKFLOW PREVENTOR WATER SERVICE

N.T.S.

SEE SHEET 10K FOR UTILITY CROSSING TABLE



PLANS PREPARED UNDER THE DIRECTION OF:

NICOLE D. BOLATITE
P.E. NUMBER 74877

REVISIONS

FILE NO. 18-239-04	
DRAWN BY: A.E.D.	
DESIGNED BY: N.J.S.W.	
CHECKED BY: N.J.S.W.	
DATE: OCTOBER 2022	

ETM

Environmental Technology & Matters, Inc.
1477 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8400
FAX: (904) 642-8402
REG. CERT. LC 10000219

VISION • EXPERIENCE • RESULTS

WATER AND SEWER PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER

10B

PLOTTED February 8, 2023 - 8:30 PM BY Drew

GENERAL NOTES:

1. REFER TO DRAWING NO. 2 FOR GENERAL NOTES AND LEGEND.
2. CONTRACTOR SHALL REFER TO SITE PLAN FOR ALL DIMENSIONS AND SHALL NOT SCALE PLAN.
3. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES (LOCATION AND INVERTS) AND SHALL EXERCISE CAUTION WHEN WORKING NEAR ALL EXISTING UTILITIES AND SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY IF THERE ARE DISCREPANCIES OR CONFLICTS.
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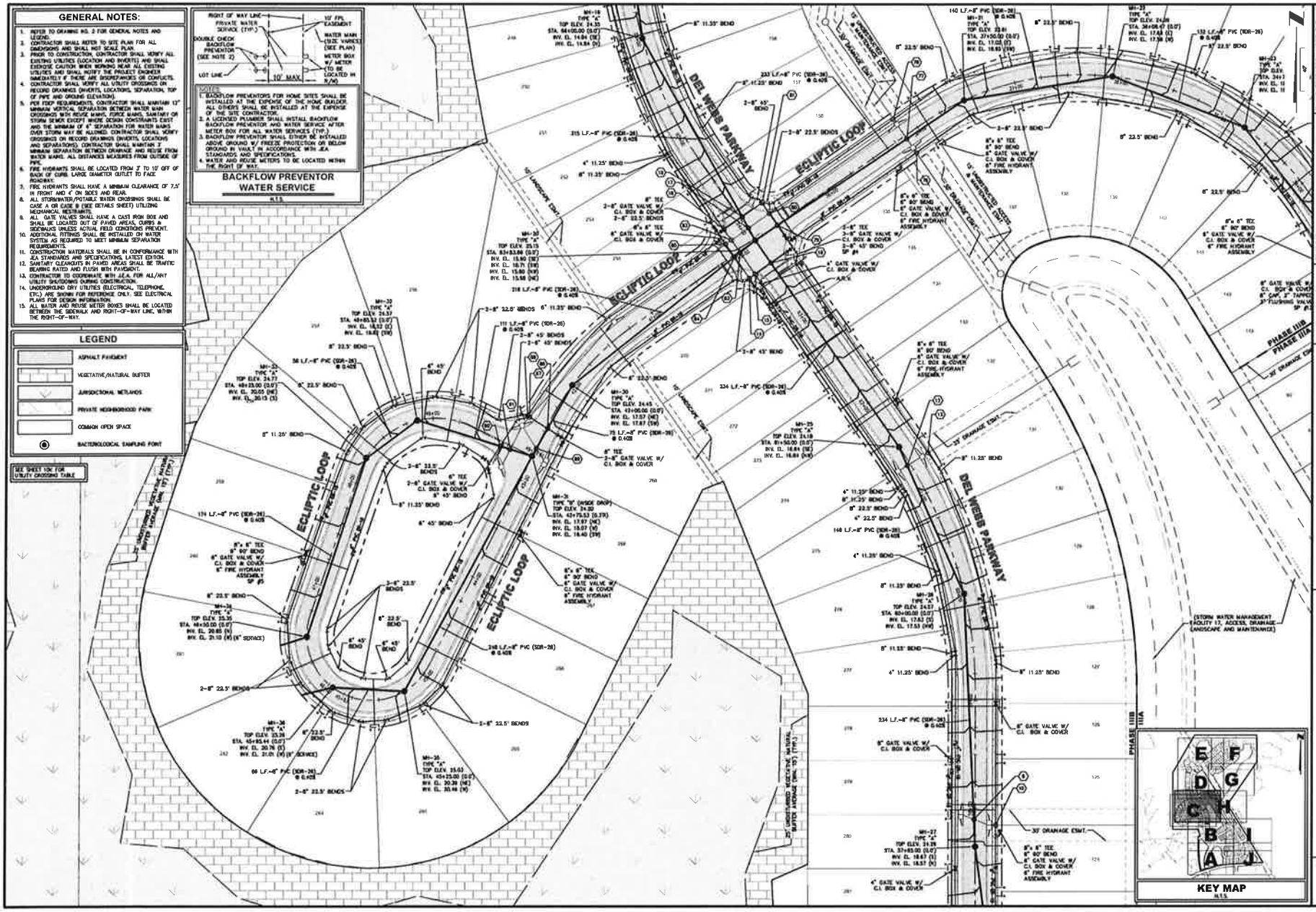
BACKFLOW PREVENTOR WATER SERVICE
N.T.S.

LEGEND

- ASPHALT PAVEMENT
- VEGETATIVE/NATURAL BUFFER
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE
- BACTERIOLOGICAL SAMPLING POINT

SEE SHEET 10C FOR UTILITY CROSSING TABLE



PLANS PREPARED UNDER THE DIRECTION OF:
NICOLE D. BOLATETE
P.E. NUMBER 74621

REVISIONS	
FW NO. 19-238-04	
DRAWN BY: A.C.D.	
DESIGNED BY: N.J.B.M.	
CHECKED BY: N.J.B.M.	
DATE: OCTOBER 2023	

ETM
VISION • EXPERIENCE • RESULTS

England-Thims & Miller, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 646-9485
AUTH. LB - 0000316

WATER AND SEWER PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
10C

PLOTTED: February 8, 2023 - 4:36 PM BY: A. Smith

GENERAL NOTES:

1. REFER TO DRAWING NO. 2 FOR GENERAL NOTES AND LEGEND.
2. CONTRACTOR SHALL REFER TO SITE PLAN FOR ALL DIMENSIONS AND SHALL NOT SCALE PLAN.
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LEGEND

- ASPHALT PAVEMENT
- VEGETATIVE/NATURAL BUFFER
- JURISDICTIONAL WETLANDS
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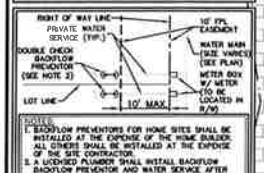

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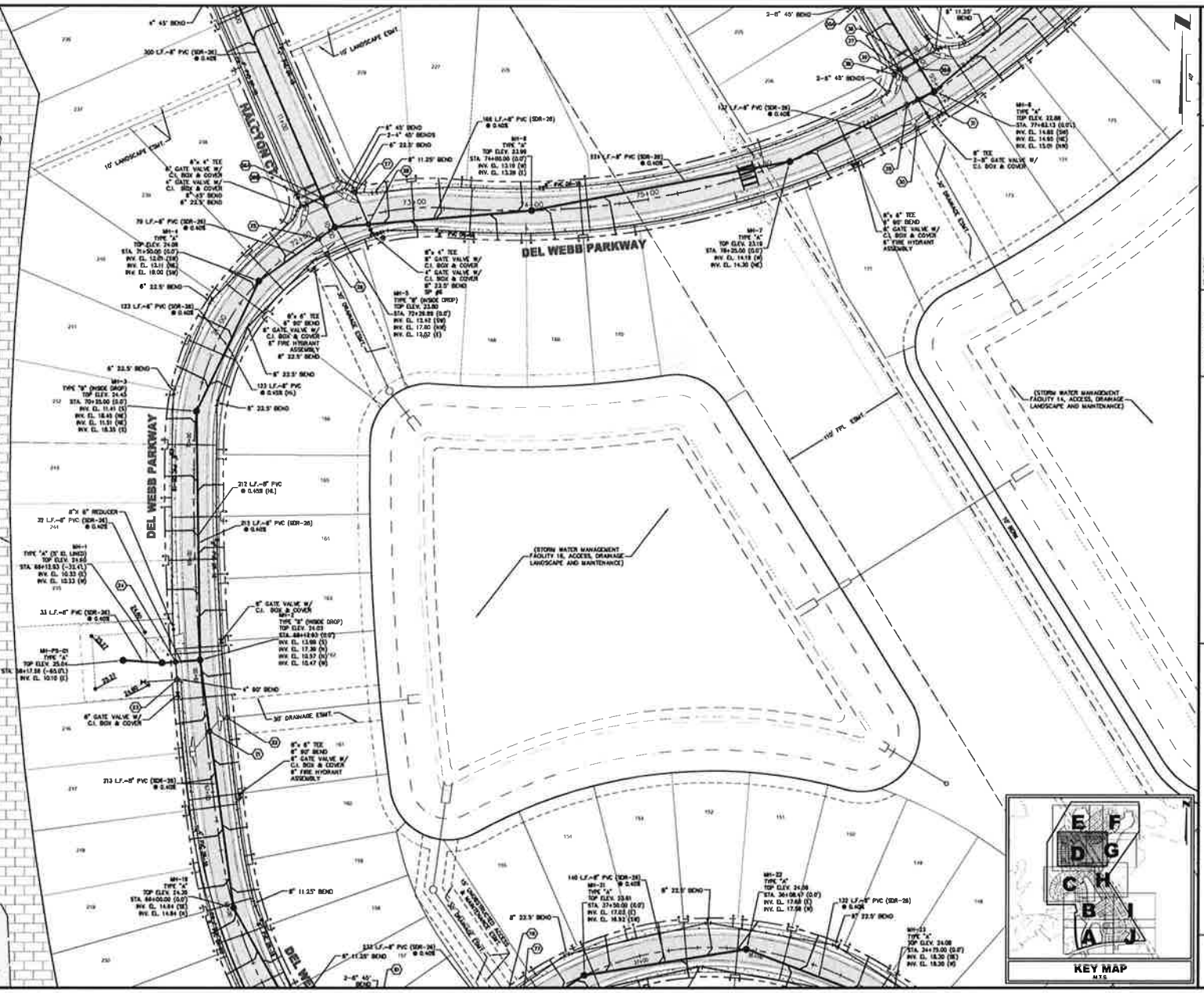
BACKFLOW PREVENTOR WATER SERVICE
N.T.S.

SEE SHEET 10A FOR UTILITY CROSSING TABLE



PLANS PREPARED UNDER THE DIRECTION OF:
NICOLE D. BOLATTE
P.E. NUMBER: 74921

REVISIONS	
File NO. 19-239-04	
DRAWN BY: A.C.D.	
DESIGNED BY: N.J.B.M	
CHECKED BY: N.J.B.M	
DATE: OCTOBER 2022	

ETM
Englewood+Thorn & Miller, Inc.
VISION • EXPERIENCE • RESULTS

WATER AND SEWER PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER
10D

PLOTTED: February 8, 2023 - 4:37 PM, BY: Jim Shaw

GENERAL NOTES:

1. REFER TO DRAWING NO. 2 FOR GENERAL NOTES AND LEGEND.
2. CONTRACTOR SHALL REFER TO SITE PLAN FOR ALL DIMENSIONS AND SHALL NOT SCALE PLAN.
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LEGEND

- ASPHALT PAVEMENT
- VEGETATIVE/NATURAL BUFFER
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE
- BACTERIOLOGICAL SAMPLING POINT

SEE SHEET 10X FOR UTILITY CROSSING TABLE

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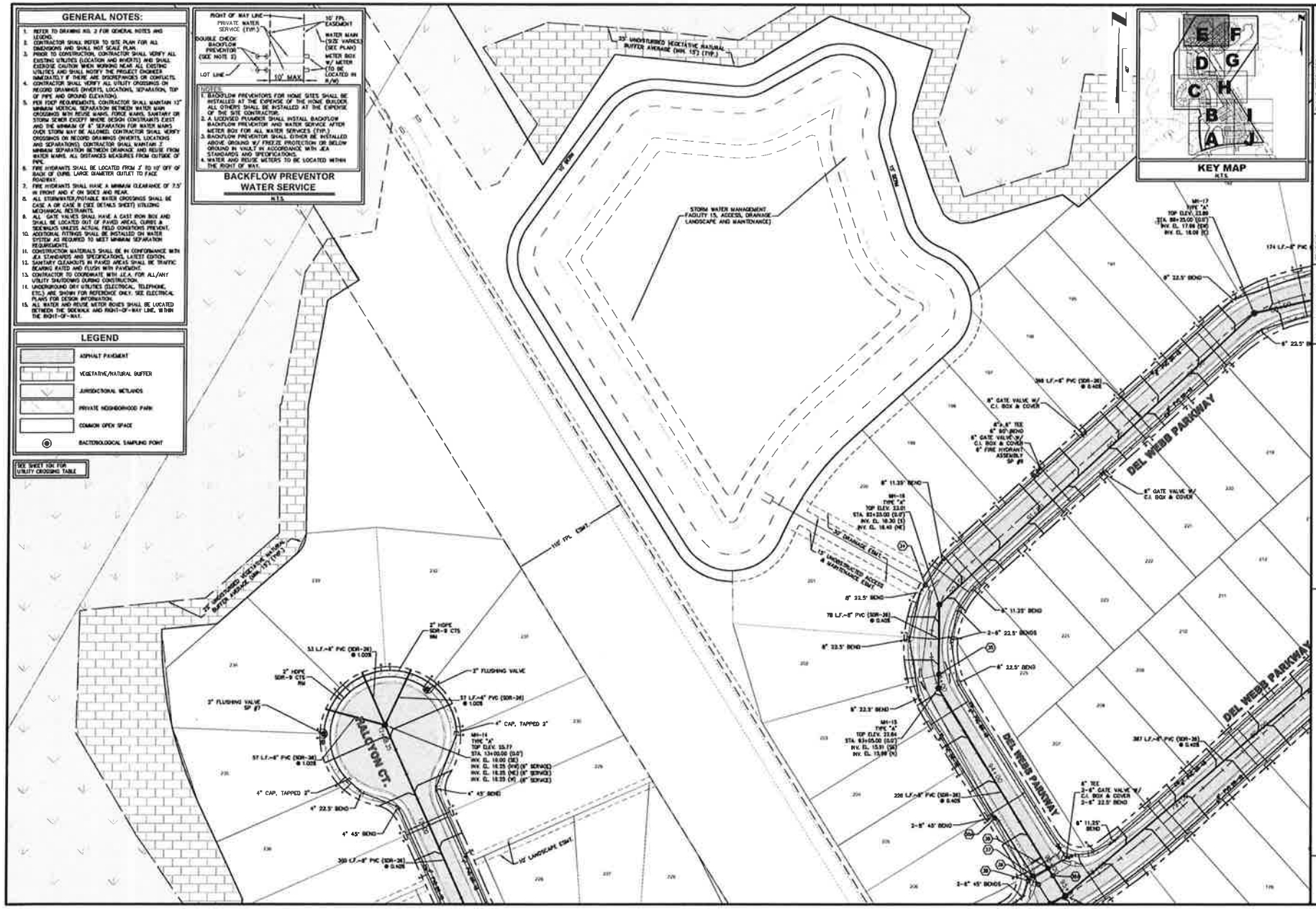
BACKFLOW PREVENTOR WATER SERVICE
NTS

KEY MAP
NTS



PLANS PREPARED UNDER THE DIRECTION OF

NICOLE D. BOLATTE
P.E. NUMBER - 74937

POSTED February 8, 2023 - 4:27 PM, BY: M Dwyer

REVISIONS	
Dwg. No.	19-239-04
Details BY	A.C.D.
DESIGNED BY	N.D.B.
CHECKED BY	N.D.B.
DATE	OCTOBER 2022

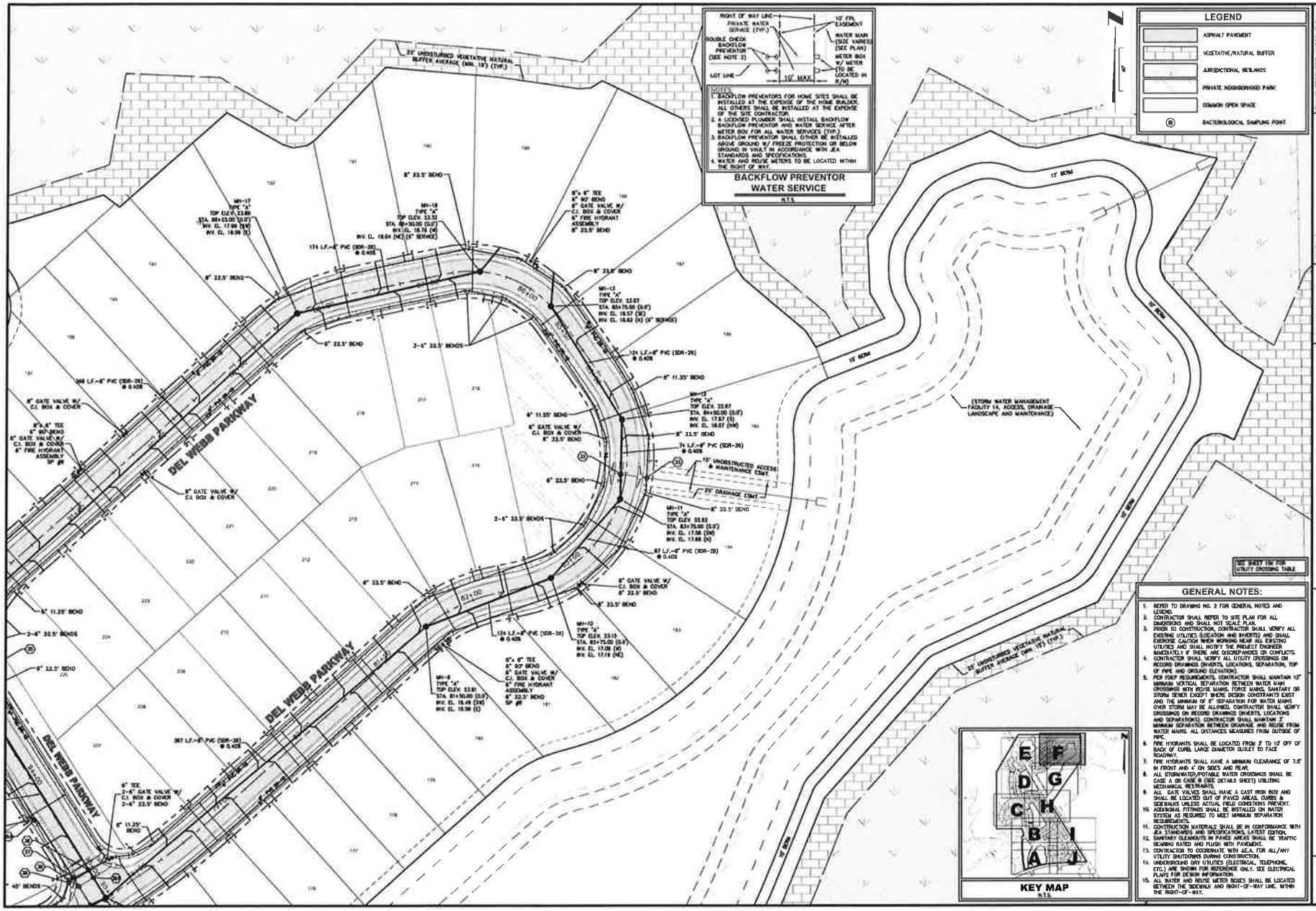
ETM
Englehardt Thomas & Miller, Inc.
14175 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
EB0: 1884 LC: 0000219
VISION • EXPERIENCE • RESULTS

WATER AND SEWER PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER
10E

T:\2019\19-239\19-239-04\Landform\Drawings\Plans\19-239-04_WS.dwg


DEL WEBB PARKWAY
25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15') (TYP.)
(STORM WATER MANAGEMENT FACILITY 14, ACCESS, DRAINAGE, LANDSCAPE AND MAINTENANCE)
15' UNOBSTRUCTED ACCESS & MAINTENANCE ESMT.
20' DRAINAGE ESMT.
SEE SHEET 10K FOR UTILITY CROSSING TABLE
BACKFLOW PREVENTOR WATER SERVICE
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LEGEND
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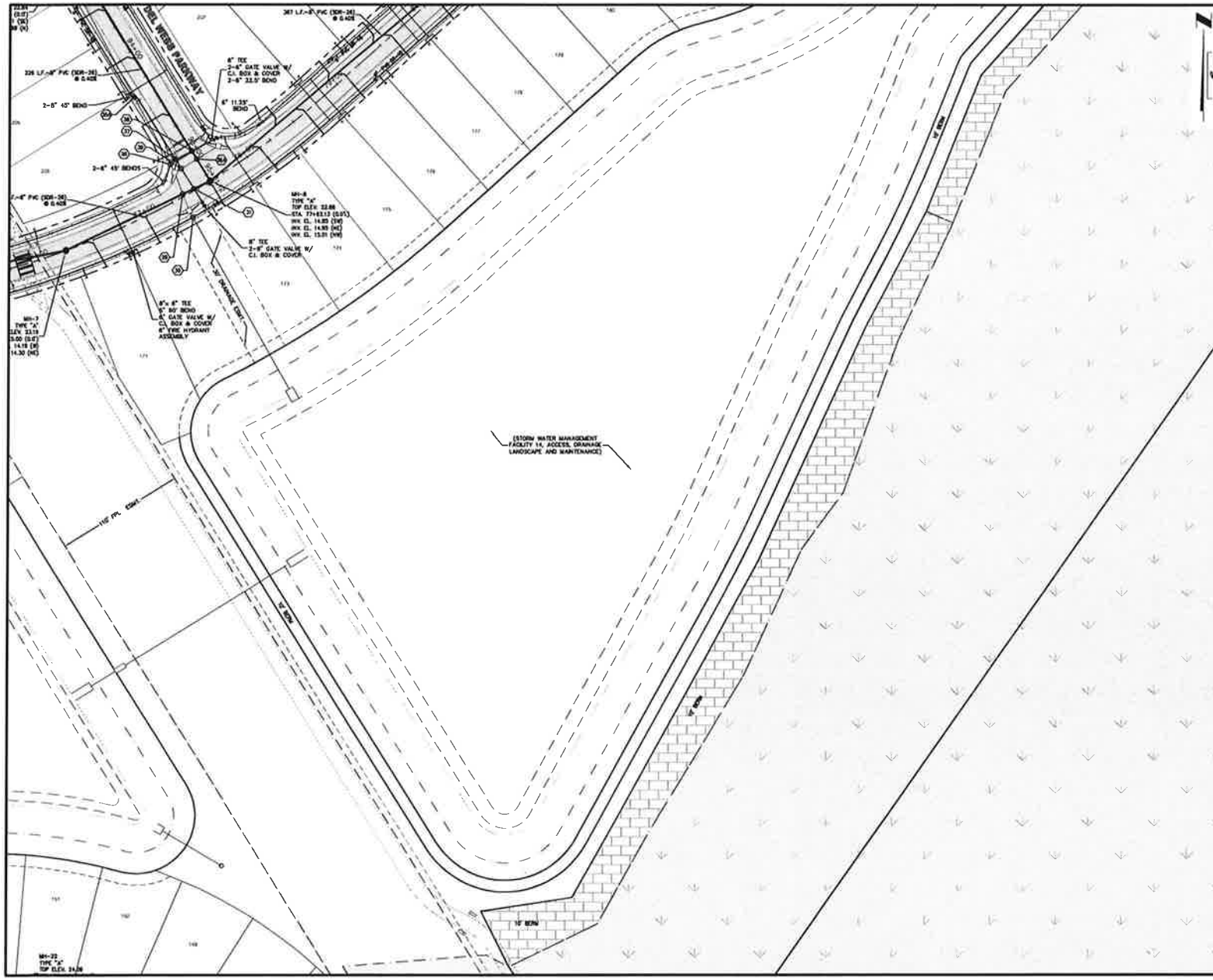
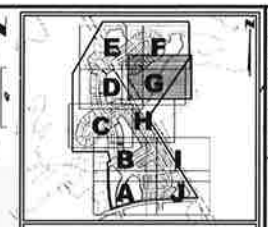
PLANS PREPARED UNDER THE DIRECTION OF
NICOLE D. BOLAITE
P.E. NUMBER 74837
PLOTTED: February 8, 2022 - 4:27 PM, BY: Ali Grainer
REVISIONS
PW NO. 19-238-04
DRAWN BY A.C.D.
DESIGNED BY N.J.B.W.
CHECKED BY N.J.B.W.
DATE OCTOBER 2022
Englewood Thomas & Tillinger, Inc.
10775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
AEC - CBE LC - 0000218
ETM
VISION • EXPERIENCE • RESULTS
WATER AND SEWER PLAN
WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC
DRAWING NUMBER
10F





KEY MAP

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10. ADDITIONAL FITTINGS SHALL BE INSTALLED ON WATER SYSTEM AS REQUIRED TO MEET MINIMUM SEPARATION REQUIREMENTS.
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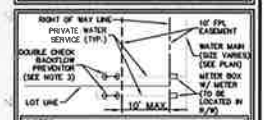
12. SANITARY CLEANOUTS IN PAVED AREAS SHALL BE TRAFFIC BEARING RATED AND FLUSH WITH PAVEMENT.
13. CONTRACTOR TO COORDINATE WITH JEA FOR ALL/ANY UTILITY SHUTDOWNS DURING CONSTRUCTION.
14. UNDERGROUND DRY UTILITIES (ELECTRICAL, TELEPHONE, ETC.) ARE SHOWN FOR REFERENCE ONLY. SEE ELECTRICAL PLANS FOR DESIGN INFORMATION.
15. ALL WATER AND REUSE METER BOXES SHALL BE LOCATED BETWEEN THE SIDEWALK AND RIGHT-OF-WAY LINE, WITHIN THE RIGHT-OF-WAY.

LEGEND

- ASPHALT PAVEMENT
- VEGETATIVE/NATURAL BUFFER
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
- COMMON OPEN SPACE
- BACTERIOLOGICAL SAMPLING POINT



NOTES:

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2. A LICENSED PLUMBER SHALL INSTALL BACKFLOW PREVENTOR AND WATER SERVICE AFTER METER BOX FOR ALL WATER SERVICES (TYP.)
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4. WATER AND REUSE METERS TO BE LOCATED WITHIN THE RIGHT OF WAY.

BACKFLOW PREVENTOR WATER SERVICE

N.T.S.

SEE SHEET 10K FOR UTILITY CROSSING TABLE

PLANS PREPARED UNDER THE DIRECTION OF:

NICOLE D. BIOLATTI
P.E. NUMBER: 79921

PLOTTED February 8, 2023 - 4:37 PM BY

REVISIONS

T&W NO. 19-239-04	
DRAWN BY: A.C.D.	
DESIGNED BY: N.J.S.W.	
CHECKED BY: N.J.S.W.	
DATE: OCTOBER 2022	

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WATER AND SEWER PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER

10G

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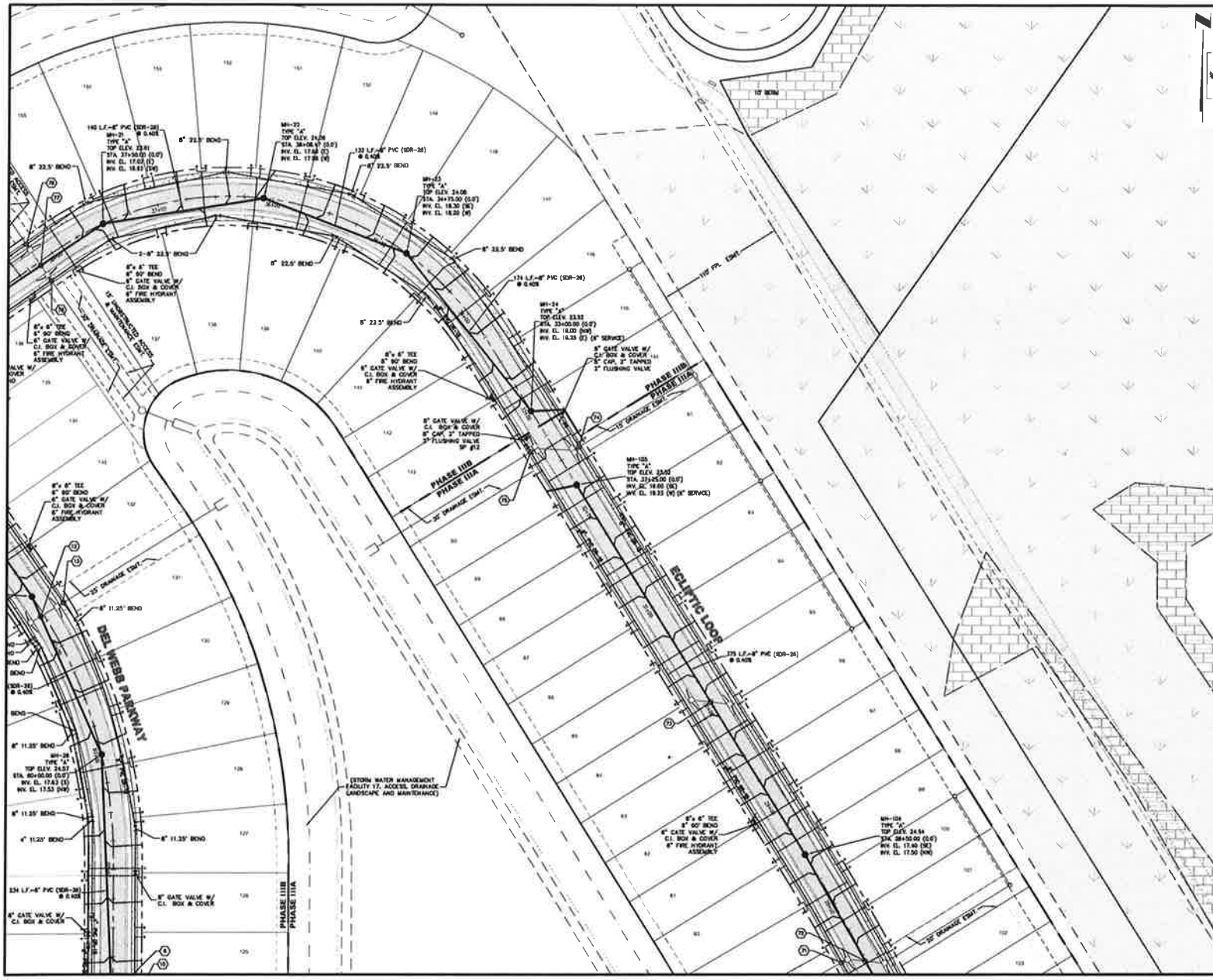

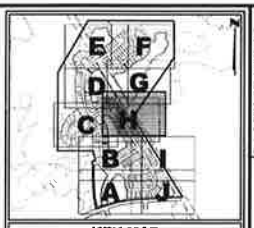

KEY MAP

NTS

GENERAL NOTES:

1. REFER TO DRAWING NO. 2 FOR GENERAL NOTES AND LEGEND.
2. CONTRACTOR SHALL REFER TO SITE PLAN FOR ALL DIMENSIONS AND SHALL NOT SCALE PLAN.
3. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES (LOCATION AND INVERTS) AND SHALL EXERCISE CAUTION WHEN WORKING NEAR ALL EXISTING UTILITIES AND SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY IF THERE ARE DISCREPANCIES OR CONFLICTS.
4. CONTRACTOR SHALL VERIFY ALL UTILITY CROSSINGS ON RECORD DRAWINGS (INVERTS, LOCATIONS, SEPARATION, TOP OF PIPE AND GROUND ELEVATION).
5. PER FDEP REQUIREMENTS, CONTRACTOR SHALL MAINTAIN 12" MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN CROSSINGS WITH REUSE MAINS, FORCE MAINS, SANITARY OR STORM SEWER EXCEPT WHERE DESIGN CONSTRAINTS EXIST AND THE MINIMUM OF 6" SEPARATION FOR WATER MAINS OVER STORM MAY BE ALLOWED. CONTRACTOR SHALL VERIFY CROSSINGS ON RECORD DRAWINGS (INVERTS, LOCATIONS AND SEPARATIONS). CONTRACTOR SHALL MAINTAIN 3' MINIMUM SEPARATION BETWEEN DRAINAGE AND REUSE FROM WATER MAINS. ALL DISTANCES MEASURES FROM OUTSIDE OF PIPE.
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8. ALL STORMWATER/POTABLE WATER CROSSINGS SHALL BE CASE 1 OR CASE 2B (SEE DETAILS SHEET) UTILIZING MECHANICAL RESTRAINTS.
9. ALL GATE VALVES SHALL HAVE A CAST IRON BOX AND SHALL BE LOCATED OUT OF PAVED AREAS, CURBS & SIDEWALKS UNLESS ACTUAL FIELD CONDITIONS PREVENT.
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LEGEND

- ASPHALT PAVEMENT
- VEGETATIVE/NATURAL BUFFER
- JURISDICTIONAL WETLANDS
- PRIVATE NEIGHBORHOOD PARK
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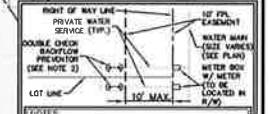

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BACKFLOW PREVENTOR WATER SERVICE

NTS

SEE SHEET 10H FOR UTILITY CROSSING TABLE

PLANS PREPARED UNDER THE DIRECTION OF:

NICOLE D. BOLATETE
P.E. NUMBER 81522

PRINTED: February 8, 2023 - 4:21 PM, BY: nicole.bolatete

REVISIONS

FILE NO. 19-238-04	
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DESIGNED BY	N.D.B.
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DATE	OCTOBER 2022

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VISION • EXPERIENCE • RESULTS

WATER AND SEWER PLAN

WILDLIGHT PDP #3 PARCEL 6

FOR

PULTE HOME COMPANY, LLC

DRAWING NUMBER

10H

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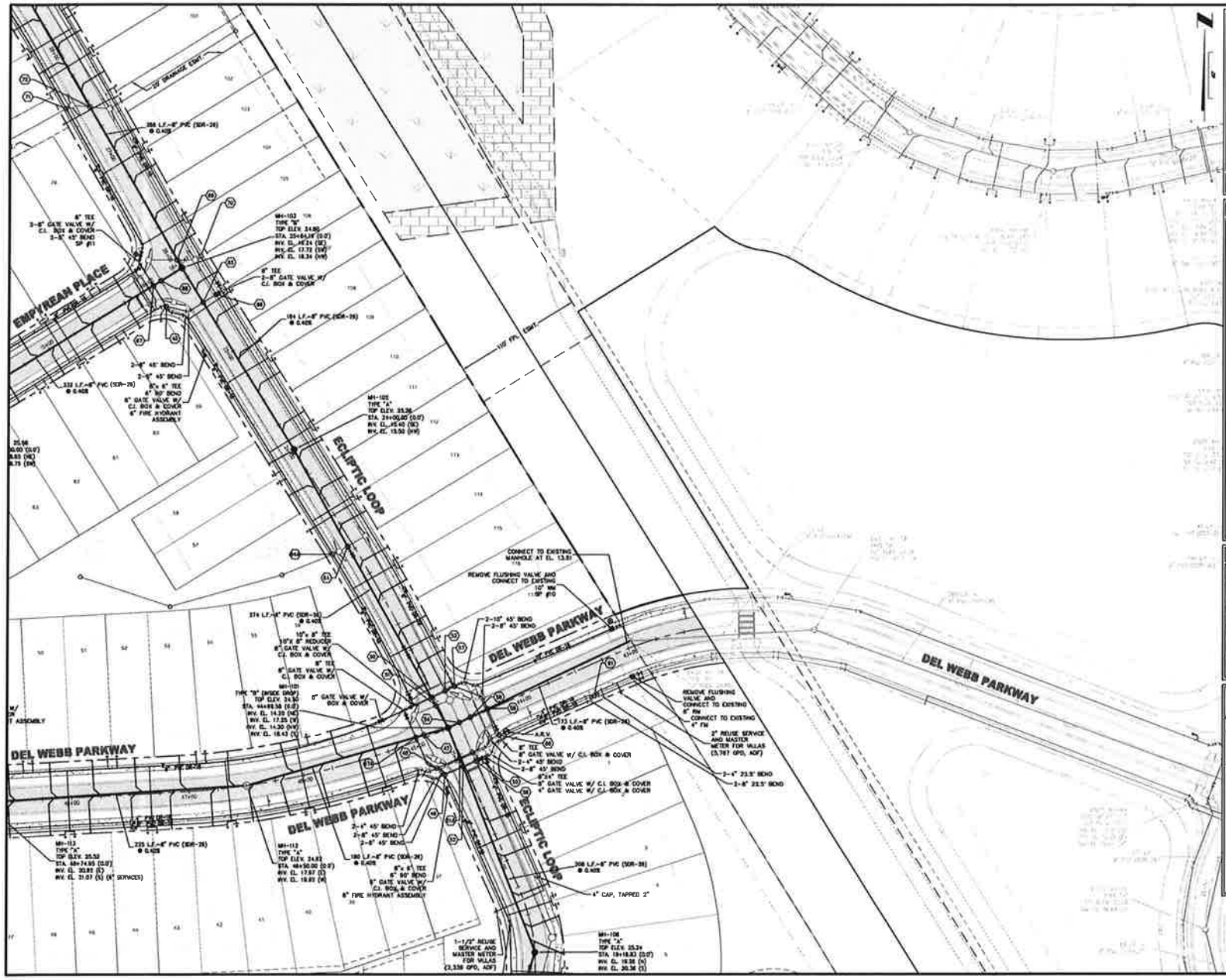

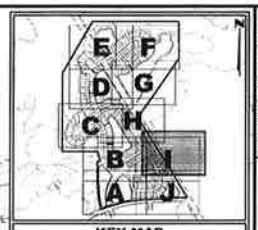

KEY MAP

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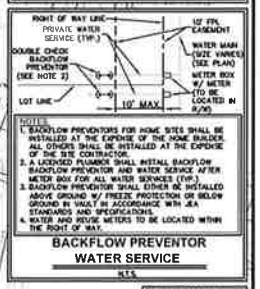

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BACKFLOW PREVENTOR WATER SERVICE

N.T.S.

SEE SHEET 10C FOR UTILITY CROSSING TABLE

PLANS PREPARED UNDER THE DIRECTION OF

NICOLE D. MOLATETE
P.E. NUMBER 74827

PLOTTED February 8, 2022 - 2:38 PM, BY: Nicole Molatete

REVISIONS

F.W. NO.	19-239-24
DRAWN BY	A.C.D.
DESIGNED BY	N.J.D.M.
CHECKED BY	N.J.D.M.
DATE	OCTOBER 2022

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VISION • EXPERIENCE • RESULTS

WATER AND SEWER PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
101

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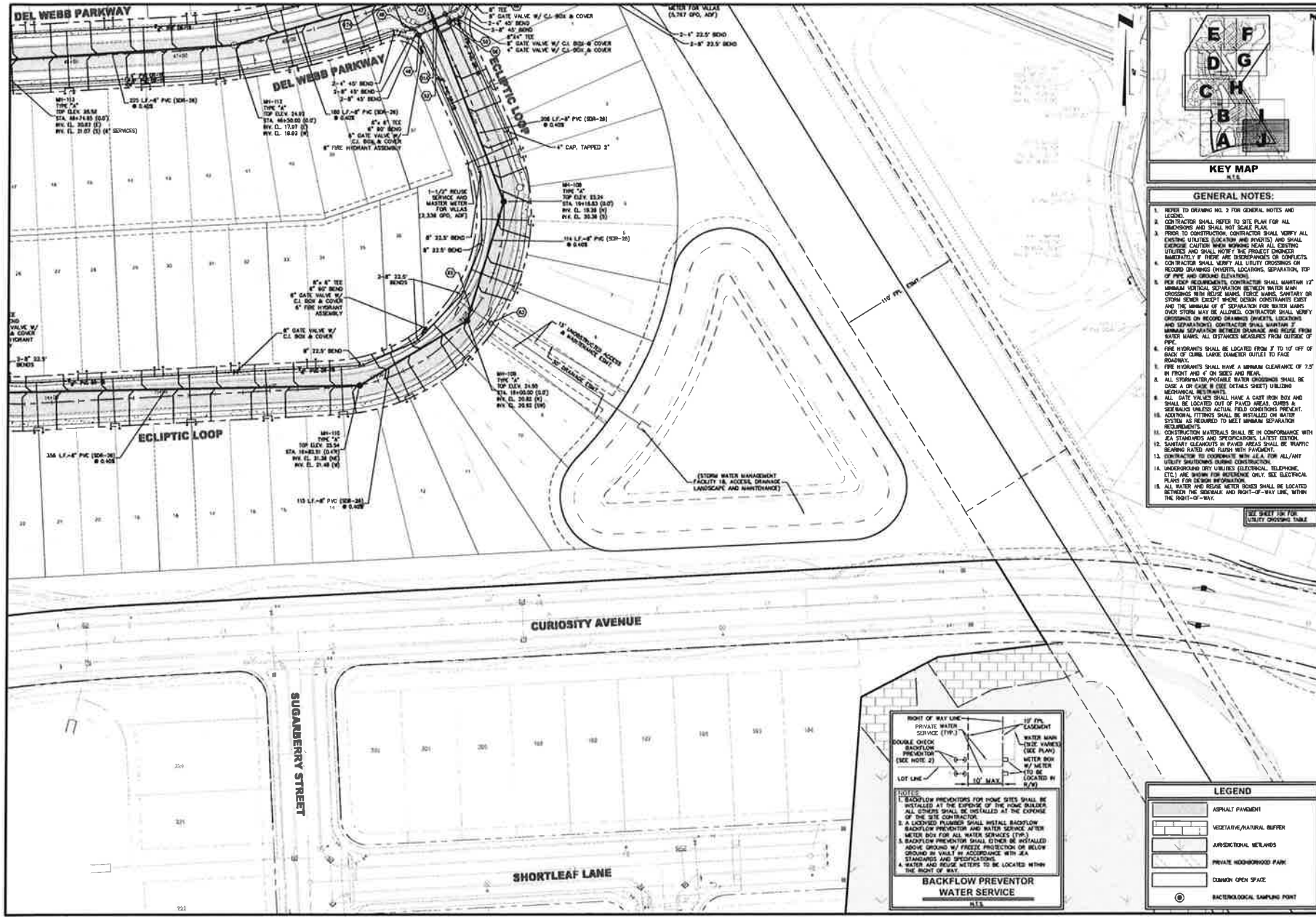

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SEE SHEET 10K FOR UTILITY CROSSING TABLE

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BACKFLOW PREVENTOR WATER SERVICE

NTS

LEGEND

- ASPHALT PAVEMENT
- VEGETATIVE/NATURAL BUFFER
- JURISDICTIONAL WETLANDS
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- BACTERIOLOGICAL SAMPLING POINT

PLANS PREPARED UNDER THE DIRECTION OF:

NICOLE D. BOLATETE
P.E. NUMBER 74921

PLOTTED: February 8, 2023 - 4:28 PM, By: N. Sherer

REVISIONS	
FW NO. 19-238-04	
DRAWN BY: A.C.D.	
DESIGNED BY: N.J.S.M.	
CHECKED BY: N.J.S.M.	
DATE: OCTOBER 2022	

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ETM
VISION • EXPERIENCE • RESULTS

WATER AND SEWER PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER

10J

UTILITY CROSSING SCHEDULE

UTILITY CROSSING SYNOPSIS
Project Title
#VALUE!
10/6/2022

W - POTABLE WATER
RW - REUSE WATER
FM - FORCE MAIN
SD - STORM DRAIN
SS - SANITARY SEWER

Plan DWG Number	Crossing No	Road	Station	Top Pipe /Bottom Pipe	FG Elev at Crossing	Top EL Top pipe	Top Pipe Size-Type	Bott EL Top pipe	Top EL Bottom Pipe	Bot pipe Size-Type	Clearance Btwn Pipes
10A	1	ROAD O	13+65	W/SD	26.41	23.91	12" PVC	22.81	19.48	36" RCP	3.33
10A	2	ROAD O	13+66.21	W/SD	26.41	23.91	12" PVC	22.81	19.55	36" RCP	3.26
10A	2A	ROAD O	16+05.61	W/SD	25.50	23.00	12" PVC	21.90	20.35	18" ADS HP	1.55
10B	3	ROAD O	17+13.1	W/RW	25.90	23.40	12" PVC	22.30	21.30	8" PVC	1.00
10B	4	ROAD O	17+22.97	RW/FM	25.81	23.31	8" PVC	22.56	21.56	4" PVC	1.00
10B	5	DEL WEBB PARKWAY	52+59.42	W/FM	25.80	23.30	12" PVC	22.20	21.20	4" PVC	1.00
10B	6	DEL WEBB PARKWAY	53+00.31	RW/SD	25.19	22.69	8" PVC	21.94	20.90	18" ADS HP	1.04
10B	7	DEL WEBB PARKWAY	53+00.29	FM/SD	25.21	22.71	4" PVC	22.31	20.63	15" ADS HP	1.68
10B	8	DEL WEBB PARKWAY	55+68.29	W/RW	25.62	22.52	8" PVC	21.77	20.77	8" PVC	1.00
10B	8A	DEL WEBB PARKWAY	55+68.29	W/SS	24.87	21.87	8" PVC	21.12	20.12	8" PVC	1.00
10B	9	DEL WEBB PARKWAY	57+90.13	SD/SS	24.17	22.07	15" ADS HP	20.59	19.14	8" PVC	1.45
10B	10	DEL WEBB PARKWAY	57+84.67	W/SD	24.23	21.73	8" PVC	20.98	19.45	15" ADS HP	1.53
10C	12	DEL WEBB PARKWAY	61+31.3	SD/SS	24.01	21.28	15" ADS HP	20.30	17.68	8" PVC	2.62
10C	13	DEL WEBB PARKWAY	61+31.07	W/SD	24.12	21.62	8" PVC	20.87	19.21	24" ADS HP	1.66
10C	14	DEL WEBB PARKWAY	63+58	W/RW	25.08	22.58	8" PVC	21.83	20.83	8" PVC	1.00
10C	15	DEL WEBB PARKWAY	63+58	W/FM	25.01	22.51	8" PVC	21.76	20.76	4" PVC	1.00
10C	16	DEL WEBB PARKWAY	63+58	W/SS	25.04	22.04	8" PVC	21.29	16.67	8" PVC	4.62
10C	17	DEL WEBB PARKWAY	63+66.61	SS/SD	25.08	16.42	8" PVC	15.72	14.60	30" ADS HP	1.12
10C	18	DEL WEBB PARKWAY	64+08.62	RW/FM	25.01	22.51	8" PVC	21.76	20.76	4" PVC	1.00
10C	19	DEL WEBB PARKWAY	64+08.62	RW/SS	25.00	22.00	8" PVC	21.25	16.37	8" PVC	4.88
10D	21	DEL WEBB PARKWAY	67+51.88	SD/SS	23.72	21.49	18" ADS HP	19.71	14.90	8" PVC	4.81
10D	22	DEL WEBB PARKWAY	67+61.82	W/SD	23.85	21.35	8" PVC	20.60	18.92	24" ADS HP	1.68
10D	23	DEL WEBB PARKWAY	67+97.81	RW/FM	24.01	21.51	8" PVC	20.76	19.76	4" PVC	1.00
10D	24	DEL WEBB PARKWAY	68+12.93	RW/SS	24.06	21.56	8" PVC	20.81	11.05	8" PVC	9.76
10D	25	DEL WEBB PARKWAY	72+12.89	SD/SS	23.77	21.70	24" ADS HP	19.37	13.02	8" PVC	6.35
10D	26	DEL WEBB PARKWAY	72+13.01	W/SD	23.85	21.35	8" PVC	20.60	18.73	30" ADS HP	1.87
10D	26A	DEL WEBB PARKWAY	72+29.89	RW/SS	23.89	20.89	6" PVC	20.32	18.58	8" PVC	1.74
10D	26B	DEL WEBB PARKWAY	72+29.89	SD/SS	23.66	21.80	18" ADS HP	20.02	18.55	8" PVC	1.47
10D	27	DEL WEBB PARKWAY	72+54.66	W/RW	23.74	21.24	4" PVC	20.84	19.84	6" PVC	1.00
10D	28	DEL WEBB PARKWAY	72+57.93	W/SS	23.68	20.68	4" PVC	20.28	13.31	8" PVC	6.97
10D	29	DEL WEBB PARKWAY	77+36.19	SS/SD	22.75	15.41	8" PVC	14.71	13.53	30" ADS HP	1.18
10D	30	DEL WEBB PARKWAY	77+33.88	W/SD	22.83	20.33	8" PVC	19.58	13.43	30" ADS HP	6.15
10D	31	DEL WEBB PARKWAY	77+46.59	W/SS	22.80	19.80	8" PVC	19.05	15.45	8" PVC	3.60
10F	32	DEL WEBB PARKWAY	84+02.19	SS/SD	22.34	18.46	8" PVC	17.76	16.74	24" ADS HP	1.02
10F	33	DEL WEBB PARKWAY	84+02.19	W/SD	22.51	20.01	8" PVC	19.28	16.64	24" ADS HP	2.62
10E	34	DEL WEBB PARKWAY	92+15.52	W/SD	23.07	20.57	8" PVC	19.82	16.92	24" ADS HP	2.90
10E	35	DEL WEBB PARKWAY	92+92.73	SD/SS	22.67	20.41	18" ADS HP	18.63	16.71	8" PVC	1.92
10E	35A	DEL WEBB PARKWAY	94+35.44	W/SD	23.19	20.69	8" PVC	19.94	16.25	24" ADS HP	3.69
10D	36	DEL WEBB PARKWAY	95+00.95	RW/SS	22.97	19.97	6" PVC	19.40	15.80	8" PVC	3.60
10D	37	DEL WEBB PARKWAY	94+59.83	W/RW	22.77	20.27	8" PVC	19.52	18.52	6" PVC	1.00
10D	38	DEL WEBB PARKWAY	95+01.19	RW/SD	22.81	20.31	6" PVC	19.74	16.09	24" ADS HP	3.64
10D	39	DEL WEBB PARKWAY	95+09.03	W/SD	22.49	19.49	8" PVC	18.74	17.88	15" ADS HP	0.86
10D	39A	DEL WEBB PARKWAY	95+09.11	SD/SS	22.95	17.92	15" ADS HP	16.44	15.77	8" PVC	0.67
10B	40	DEL WEBB PARKWAY	51+56.55	W/RW	25.92	23.42	12" PVC	22.32	21.32	8" PVC	1.00
10B	41	ROAD P	11+51.25	W/SD	25.17	22.67	8" PVC	21.92	20.34	18" ADS HP	1.58
10I	42	ROAD P	16+03.62	W/RW	24.72	22.22	8" PVC	21.47	20.47	8" PVC	1.00
10B	43	DEL WEBB PARKWAY	49+66.72	FM/SD	25.23	22.73	4" PVC	22.33	17.68	24" ADS HP	4.65
10B	44	DEL WEBB PARKWAY	49+71.91	RW/SD	25.45	22.95	8" PVC	22.20	17.66	24" ADS HP	4.54
10B	45	DEL WEBB PARKWAY	49+24.45	W/FM	25.41	22.91	8" PVC	22.16	21.16	4" PVC	1.00
10B	46	DEL WEBB PARKWAY	49+24.57	W/RW	25.51	23.01	8" PVC	22.26	21.26	8" PVC	1.00
10I	47	DEL WEBB PARKWAY	44+91.3	SD/SS	24.29	21.91	24" ADS HP	19.58	18.01	8" PVC	1.57
10I	47A	DEL WEBB PARKWAY	44+98.65	W/SS	24.26	21.26	8" PVC	20.51	18.04	8" PVC	2.47
10I	48	DEL WEBB PARKWAY	44+91.51	W/FM	24.26	21.76	8" PVC	21.01	20.01	4" PVC	1.00
10I	49	DEL WEBB PARKWAY	44+87.58	W/RW	24.41	21.91	8" PVC	21.16	20.16	8" PVC	1.00
10I	50	DEL WEBB PARKWAY	44+72.39	W/SS	24.33	21.33	10" PVC	20.40	15.09	8" PVC	5.31

UTILITY CROSSING SCHEDULE

UTILITY CROSSING SYNOPSIS
Project Title
#VALUE!
10/6/2022

W - POTABLE WATER
RW - REUSE WATER
FM - FORCE MAIN
SD - STORM DRAIN
SS - SANITARY SEWER

Plan DWG Number	Crossing No	Road	Station	Top Pipe /Bottom Pipe	FG Elev at Crossing	Top EL Top pipe	Top Pipe Size-Type	Bott EL Top pipe	Top EL Bottom Pipe	Bot pipe Size-Type	Clearance Btwn Pipes
10I	51	DEL WEBB PARKWAY	44+71.59	SD/SS	24.32	21.81	24" ADS HP	19.48	15.06	8" PVC	4.42
10I	51A	DEL WEBB PARKWAY	44+70.82	FM/SS	24.38	21.38	4" PVC	20.98	19.21	8" PVC	1.77
10I	52	DEL WEBB PARKWAY	44+71.16	RW/SS	24.40	21.40	8" PVC	20.65	19.24	8" PVC	1.41
10I	53	DEL WEBB PARKWAY	44+59.11	W/SD	24.02	21.02	8" PVC	20.27	19.53	30" ADS HP	0.74
10I	54	DEL WEBB PARKWAY	44+58.77	SD/SS	24.33	19.50	24" ADS HP	17.17	14.83	8" PVC	2.34
10I	55	DEL WEBB PARKWAY	44+59.02	FM/SD	24.07	21.07	4" PVC	20.67	19.54	24" ADS HP	1.13
10I	56	DEL WEBB PARKWAY	44+59.09	RW/SD	24.11	21.11	8" PVC	20.36	19.55	24" ADS HP	0.81
10I	57	DEL WEBB PARKWAY	44+49.99	W/RW	24.26	21.76	10" PVC	20.83	19.83	8" PVC	1.00
10I	58	DEL WEBB PARKWAY	44+48.42	SD/SS	24.36	21.87	15" ADS HP	20.39	14.79	8" PVC	5.60
10I	59	DEL WEBB PARKWAY	44+31.81	RW/SS	24.40	21.40	8" PVC	20.65	14.72	8" PVC	5.93
10I	60	DEL WEBB PARKWAY	44+31.81	RW/FM	24.47	21.97	6" PVC	21.22	20.22	4" PVC	1.00
10I	61	DEL WEBB PARKWAY	43+43.54	RW/FM	24.87	22.37	8" PVC	21.62	20.62	4" PVC	1.00
10J	62	ROAD N	18+10.25	SS/SD	24.79	21.44	8" PVC	20.74	18.81	18" ADS HP	1.93
10J	63	ROAD N	18+10.25	RW/SD	24.92	22.42	8" PVC	21.67	19.00	24" ADS HP	2.67
10I	64	ROAD N	23+04.59	SD/SS	24.79	20.99	15" ADS HP	19.51	15.69	8" PVC	3.82
10I	64A	ROAD N	23+05.53	W/SD	24.94	22.44	8" PVC	21.69	21.05	15" ADS HP	0.64
10I	65	ROAD N	25+49.19	RW/SS	24.97	21.92	8" PVC	21.17	16.77	8" PVC	4.40
10I	66	ROAD N	25+49.19	RW/SD	24.83	22.33	8" PVC	21.58	18.93	42" ADS HP	2.65
10I	67	ROAD N	25+84.19	W/SS	24.90	21.90	8" PVC	21.15	18.51	8" PVC	2.64
10I	68	ROAD N	25+84.19	SD/SS	24.87	22.37	15" ADS HP	20.89	18.47	8" PVC	2.42
10I	69	ROAD N	25+98.34	SD/SS	24.74	22.26	15" ADS HP	20.78	17.06	8" PVC	3.72
10I	70	ROAD N	25+94.5	RW/SD	24.77	22.27	8" PVC	21.52	20.04	15" ADS HP	1.48
10H	71	ROAD N	27+53.09	W/SD	24.23	21.73	8" PVC	20.98	16.29	48" ADS HP	4.69
10H	72	ROAD N	27+58.67	SS/SD	24.18	17.70	8" PVC	17.00	16.35	48" ADS HP	0.65
10H	73	ROAD N	30+09.69	SS/SD	24.27	18.81	8" PVC	18.11	16.97	15" ADS HP	1.14
10H	74	ROAD N	32+51.91	RW/SD	23.44	20.94	8" PVC	20.19	18.54	15" ADS HP	1.65
10H	75	ROAD N	32+69.97	W/SD	23.44	20.94	8" PVC	20.19	18.44	24" ADS HP	1.75
10C	76	ROAD N	38+14.21	W/SD	23.41	20.91	8" PVC	20.16	17.46	48" ADS HP	2.70
10C	77	ROAD N	38+14.21	SS/SD	23.31	17.33	8" PVC	16.63	15.41	48" ADS HP	1.22
10C	78	ROAD N	38+14.21	RW/SD	23.41	20.91	8" PVC	20.16	15.34	48" ADS HP	4.82
10C	79	ROAD N	39+64.21	W/SS	24.95	21.95	8" PVC	21.20	16.73	8" PVC	4.47
10C	80	ROAD N	39+64.21	W/SD	24.83	21.83	8" PVC	21.08	14.58	30" ADS HP	6.50
10C	81	ROAD N	39+64.21	W/RW	25.01	22.51	8" PVC	21.76	20.76	8" PVC	1.00
10C	82	ROAD N	40+01.31	FM/SS	25.07	22.07	4" PVC	21.67	17.45	8" PVC	4.22
10C	83	ROAD N	40+01.31	FM/SD	24.91	21.91	4" PVC	21.51	14.62	30" ADS HP	6.89
10C	84	ROAD N	40+04.81	RW/SS	23.66	20.66	8" PVC	19.91	17.47	8" PVC	2.44
10C	85	ROAD N	40+04.81	RW/SD	24.85	21.85	8" PVC	21.10	14.62	30" ADS HP	6.48
10C	86	ROAD N	42+46.32	W/SS	24.25	21.25	6" PVC	20.50	18.52	8" PVC	1.98
10C	87	ROAD N	42+44.15	W/SD	23.70	20.70	8" PVC	19.95	17.42	30" ADS HP	2.53
10C	88	ROAD N	42+43.94	W/RW	23.70	20.70	8" PVC	19.95	18.95	6" PVC	1.00
10C	89	ROAD N	42+67.46	SD/SS	24.22	22.01	18" ADS HP	20.23	18.61	8" PVC	1.62
10C	90	ROAD N	49+69.02	RW/SS	24.14	21.14	8" PVC	20.57	18.86	8" PVC	1.71
10C	91	ROAD N	49+78.51	SD/SS	24.17	21.68	15" ADS HP	20.40	18.83	8" PVC	1.57

PLANS PREPARED UNDER THE DIRECTION OF:

NICOLE D. BOLATTE
P.E. NUMBER 74921

REVISIONS

FIM NO. 19-239-04
DRAWN BY: A.C.S.
DESIGNED BY: K.J.S.M.
CHECKED BY: K.J.S.M.
DATE: OCTOBER 2022

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Jacksonville, FL 32226
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FAX: (904) 646-8400
ECS - CBE LC - 0000016

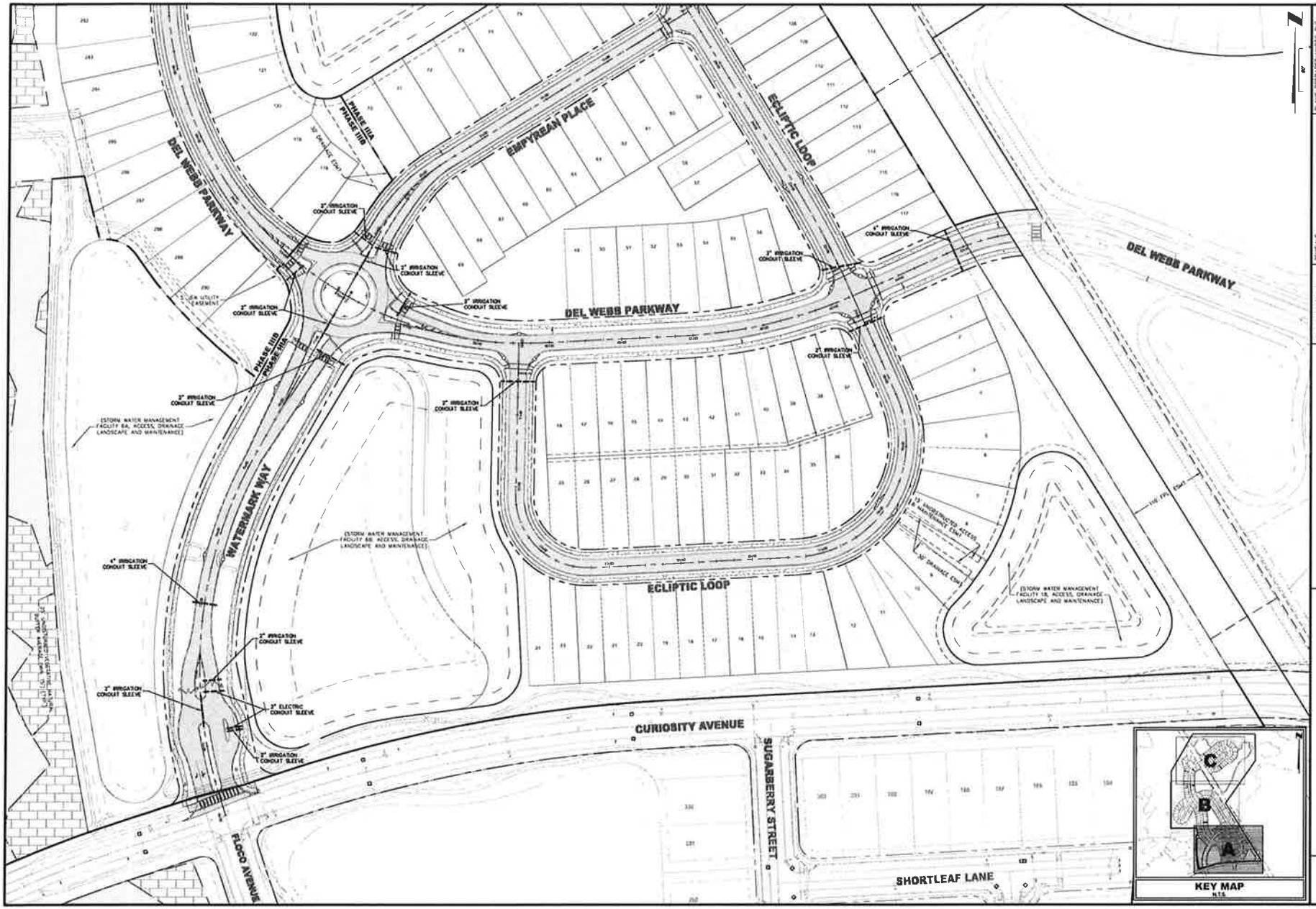
ETM
VISION • EXPERIENCE • RESULTS

WATER AND SEWER PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
10K

PLOTTED February 8, 2023 - 4:38 PM BY: A. Sharp



PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. MELICAN, P.E. NUMBER 43551

REVISIONS

DW NO.	19-239-04
DRAWN BY	A.G.D.
DESIGNED BY	N.J.D.M.
CHECKED BY	N.J.D.M.
DATE	OCTOBER 2022

ETM

Engineering, Planning & Testing, Inc.
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Jacksonville, FL 32258
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FAX: (904) 642-8551
NED: CBM - LIC. 00002616

VISION • EXPERIENCE • RESULTS

SLEEVE PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER

11A

PLOTTED February 8, 2023 - 4:38 PM, BY: Alex Dreher

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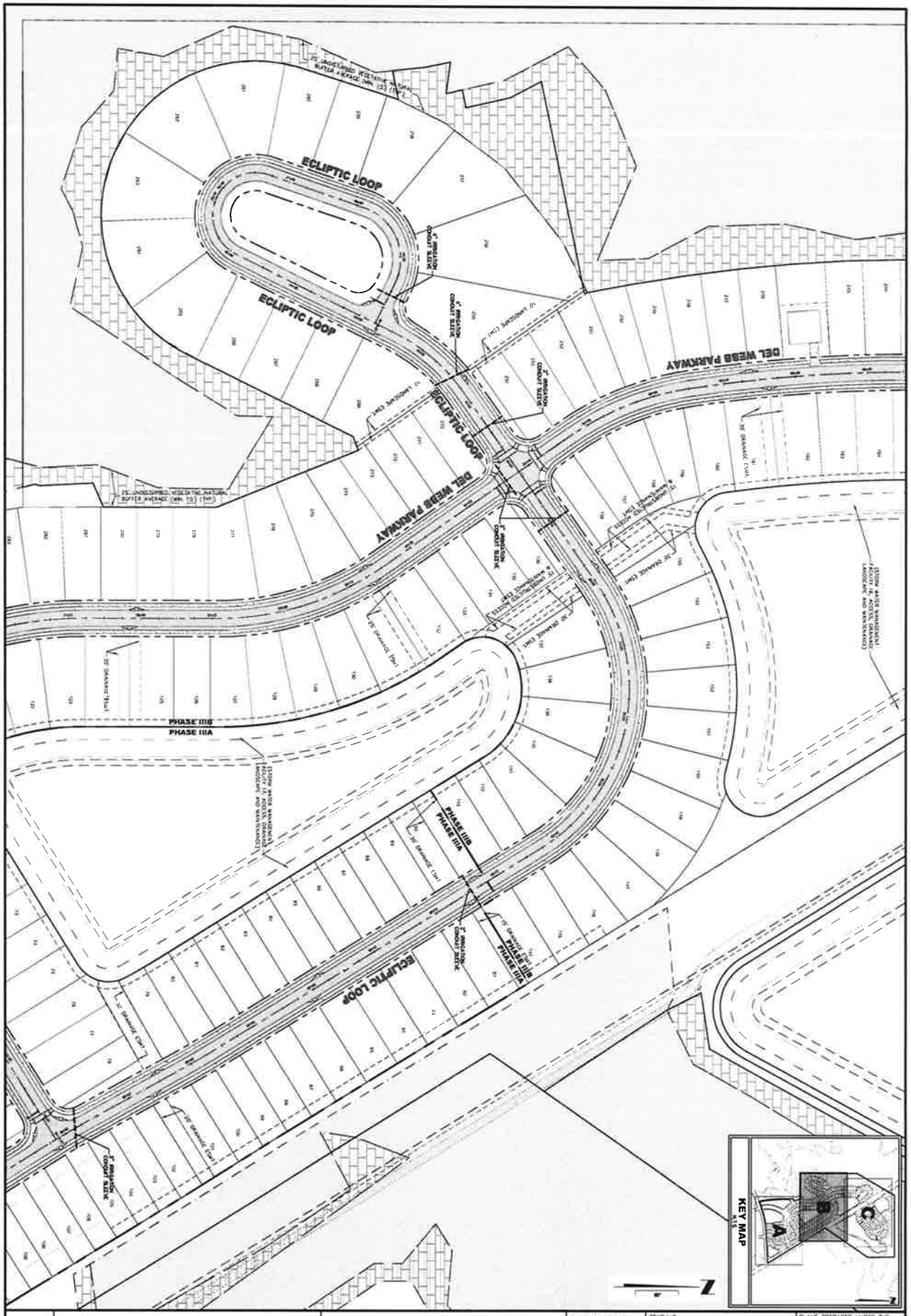

SLEEVE PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER **11B**

ETM
VISION • EXPERIENCE • RESULTS

England-Thims & Miller, Inc.
1475 Old St. Augustine Road
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FAX: (904) 646-9485
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ETM NO. 19-239-04	
DRAWN BY: A.G.D.	
DESIGNED BY: N.J.D.M.	
CHECKED BY: N.J.D.M.	
DATE: OCTOBER 2022	

REVISIONS:

PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. MILLIGAN
P.E. NUMBER: 45951

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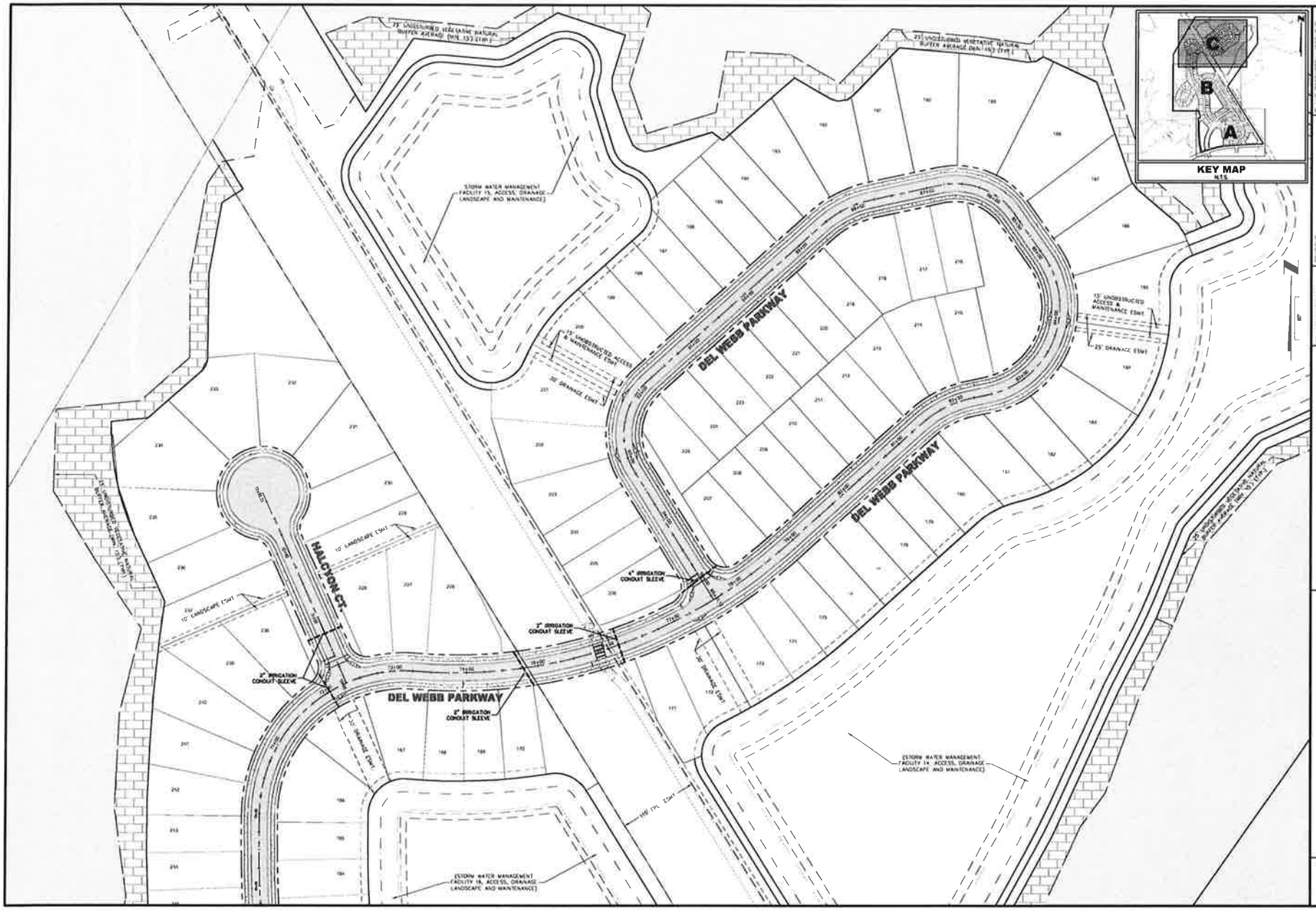
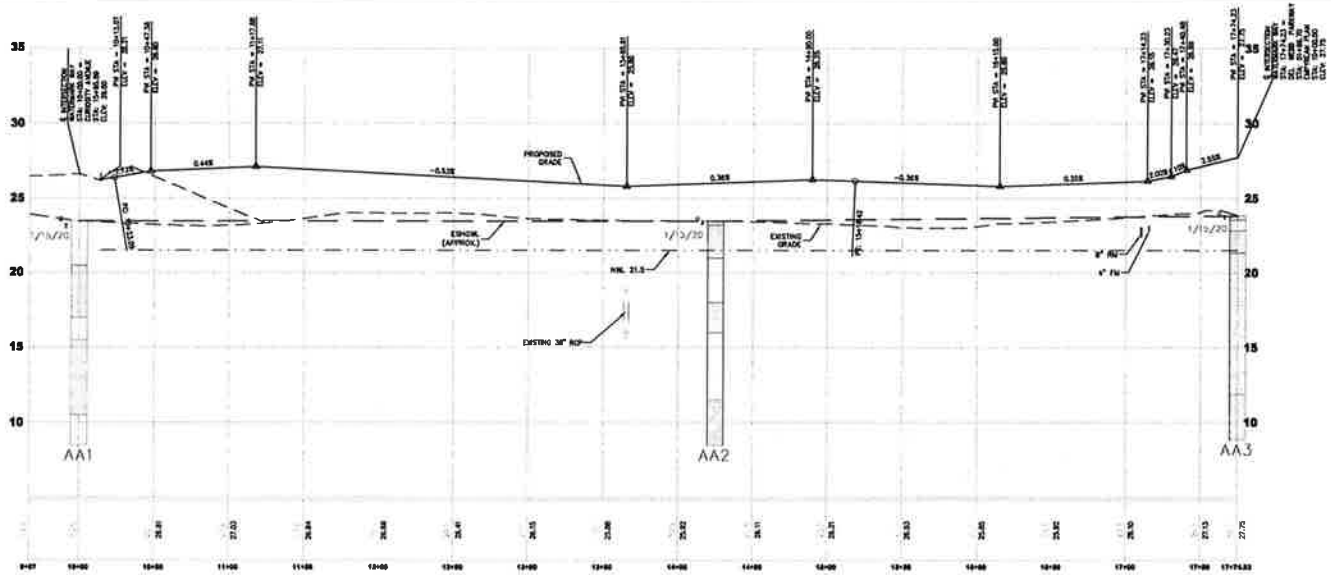
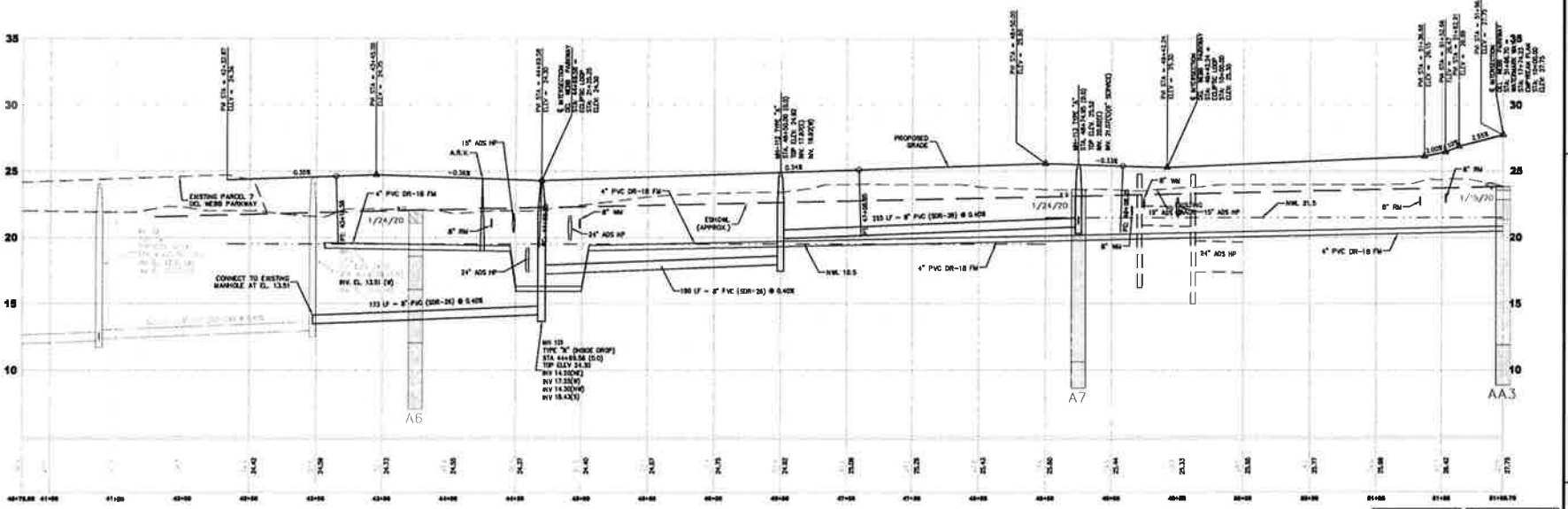
PLOTTED: February 8, 2023 - 4:38 PM, BY: Al Drafter


KEY MAP
NTS
A
B
C
DEL WEBB PARKWAY
HALCYON CT.
STORM WATER MANAGEMENT FACILITY 15, ACCESS, DRAINAGE (LANDSCAPE AND MAINTENANCE)
STORM WATER MANAGEMENT FACILITY 14, ACCESS, DRAINAGE (LANDSCAPE AND MAINTENANCE)
STORM WATER MANAGEMENT FACILITY 16, ACCESS, DRAINAGE (LANDSCAPE AND MAINTENANCE)
15' UNOBSTRUCTED ACCESS & MAINTENANCE ESMT
30' DRAINAGE ESMT
25' DRAINAGE ESMT
10' LANDSCAPE ESMT
2" IRRIGATION CONDUIT SLEEVE
4" IRRIGATION CONDUIT SLEEVE
23' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15') (TYP.)
15' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15') (TYP.)
25' UNDISTURBED VEGETATIVE NATURAL BUFFER AVERAGE (MIN. 15') (TYP.)
PLANS PREPARED UNDER THE DIRECTION OF:
NEAL J.D. MILLIGAN
P.E. NUMBER 45551
REVISIONS
File No. 19-238-04
Drawn BY A.C.D.
DESIGNED BY N.J.D.M.
CHECKED BY N.J.D.M.
DATE: OCTOBER 2022
ETM
Engineered Theing & Tiffner, Inc.
VISION • EXPERIENCE • RESULTS
SLEEVE PLAN
WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC
DRAWING NUMBER
11C



WATERMARK WAY
(9+67.00–17+74.23)



DEL WEBB PARKWAY
(40+78.96–51+96.70)

H. SCALE: 1" = 40'
V. SCALE: 1" = 4'

NOTE:
SEE DRAWING NO. 8 FOR WATER CROSSING DETAILS

PLANS PREPARED UNDER THE DIRECTION OF

SEAL, J.D. MILLIGAN
P.E. NUMBER - 63051

REVISIONS

ETM NO.	19-238-04
DRAWN BY	A.S.D.
DESIGNED BY	N.J.B.M.
CHECKED BY	N.J.B.M.
DATE	OCTOBER 2022

England-Thing & Miller, Inc.
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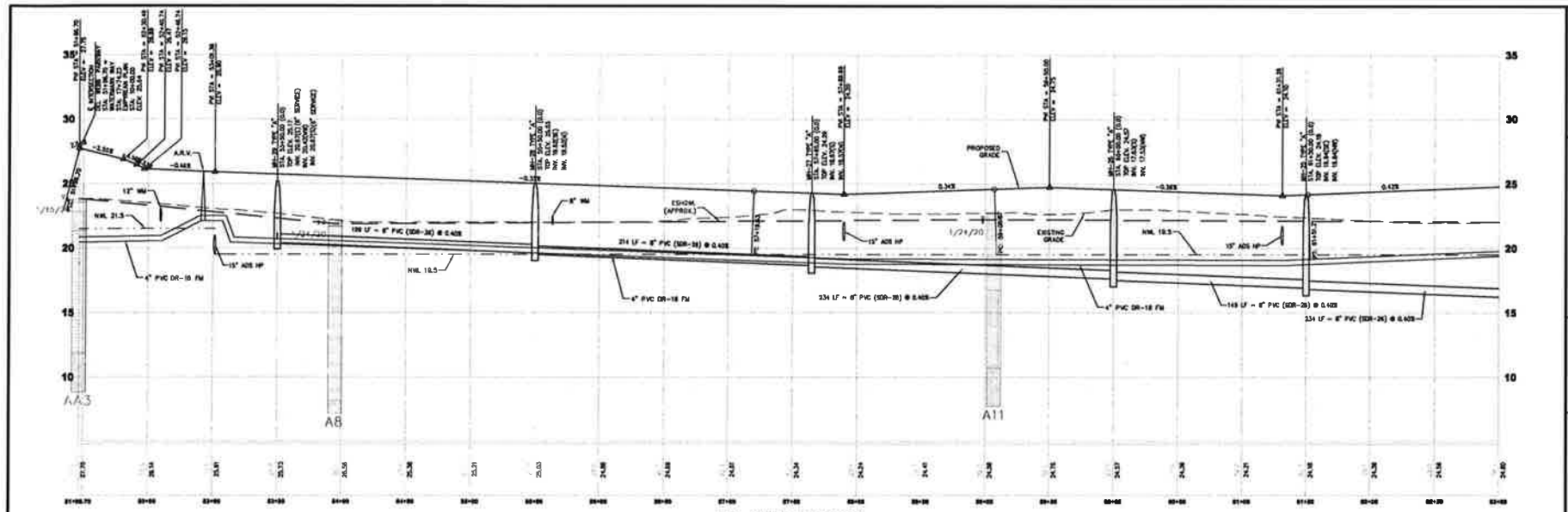
ROADWAY PROFILE

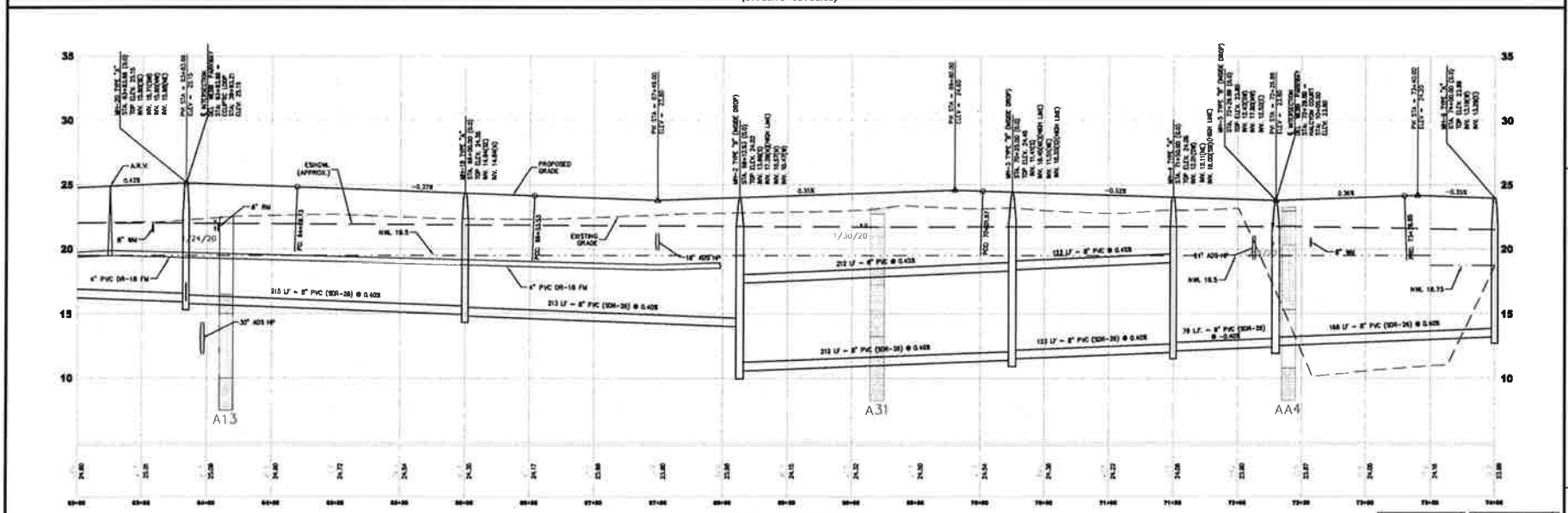
WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER
12A

PLOTTED February 8, 2023 – 2:34 PM BY: Jim Spear



DEL WEBB PARKWAY
(51+96.70–63+00.00)



DEL WEBB PARKWAY
(63+00.00–74+00.00)

N. SCALE: 1" = 40'
V. SCALE: 1" = 8'

NOTE:
SEE DRAWING NO. 5 FOR WATER CROSSING DETAILS.

PLANS PREPARED UNDER THE DIRECTION OF:

NEAL D. MILLIGAN
P.E. NUMBER - 43597

REVISIONS

FM NO.	19-238-04
DRAWN BY	A.S.D.
DESIGNED BY	N.J.M.
CHECKED BY	N.J.M.
DATE	OCTOBER 2022

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ETM
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ROADWAY PROFILE

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER
12B

PLOTTED: February 8, 2022 - 2:34 PM, BY: N.Jones

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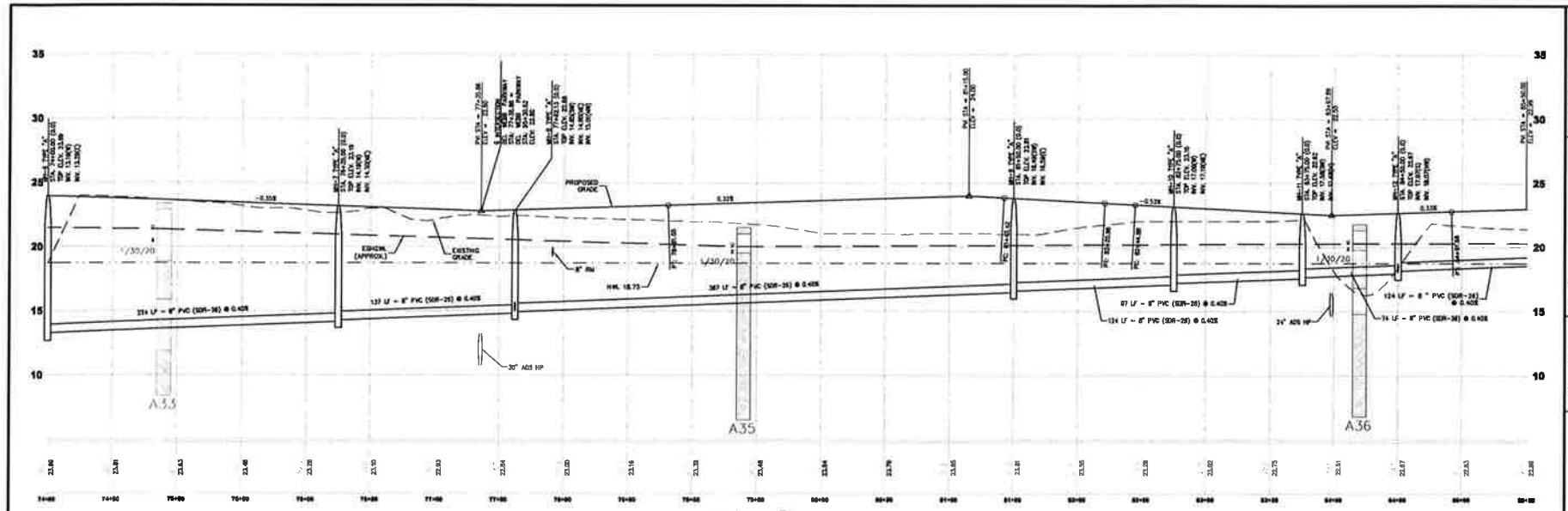
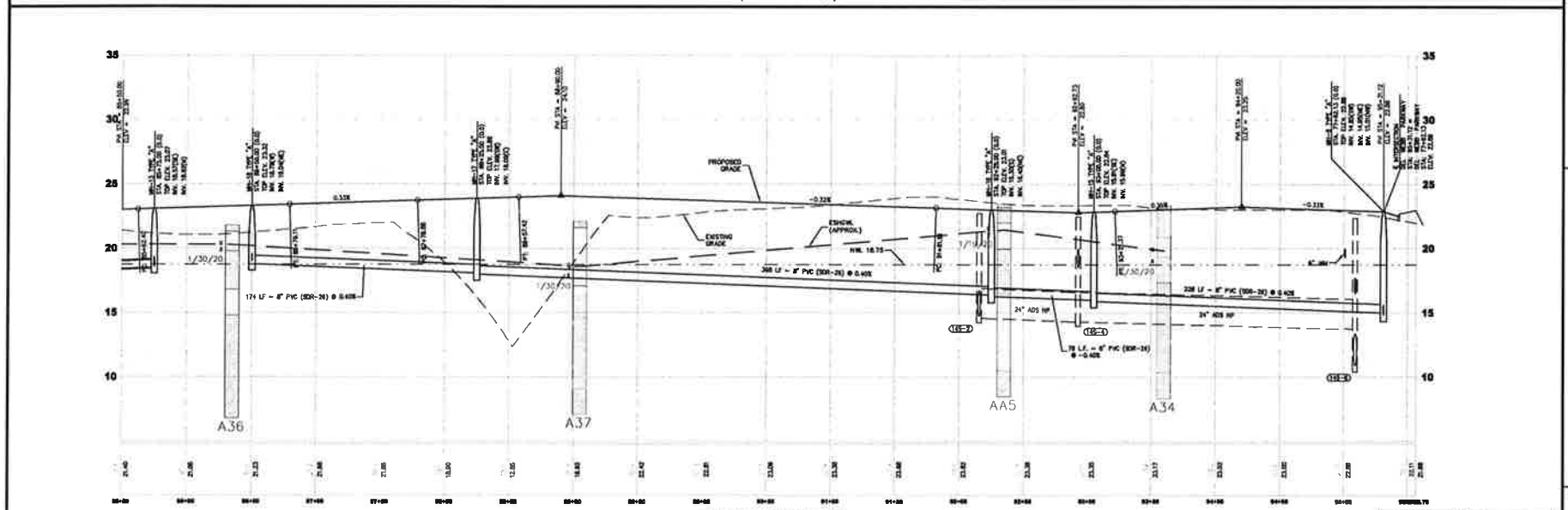


DEL WEBB PARKWAY
(74+00.00–85+50.00)



DEL WEBB PARKWAY
(85+50.00–95+56.70)

H. SCALE: 1" = 40'
V. SCALE: 1" = 8'

NOTE:
SEE DRAWING NO. 9 FOR WATER CROSSING DETAILS.

PLANS PREPARED UNDER THE DIRECTION OF:
NEAL J.D. MILLIGAN
P.E. NUMBER 43551

REVISIONS

FILE NO.	19-239-04
DRAWN BY	A.C.D.
DESIGNED BY	N.J.M.
CHECKED BY	N.J.M.
DATE	OCTOBER 2022

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Jacksonville, FL 32256
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FAX: (904) 642-8402
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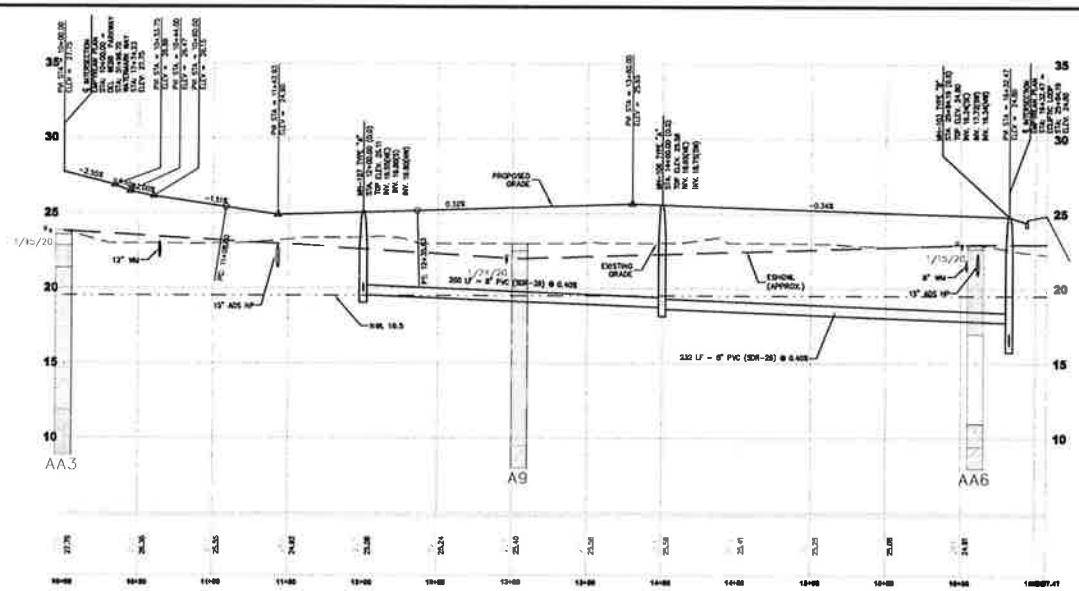
ROADWAY PROFILE

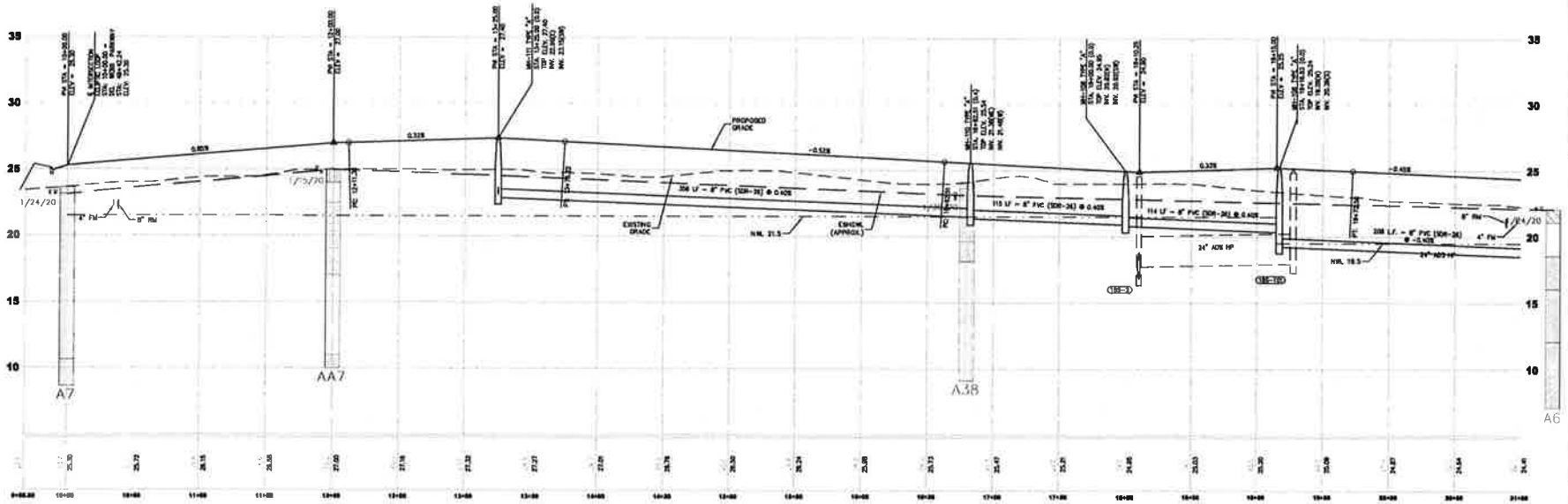
WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
12C

PLOTTED: February 9, 2023 - 2:29 PM, EF M. Drake



EMPYREAN PLAN
(10+00.00–16+57.47)



ECLIPTIC LOOP
(9+68.50–21+00.00)

H. SCALE: 1" = 40'
V. SCALE: 1" = 4'

NOTE: SEE DRAWING NO. 9 FOR WATER CROSSING DETAILS.

PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. MILLIGAN
P.E. NUMBER 49951

REVISIONS

FILE NO.	19-239-04
DRAWN BY	A.C.D.
DESIGNED BY	N.J.D.M.
CHECKED BY	N.J.D.M.
DATE	OCTOBER 2020

Englerud-Thiemann & Miller, Inc.
1475 Old St. Augustine Road
Jacksonville, FL 32259
TEL: (904) 642-8495
FAX: (904) 642-8496
EB0: 1394 LC: 0000616

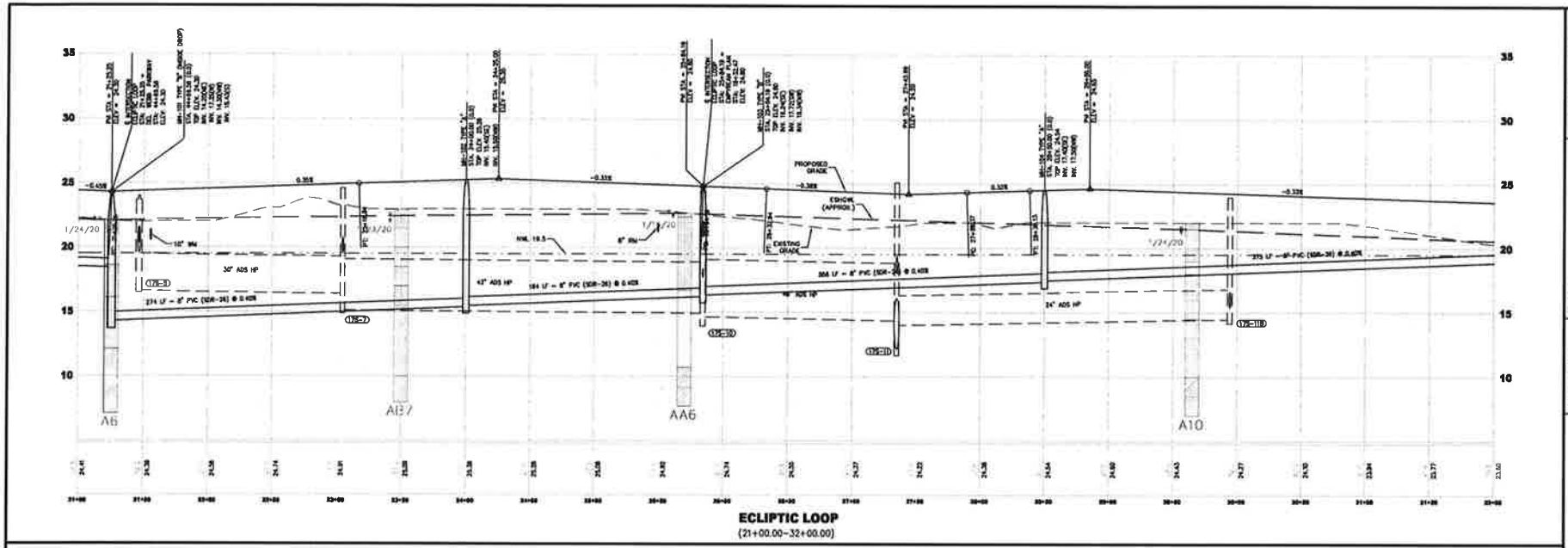
ETM
VISION • EXPERIENCE • RESULTS

ROADWAY PROFILE

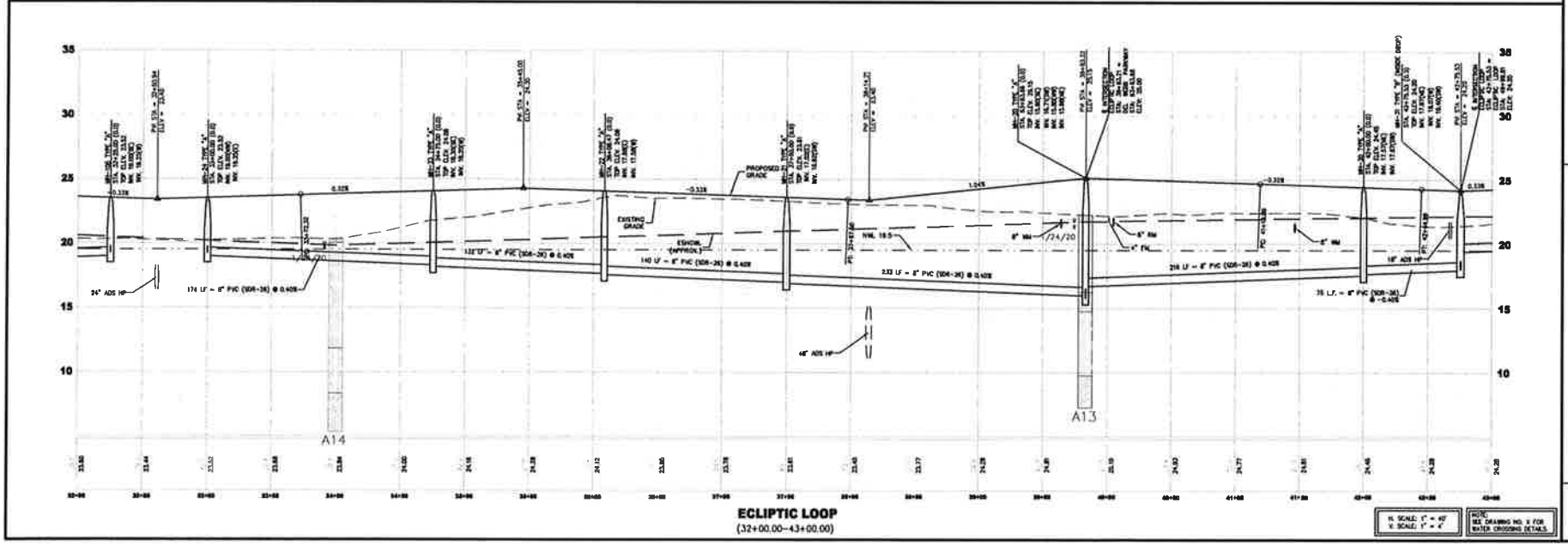
WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
12D

PLOTTED February 8, 2022 - 4:28 PM, BY: A. Dixon



ECLIPTIC LOOP
(21+00.00–32+00.00)



ECLIPTIC LOOP
(32+00.00–43+00.00)

H. SCALE: 1" = 40'
V. SCALE: 1" = 4'

NOTE:
SEE DRAWING NO. 9 FOR WATER CROSSING DETAILS.

PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J. HALLIGAN
P.E. 50048 • S.E. 5350

REVISIONS

FM NO.	18-239-24
DRAWN BY	A.G.S.
DESIGNED BY	N.J.H.
CHECKED BY	N.J.H.
DATE	OCTOBER 2022

Engineered Thinking & Effective, Inc.
14175 Duval Pl, Augustine Road
Jacksonville, FL 32258
TEL: (904) 343-8486
FAX: (904) 343-8487
REG. 3994 LC. 0000016

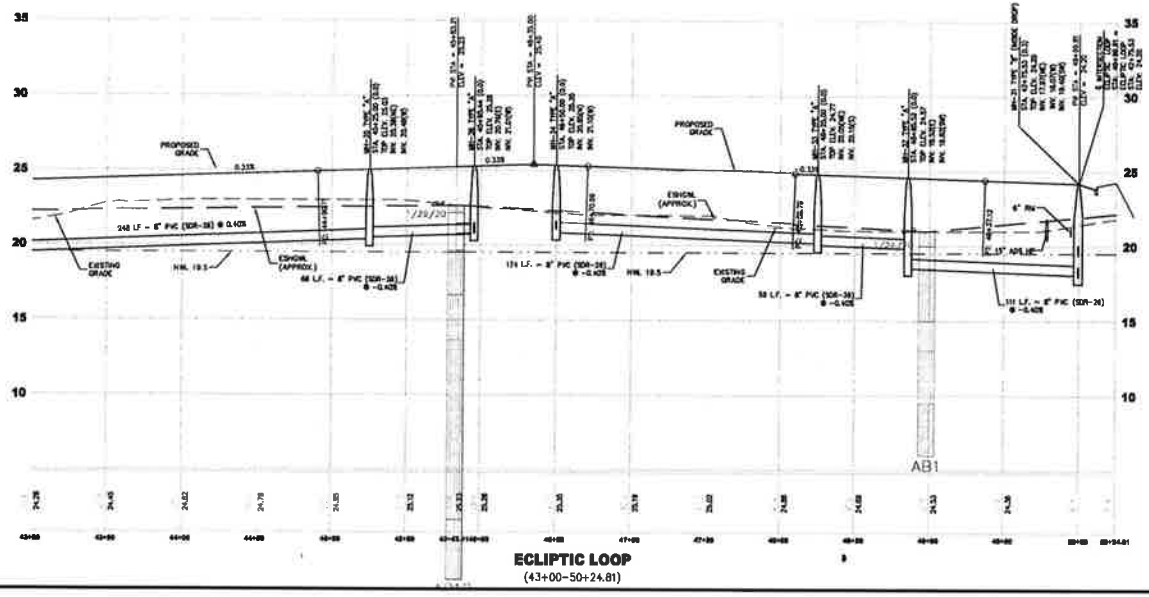
ETM
VISION • EXPERIENCE • RESULTS

ROADWAY PROFILE

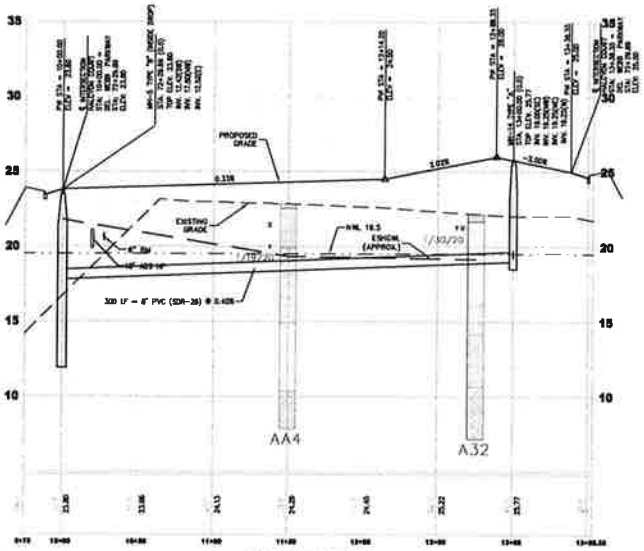
WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
12E

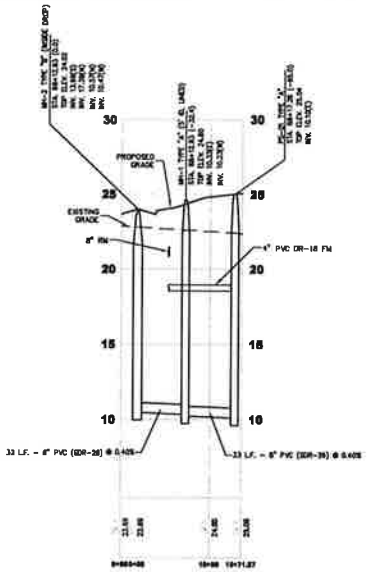
PLOTTED: February 8, 2023 • 4:28 PM, BY: N. Oyler



ECLIPTIC LOOP
(43+00-50+24.81)



HALCYON COURT
(9+75.00-13+53.35)



MH-2 TO WETWELL
(9+90.00-10+71.27)

H. SCALE: 1" = 50'
V. SCALE: 1" = 5'

NOTE:
SEE DRAWING NO. 3 FOR WATER CROSSING DETAILS.

PLANS PREPARED UNDER THE DIRECTION OF:

SEAL / ID. NUMBER
P.E. NUMBER 43051

REVISIONS

FW NO.	19-239-04
DRAWN BY	A.S.S.
DESIGNED BY	K.J.O.M.
CHECKED BY	K.J.O.M.
DATE	OCTOBER 2022

Everglades Thomas & Miller, Inc.
14773 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8990
FAX: (904) 642-8991
REG. EBM: LC-0000014

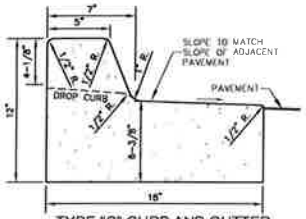
ETM
VISION • EXPERIENCE • RESULTS

ROADWAY PROFILE

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

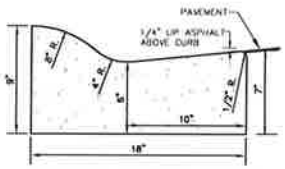
DRAWING NUMBER
12F

P:\2019\19-239\19-239-04\LandDev\Design\Plans\Permit 8\19-239-04_Profile.dwg



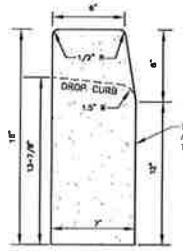
TYPE "C" CURB AND GUTTER TO BE USED AT ALL MEDIANS

N.T.S.



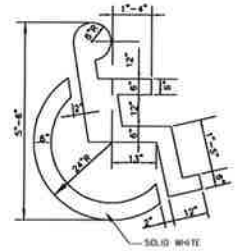
MIAMI TYPE CURB AND GUTTER

N.T.S



TYPE "D" CURB

N.T.S

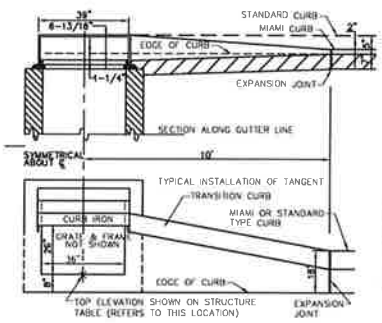


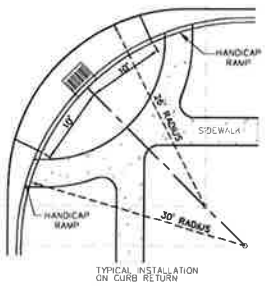
NOTE:
ALL PAINT AND STRIPING SHALL BE IN ACCORDANCE WITH FDOT STANDARDS AND SPECIFICATIONS.

HANDICAP PAVEMENT MARKINGS

N.T.S

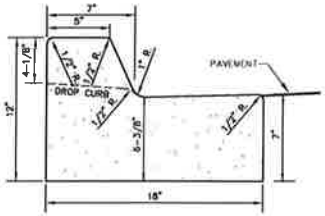
NOTE: FOR ALL STANDARD DETAILS, SEE NASSAU COUNTY STANDARDS SPECIFICATIONS AND DETAILS, LATEST REVISIONS.





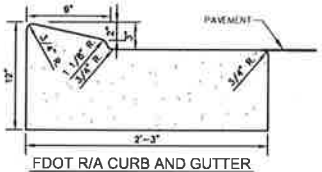
RECESSED STORM SEWER CURB INLET

N.T.S



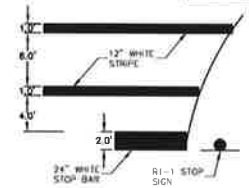
STANDARD CURB AND GUTTER

N.T.S



FDOT R/A CURB AND GUTTER AT CENTER ISLAND ROUND ABOUTS

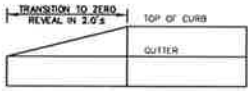
N.T.S



NOTE:
ALL PAINT AND STRIPING SHALL BE IN ACCORDANCE WITH FDOT STANDARDS AND SPECIFICATIONS.

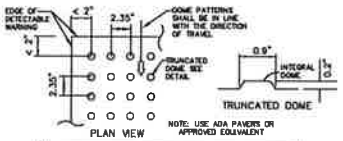
STOP BAR AT CROSS WALK

N.T.S



CURB TRANSITION DETAIL

N.T.S.



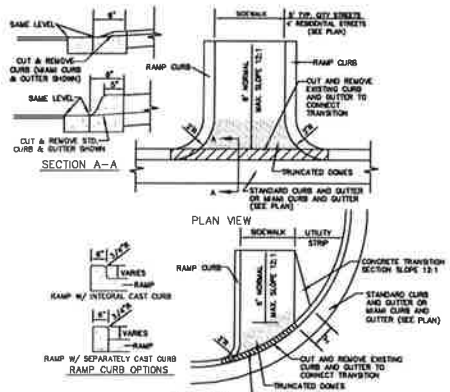
NOTE: USE ADA PAVERS OR APPROVED EQUIVALENT

ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24" FROM THE BACK OF CURB

CURB RAMP DETECTABLE WARNING

N.T.S

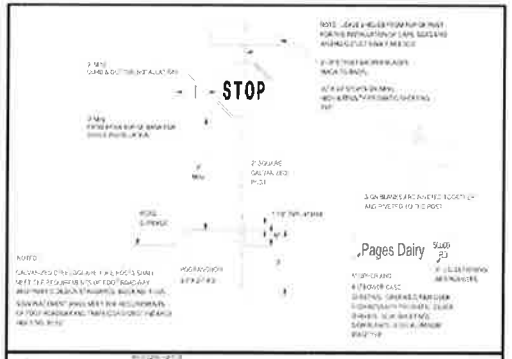
CURB AND CURB & GUTTER NOTES:
1 MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE LATEST FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
2 CONCRETE SHALL BE CLASS I CONCRETE WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI UNLESS OTHERWISE APPROVED BY THE ENGINEER OF RECORD.
3 WHEN USED ON THE HIGH SIDE OF ROADWAY SECTIONS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. WHERE THIS CONDITION IS ENCOUNTERED, THE FRONT FACE VERTICAL DIMENSION SHALL REMAIN AS SHOWN FOR NORMAL SECTIONS SHOWN HEREON.



NOTES:
1. HANDICAP RAMPS, SPACES AND SIGNAGE SHALL MEET AMERICAN NATIONAL STANDARD A117.1 AND ALL APPLICABLE CITY AND STATE REQUIREMENTS.
2. THE CONTRACTOR SHALL INSTALL DETECTABLE WARNING SURFACES IN ACCORDANCE WITH A.D.A. REQUIREMENTS. REFER TO FDOT STANDARD INDEX 305-002 FOR FURTHER INFORMATION.

STANDARD HANDICAP RAMP DETAILS

N.T.S.



STOP AND STREET MARKER COMB NATION
TYPICAL INSTALLATION

Stormwater Drainage Notes:

1. All stormwater drainage facilities within Public Right-of-Way and private areas, including Nassau County Right of Way, non-taxing residential roadways, drive aisles for multi-family developments, and major office sites for commercial development shall be later permitted per FDOT Section 430.
2. A builder cannot modify the Country's Master water management system including the pipes, inlets, swale drains, drains and related easements (typically within the emergency access & drainage easement) without the prior written approval of the County to pursue development.
3. Drainage easements and drains should remain free of existing trees, soil, sediment, mud, construction materials/waste, or debris which Tenant Prairie Street water flow may be considered through a culvert structure.
4. The contractor shall be responsible permanently stabilize force main areas and well displays when the work has been by Nassau County or owner as by weather final grade.
5. Per Ordinance 99-17 Section 11.1.5.4 all gravity flow pipe installations shall have a 100 year performance cross section the factor of safety and structural performance.
6. Per Ordinance 99-17 Section 10.4.5.2, internal utility trench and internal Pipe Installation Sub-trench Backfill in excess of 6 feet deep in loading zone use, failure to complete sediment removal within two (2) calendar days, notice of violation, stop work, fines, penalties, and/or stop work orders.
7. Per 99-17 Section 10.1.5.4 a, stormwater drainage facilities a project shall not have adverse effects on adjacent properties, downstream structures, or rights of other landowners.

Paving Notes:

1. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 10.1.5.4 a, a continuous sub-base and 2ft. shoulder maintenance bond will be required for all work within Nassau County Right of Way.
2. A pre-pave field audit is required prior to any paving operations within Nassau County ROW, residential subdivisions, or multi-family developments.
3. Approved sub-base grade shall be inspected by Nassau County Construction Inspector 48 hours prior to pre-pave, mixing or placement of concrete.
4. Contractor is required to have a certified DOC Asphalt Level II Technician during any asphalt operations within Nassau County ROW, residential subdivision, or multi-family development.
5. All bases shall be paved in accordance with Ordinance 99-17 Section 10.5.2.3, Nassau County Standard Details, and FDOT Standard Special Details.
6. Signage and pavement markings shall be in compliance with Nassau County Standards, Manual on Uniform Traffic Control Devices (MUTCD), and FDOT Standard Plans.
7. Maintenance of Traffic (MOT) shall be in compliance with FDOT Standard Index 600 Series.
8. All work, materials, and testing performed within Nassau County right-of-way and single family/multi-family developments shall be in accordance with the current revision of Nassau County Ordinance 99-17 and all current Nassau County Standard Details.
9. Per Ordinance 99-17 Section 10.5.4, all pavement markings within Nassau County ROW shall be installed in accordance Nassau County and FDOT Standard Specialty Details.
10. Removing pavement markings within Nassau County ROW shall be:
    a. Grinding or hydro blasting on sealcoated asphalt surfaces.
    b. Hydroblasting on new asphalt surfaces.
    c. Paint Buildup is prohibited.
11. Per Ordinance 99-17 Section 8.3.5, any damage to pavement resulting from construction or permanent marking removal within Public ROW(s) prior to as part of the project shall be milled and overlay for entire width of roadway and length of damage plus 50' in each direction.
12. All underground utility appurtenances (valve, cleanouts, etc) not to be located under pavement must be installed prior to production of the subgrade for sub-base.
13. Surface vertical cuts in roadway preservation shall be available Nassau County Right-of-Way using Nassau County Standard Detail 406.
14. All cross drainage structures shall have traffic bearing grates that meet or exceed the rating for the facilities expected traffic.
15. All concrete shall be constructed of 3000 psi with a 28 day strength.

ROADWAY AND DRAINAGE STANDARDS
NASSAU COUNTY
ENGINEERING SERVICES DEPARTMENT

REVISIONS		

STORMWATER DRAINAGE & PAVING NOTES

NOTE SHEET 2
DATE
ISSUED FOR

PLANS PREPARED UNDER THE DIRECTION OF
NEAL J.D. MULIGAN
P.E. NUMBER: 45051
POSTED: February 8, 2023 - 4:42 PM, EST

REVISIONS

FW NO.	19-328-04
DRAWN BY	A.G.D.
DESIGNED BY	N.J.D.M
CHECKED BY	N.J.D.M
DATE	OCTOBER 2022

Engineered Thing & Matter, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8551
FAX: (904) 642-8165
REG. CERT. CA-0000318

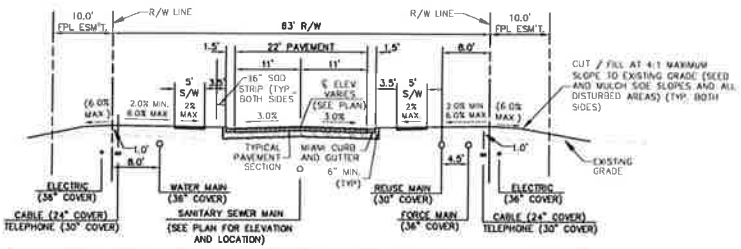
ETM
VISION • EXPERIENCE • RESULTS

PAVING AND DRAINAGE DETAILS

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
13A

U:\2019\19-328\19-328 - Wildlight Village Phase 4\19-328-04_Permit.dwg

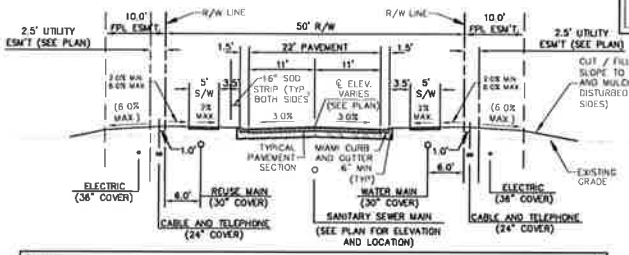


NOTES:
1. CONTRACTOR SHALL GRADE / DRESS ALL R/W AREAS TO 0.1± FEET AND REMOVE ALL DEBRIS AND ROOTS LARGER THAN 3/8" DIA
2. CABLE / PHONE / GAS / ELEC. SHALL BE DESIGNED BY OTHERS (LOCATION SHOWN IS GENERAL GUIDELINE ONLY)
3. CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS THAT ARE NOT PAVED UNLESS OTHERWISE NOTED ON PLANS
4. CONTRACTOR SHALL PROVIDE 16" SOD STRIP ADJACENT TO CURB AND GUTTER BOTH SIDES OF ROADWAY
5. AS REQUIRED UNDER ADA CODE SIDEWALK / MULTI-USE PATH SHALL NOT EXCEED 2% MAXIMUM CROSS SLOPE

TYPICAL CROSS-SECTION FOR 22' STREETS WITH 63' RIGHT-OF-WAY (w/ 5' SIDEWALKS)

N.T.S.

NOTE: FOR ALL STANDARD DETAILS, SEE NASSAU COUNTY STANDARDS SPECIFICATIONS AND DETAILS, LATEST REVISIONS



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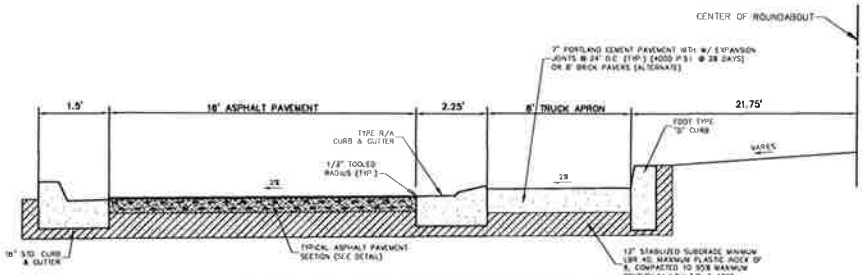
5. AS REQUIRED UNDER ADA CODE SIDEWALK / MULTI-USE PATH SHALL NOT EXCEED 2% MAXIMUM CROSS SLOPE

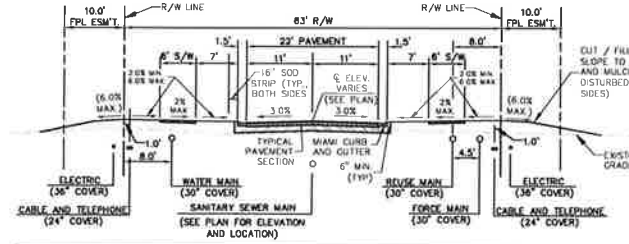
TYPICAL CROSS-SECTION FOR 22' STREETS WITH 50' RIGHT-OF-WAY

N.T.S.



TYPICAL PAVEMENT SECTION AT ROUNDABOUT

N.T.S.



NOTES:
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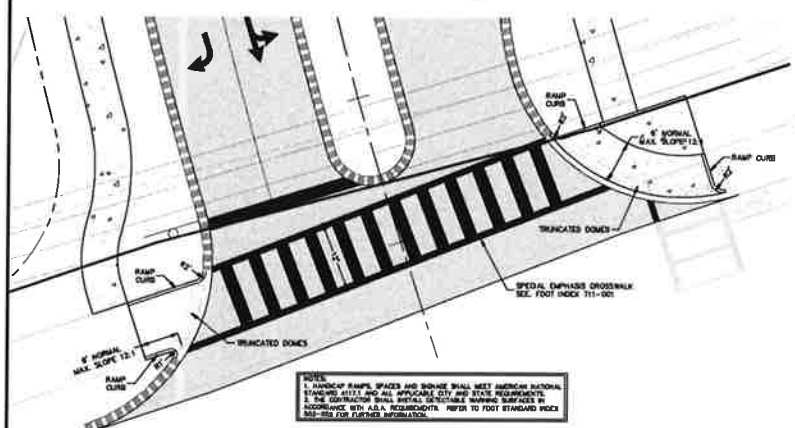
4. CONTRACTOR SHALL PROVIDE 16" SOD STRIP ADJACENT TO CURB AND GUTTER BOTH SIDES OF ROADWAY
5. AS REQUIRED UNDER ADA CODE SIDEWALK / MULTI-USE PATH SHALL NOT EXCEED 2% MAXIMUM CROSS SLOPE

TYPICAL CROSS-SECTION FOR 22' STREETS WITH 63' RIGHT-OF-WAY

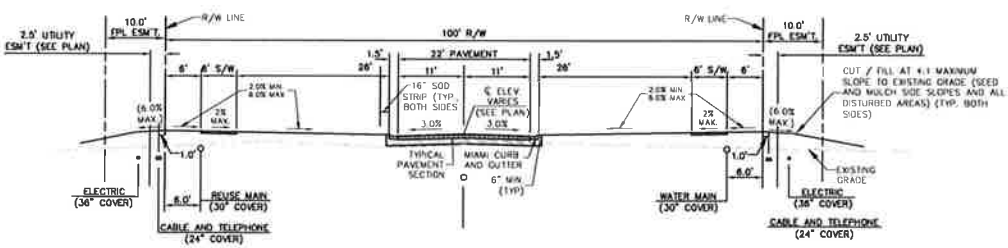
N.T.S.



NOTES:
1. HANDICAP RAMPS, SPACES AND SIGNAGE SHALL MEET AMERICAN NATIONAL STANDARD A117.1 AND ALL APPLICABLE CITY AND STATE REQUIREMENTS.
2. THE CONTRACTOR SHALL INSTALL DETECTABLE WARNING SURFACES IN ACCORDANCE WITH A.D.A. REQUIREMENTS. REFER TO FDOT STANDARD INDEX 522-010 FOR FURTHER INFORMATION.

ENTRANCE ROAD PEDESTRIAN CROSSING DETAILS

N.T.S.



NOTES:
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2. CABLE / PHONE / GAS / ELEC. SHALL BE DESIGNED BY OTHERS (LOCATION SHOWN IS GENERAL GUIDELINE ONLY)
3. CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS THAT ARE NOT PAVED UNLESS OTHERWISE NOTED ON PLANS
4. CONTRACTOR SHALL PROVIDE 16" SOD STRIP ADJACENT TO CURB AND GUTTER BOTH SIDES OF ROADWAY
5. AS REQUIRED UNDER ADA CODE SIDEWALK / MULTI-USE PATH SHALL NOT EXCEED 2% MAXIMUM CROSS SLOPE

TYPICAL CROSS-SECTION FOR 22' STREETS WITH 100' RIGHT-OF-WAY

N.T.S.

PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. MILLIGAN
P.E. NUMBER 43951

REVISIONS

T.W. NO.	19-238-24
DRAWN BY	A.C.D.
DESIGNED BY	N.J.M.
CHECKED BY	N.J.M.
DATE	OCTOBER 2022

Engineers, Tilting & Miller, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 641-8040
FAX: (904) 641-8042
REG. CERT. NO. 00003116

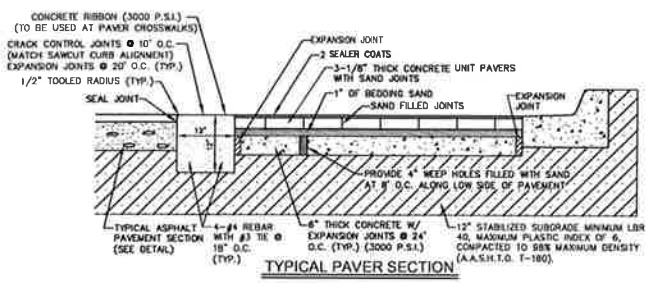
ETM
VISION • EXPERIENCE • RESULTS

PAVING AND DRAINAGE DETAILS

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER
13B

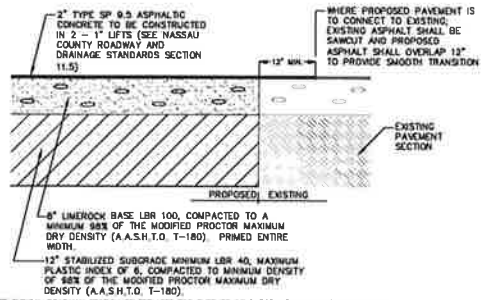
PLOTTED: February 8, 2023 - 4:42 PM, BY: M. Grimm



TYPICAL PAVER SECTION

N.T.S.

ADDITIONAL INFORMATION ABOUT PAVER TYPE AND LAYOUT SHALL BE PROVIDED BY THE OWNER AND ARCHITECT.



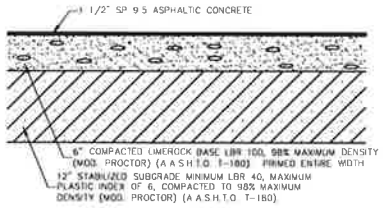
SEE TYPICAL ROADWAY SECTION (SHEET 13B) FOR EXTENTS OF SUBGRADE PAST EDGE OF ASPHALT

NOTES:
1. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED. ANY DISTURBANCE TO GRASS WITHIN NASSAU COUNTY RIGHT OF WAY SHALL BE SODDED.
2. SOIL ANALYSIS MAY INDICATE THE NEED FOR THICKER BASE COURSES THAN THOSE HEREIN. THE PAVEMENT THICKNESS SHOWN HEREIN ARE NOT INTENDED TO BE ABSOLUTE, BUT ARE PRELIMINARY CRITERIA AND MAY BE MODIFIED TO ACCOMMODATE BEARING CAPACITY OF VARIOUS SUBGRADES.
3. ALL ASPHALTIC CONCRETE SHALL MEET THE REQUIREMENTS OF SECTION 331 AND/OR 333, F.D.O.T. STANDARD SPECIFICATIONS, LATEST EDITION.
4. THE ASPHALTIC CONCRETE PAVEMENT CONSTRUCTION SHALL MEET THE REQUIREMENTS SPECIFIED IN THE NASSAU COUNTY CODE OF ORDINANCES NO. 98-17.

TYPICAL PAVEMENT SECTION (FOR MINOR COLLECTOR ROADS - WATERMARK WAY)

N.T.S.

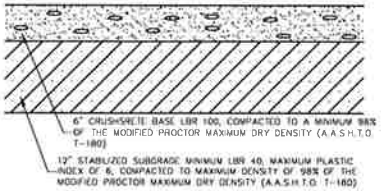
NOTE: FOR ALL STANDARD DETAILS, SEE NASSAU COUNTY STANDARDS SPECIFICATIONS AND DETAILS, LATEST REVISIONS.



NOTES:
1. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED. ANY DISTURBANCE TO GRASS WITHIN NASSAU COUNTY RIGHT OF WAY SHALL BE SODDED.
2. SOIL ANALYSIS MAY INDICATE THE NEED FOR THICKER BASE COURSES THAN THOSE HEREIN. PAVEMENT THICKNESS SHOWN HEREIN ARE NOT INTENDED TO BE ABSOLUTE, BUT ARE PRELIMINARY CRITERIA AND MAY BE MODIFIED TO ACCOMMODATE BEARING CAPACITY OF VARIOUS SUBGRADES.
3. ALL ASPHALTIC CONCRETE SHALL MEET REQUIREMENTS OF SECTION 331 AND/OR 333, F.D.O.T. STANDARD SPECIFICATIONS, LATEST EDITION.
4. ASPHALTIC CONCRETE PAVEMENT CONSTRUCTION SHALL MEET REQUIREMENTS SPECIFIED IN THE NASSAU COUNTY CODE OF ORDINANCES 98-17. THE FINAL WEARING SURFACE LAYER IS NOT TO BE APPLIED UNTIL 90% OF THE CO'S HAVE BEEN ISSUED AND THE IMPROVEMENTS HAVE BEEN INSPECTED AND ACCEPTED BY NASSAU COUNTY ENG. THE BONDS FOR THIS WORK ARE TO REMAIN IN PLACE UNTIL THE FINAL SURFACE HAS BEEN APPLIED AND ACCEPTED BY NC.
5. SUBGRADE SHALL EXTEND 6" PAST THE BACK OF CURB

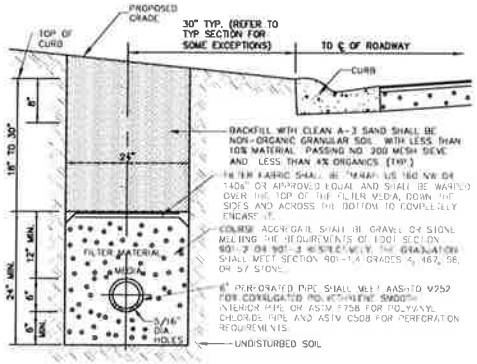
TYPICAL PAVEMENT SECTION

N.T.S.



STABILIZED CONSTRUCTION ACCESS SECTION

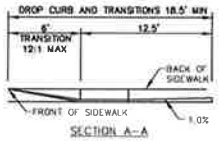
N.T.S.



NOTES:
1. PIPE USED FOR SUB SOIL DRAINS SHALL MEET A.A.S.H.T.O. M177-721 SPECIFICATIONS FOR BITUMINOUS FIBER PIPE, A.A.S.H.T.O. M 196 FOR ASBESTOS CEMENT PIPE A.A.S.H.T.O. M 196 FOR ALUMINUM PIPE, A.S.T.M. C444 FOR CONCRETE PIPE OR A.S.T.M. D 3034 FOR POLYVINYL-CLORIDE PIPE.
2. CONTRACTOR SHALL PROVIDE MINIMUM 10' STUBOUTS ON EACH SIDE OF ALL DRAINAGE INLETS. STUBOUT LENGTHS IN EXCESS OF 10' MINIMUM SHALL BE AS SHOWN ON PAVING AND DRAINAGE SHEETS.
3. MINIMUM PIPE SLOPE OF 0.30%.
4. CONTRACTOR SHALL PROVIDE CLEAN OUTS AT EVERY 200 O.C. AND AT END OF PIPE.
5. CONTRACTOR SHALL CONNECT TO NEAREST STORM STRUCTURES WITH SOLID 6" PVC PIPE WITH FITTINGS AND BENDS AS REQUIRED TO CONNECT TO INVERTS.

ROADWAY UNDERDRAIN DETAIL - MODIFIED TYPE "A" - (UDA)

N.T.S.



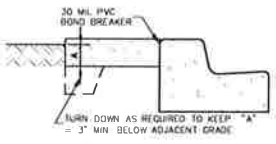
SECTION A-A

SECTION B-B

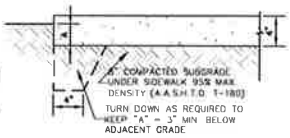
NOTE:
1. HANDICAP RAMPS, SPACES AND SIGNAGE SHALL MEET REQUIREMENTS OF FLORIDA ADMINISTRATIVE CODE CHAPTER 9B-7 AND AMERICAN NATIONAL STANDARD A117.1 AND ALL APPLICABLE CITY AND STATE REQUIREMENTS.
2. CONTRACTOR SHALL INSTALL A DETECTABLE WARNING SURFACE IN ACCORDANCE WITH A.D.A. REQUIREMENTS AND FLORIDA BUILDING CODE SECTION 11.
3. REFER TO PAVING AND DRAINAGE PLAN FOR SIDEWALK TRANSITION AND DIMENSIONS.
4. SEE SHEET NUMBER 2 FOR GENERAL NOTE REGARDING DETECTABLE WARNING AREAS.
5. ALL PAINT AND STRIPING SHALL BE IN ACCORDANCE WITH FDOT STANDARDS AND SPECIFICATIONS.

HANDICAP RAMP DETAILS

N.T.S.



AT CURB AND GUTTER



AT GRADE

NOTES:
1. CONSTRUCT STRAIGHT JOINTS WITH FACE PERPENDICULAR TO SURFACE OF CONCRETE. TRAVERSE JOINTS SHALL BE AT RIGHT ANGLES TO CENTERLINE UNLESS OTHERWISE INDICATED ON PLANS.
2. PROVIDE EXPANSION JOINTS AT 100' INTERVAL MAXIMUM SPACING ON CENTER.
3. PROVIDE EXPANSION JOINTS FILLER FOR JOINTS ABUTTING CURBS, CATCH BASINS, MANHOLES, INLETS STRUCTURES, WALKS AND OTHER FIXED OBJECTS UNLESS OTHERWISE INDICATED ON PLANS.
4. EXTEND JOINTS FILLER FULL WIDTH AND DEPTH OF JOINT, AND 1/2" BELOW FINISHED SURFACE. PLACE SEALANT OVER JOINT FILLER PER MANUFACTURERS RECOMMENDATIONS.
5. USE PREMOLDED ASPHALT-IMPREGNATED FIBERBOARD, 1/2" THICK CONFORMING TO ASTM D1751 CONTRACTION JOINT SHALL BE SAW CUT (1/4" WIDE BY 1" DEEP).
6. FINISHED SURFACE FOR CONCRETE SIDEWALK SHALL BE GRAY CONCRETE WITH LIGHT BROOM FINISH PERPENDICULAR TO LINE OF TRAFFIC (UNLESS OTHERWISE INDICATED ON PLANS).
7. PROVIDE CRACK CONTROL JOINTS @ (SAME AS WIDTH) O.C.
8. PROVIDE 16" STRIP SOD ADJACENT TO ALL EDGES OF SIDEWALK, CURB AND PAVEMENT AREAS.
9. CONCRETE COMPRESSION STRENGTH 3000 P.S.I. @ 28 DAYS UNLESS OTHERWISE APPROVED BY ENGINEER OF RECORD.
10. SIDEWALK TO BE CONSTRUCTED WITH SLOPES COMPLYING TO WITH LATEST ADA CODE AND FDOT INDEX 304. SIDEWALK MAX. VERTICAL SLOPE OF 5.0% AND MAX CROSS SLOPE OF 2.0%

CONCRETE WALK

N.T.S.

PLANS PREPARED UNDER THE DIRECTION OF
NEAL J. D. MULLIGAN
P.E. NUMBER 43951

REVISIONS

T.W. NO.	19-239-04
DRAWN BY	A.C.D.
DESIGNED BY	N.J.D.M.
CHECKED BY	N.J.D.M.
DATE	OCTOBER 2022

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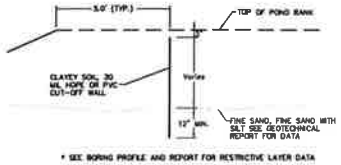
Engineered Training & Mitigation, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8990
FAX: (904) 642-8991
VISION • EXPERIENCE • RESULTS

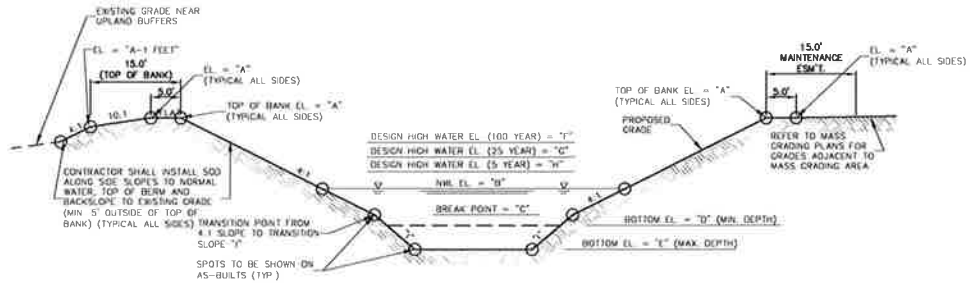
PAVING AND DRAINAGE DETAILS

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

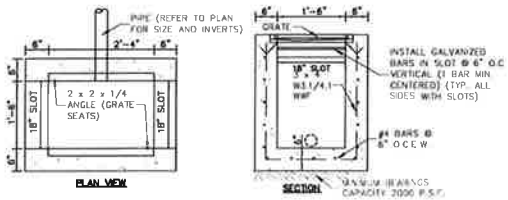
DRAWING NUMBER
13C



CUT OFF WALL DETAIL SECTION
N.T.S.



NOTE: FOR ALL STANDARD DETAILS, SEE NASSAU COUNTY STANDARDS SPECIFICATIONS AND DETAILS, LATEST REVISIONS.



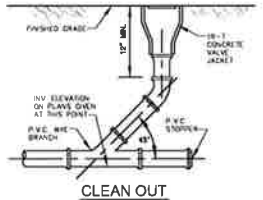
NOTES:
1. CONCRETE DESIGN STRENGTH 4,000 PSI AT 28 DAYS, AND SHALL BE CONSTRUCTED PER FDOT STANDARDS AND ALL APPLICABLE REINFORCING.
2. PIPES MUST NOT BE IN CONSTRUCTION JOINTS.
3. PIPE SHALL BE FLUSH WITH INSIDE WALL.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS ON "AS-BUILTS".
5. NOTE SLOT ELEVATIONS ARE SHOWN ON PLAN AT ELEVATION DIRECTLY ADJACENT TO THE STRUCTURE TYPICALLY 0.25' LOWER THAN TOP EL.
6. ALL EXPOSED CONCRETE SHALL BE STAINED BLACK.
7. GRATE SHALL BE CAST IRON OR APPROVED EQUIVALENT (USF 6224), UNLESS OTHERWISE NOTED.

CONCRETE YARD DRAIN DETAIL
N.T.S.

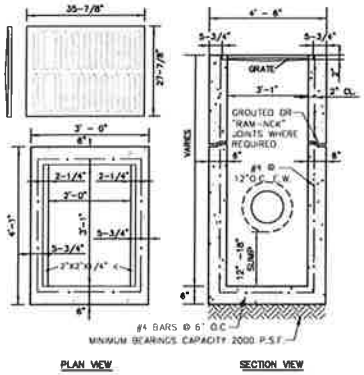
VARIABLE	DESCRIPTION	SWF No. 6A	SWF No. 6B	SWF No. 14	SWF No. 15	SWF No. 16	SWF No. 17	SWF No. 18
"A"	TOP OF BANK EL.	25.50	25.50	23.00	23.00	24.00	24.00	25.50
"B"	NORMAL WATER EL.	21.50	21.50	19.25	19.25	19.50	19.50	21.50
"C"	BREAK POINT EL.	6A,BH	6B-BH	13.25	13.25	13.50	13.50	15.50
"D"	BOTTOM EL. (MIN. DEPTH)	9.50	9.50	11.25	11.25	11.50	11.50	13.50
"E"	BOTTOM EL. (MAX. DEPTH)	6A.MX	6B.MX	7.25	7.25	7.50	7.50	9.5
"F"	DHW EL. (100 YR)	24.64	24.28	22.02	22.06	22.80	23.44	24.76
"G"	DHW EL. (25 YR)	23.87	23.65	21.38	21.41	22.13	22.52	23.86
"H"	DHW EL. (5 YR)	23.06	22.99	20.66	20.67	21.36	21.50	22.99
"X"	TRANSITION SLOPE	–	–	3:1	3:1	2:1	2:1	2:1

NOTES:
1. SIDES SLOPES SHALL NOT BE STEEPER THAN 4:1 TO A MINIMUM DEPTH OF 6.0' BELOW THE NORMAL WATER ELEVATION (PER S.JRWMD REQUIREMENTS)
2. ASBUILTS – CONTRACTOR SHALL VERIFY SLOPES AT SPOTS (CIRCLED ABOVE) AND AT 100' MAXIMUM INTERVALS AND AT ALL TURN POINTS.
2. CONTRACTOR SHALL FILL EMBANKMENTS (BERMS) THAT ARE ABOVE EXISTING GRADE IN LIFTS NOT EXCEEDING 8" IN THICKNESS. SURFACE OF FILL SHALL BE SCARIFIED BETWEEN SUCCESSIVE LIFTS TO PROVIDE BOND AND PRECLUDE SEEPAGE PATHS OR SLICK INTERFACES. EMBANKMENT SHALL BE COMPACTED TO 98% OF MODIFIED PROCTOR MAX. DRY DENSITY WITH 2%± OF OPTIMUM MOISTURE CONTENT. CONTRACTOR SHALL PROVIDE DENSITY TEST ALONG POND EMBANKMENTS AT 200' INTERVALS.
3. CONTRACTOR MAY DISPOSE OF UNSUITABLE MATERIAL IN BOTTOM OF STORM WATER MANAGEMENT FACILITY PROVIDED THAT ALL UNSUITABLE MATERIAL DISPOSED OF IS COVERED WITH A MINIMUM OF 24" OF CLEAN FILL; HOWEVER, CONTRACTOR SHALL NOT DISPOSE OF UNSUITABLE MATERIAL IN SIDE SLOPES OR BERMS. FINAL DEPTH SHALL BE AS SHOWN ON PERMITTED CONSTRUCTION PLANS.

TYPICAL SECTION THRU STORM WATER MANAGEMENT FACILITIES
N.T.S.

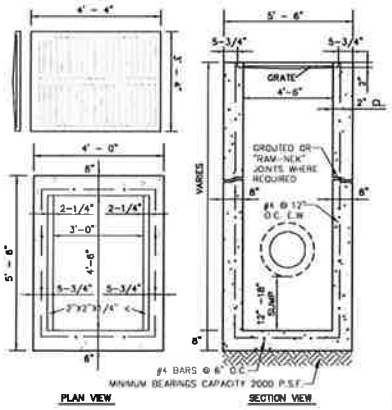


CLEAN OUT
N.T.S.



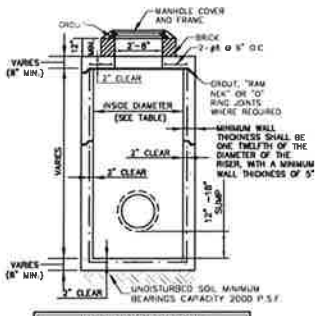
NOTES:
1. CONCRETE DESIGN STRENGTH 4,000 PSI.
2. ALL GRATES TO BE TRAFFIC BEARING GRATE.
3. CONTRACTOR SHALL PLACE A 10' WIDE SOD COLLAR AROUND ALL INLETS (NOT IN PAVEMENT).

STORM SEWER TYPE "C" INLET
N.T.S.



NOTES:
1. CONCRETE DESIGN STRENGTH 4,000 PSI.
2. ALL GRATES TO BE TRAFFIC BEARING GRATE.
3. CONTRACTOR SHALL PLACE A 10' WIDE SOD COLLAR AROUND INLETS (NOT IN PAVEMENT).
4. PROVIDE KNOCKOUTS FOR UNDERDRAIN.

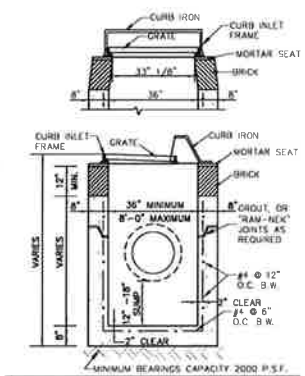
STORM SEWER TYPE "E" INLET
N.T.S.



INSIDE DIAMETER TABLE						
J-1	J-1A	J-1B	J-1C	J-1D	J-1E	J-1F
4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"	10'-0"

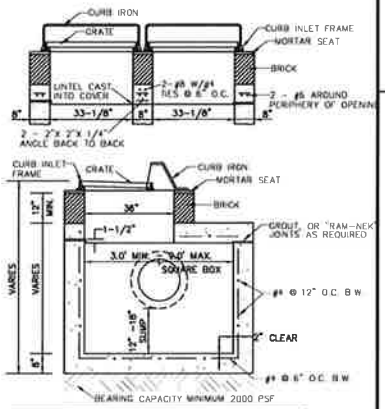
NOTES:
1. CONCRETE DESIGN STRENGTH 4,000 PSI.
2. PRECAST IN ACCORDANCE WITH LATEST EDITIONS OF ASTM C 478.
3. PIPES SHALL BE FLUSH WITH INSIDE WALL.
4. IN PAVED AREAS FRAME AND GRATE MUST MATCH FINAL ASPHALT AND CROSS-SLOPE.
5. RING AND COVER SHALL BE TRAFFIC BEARING.

STORM SEWER J-1 MANHOLE
N.T.S.



NOTES:
1. PROVISION SHALL BE MADE AT THE TIME OF DRAINAGE STRUCTURE PRE- CASTING TO PROVIDE OPENINGS FOR UNDERDRAIN STUBOUTS ON EACH SIDE OF INLET.
2. CONCRETE DESIGN STRENGTH 4,000 PSI.
3. PIPE SHALL NOT BE IN CONSTRUCTION JOINT.

TYPE "A" SINGLE CURB INLET
N.T.S.



NOTES:
1. PROVISION SHALL BE MADE AT THE TIME OF DRAINAGE STRUCTURE PRE- CASTING TO PROVIDE OPENINGS FOR UNDERDRAIN STUBOUTS ON EACH SIDE OF INLET.
2. CONCRETE DESIGN STRENGTH 4,000 PSI.
3. PIPE SHALL NOT BE IN CONSTRUCTION JOINT.

TYPE "B" DOUBLE CURB INLET
N.T.S.

PLANS PREPARED UNDER THE DIRECTION OF:
NEAL J.D. MULCAHY
P.E. NUMBER 43651

REVISIONS

REV. NO.	DATE	DESCRIPTION
1	10-28-24	A.C.O.

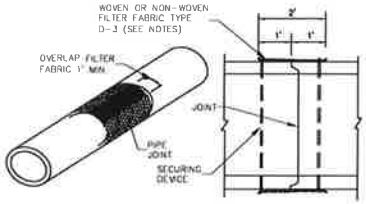
DESIGNED BY: N.J.D.M.
DRAWN BY: A.C.O.
CHECKED BY: N.J.D.M.
DATE: OCTOBER 2022

Engineering Thinking & Efficiency, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
NED - 7384 LC - 0000318
ETM
VISION • EXPERIENCE • RESULTS

PAVING AND DRAINAGE DETAILS
WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
13D

PLOTTED: February 8, 2023 - 4:42 PM, BY: Dylan

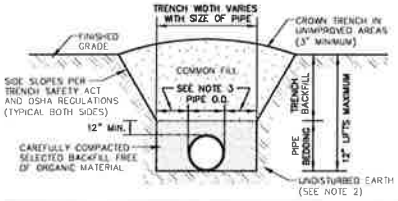


ISOMETRIC VIEW PIPE SECTION

NOTES:
EACH DRAINAGE PIPE JOINT SHALL BE WRAPPED WITH FILTER FABRIC (TYPE D-3 CENTERED AT EACH JOINT) (REFER TO FDOT INDEX 199) AND THE COST SHALL BE INCLUDED WITH THE DRAINAGE PIPE

FILTER FABRIC JACKET

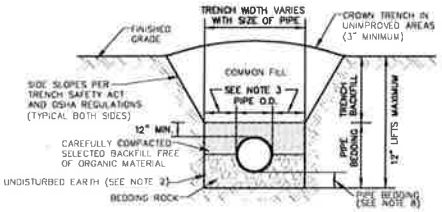
N.T.S



NOTES:
1. TRENCH AND PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% MAX DENSITY (AASHTO T-180).
2. USE TYPE A BEDDING TO BE DETERMINED IN FIELD AS DIRECTED BY COUNTY.
3. 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
4. WATER SHALL NOT BE PERMITTED IN TRENCH DURING CONSTRUCTION.
5. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO DIRECTION OF FLOW
6. REFER TO MANUAL FOR SHEETING AND BRACING IN EXCAVATIONS
7. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES SURFACE RESTORATION WITHIN COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS

TYPE B BEDDING AND TRENCH DETAIL

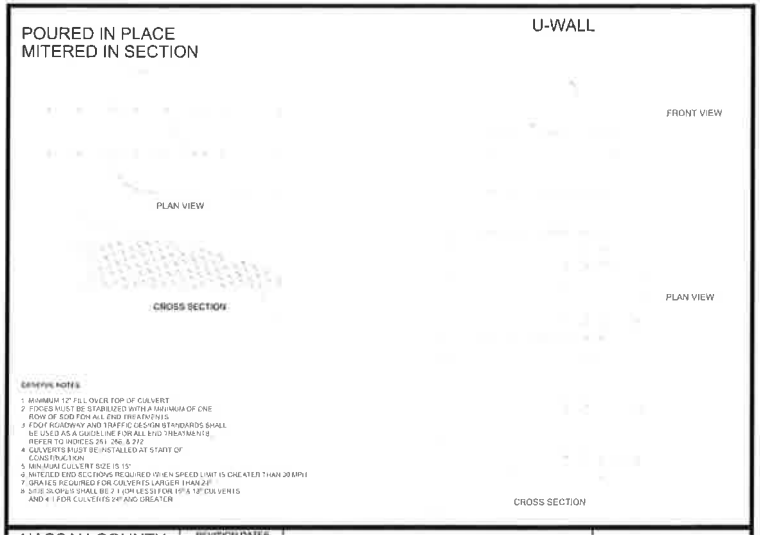
N.T.S



NOTES:
1. TRENCH AND PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% MAX DENSITY (AASHTO T-180).
2. USE TYPE A BEDDING TO BE DETERMINED IN FIELD AS DIRECTED BY COUNTY.
3. 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
4. WATER SHALL NOT BE PERMITTED IN TRENCH DURING CONSTRUCTION.
5. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO DIRECTION OF FLOW
6. REFER TO MANUAL FOR SHEETING AND BRACING IN EXCAVATIONS
7. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES SURFACE RESTORATION WITHIN COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.
8. DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL COVERN DEPTH OF BEDDING ROCK BELOW PIPE. COUNTY SHALL DETERMINE IN FIELD REQUIRED REMOVAL OF UNSUITABLE MATERIAL TO REACH SUITABLE FOUNDATION

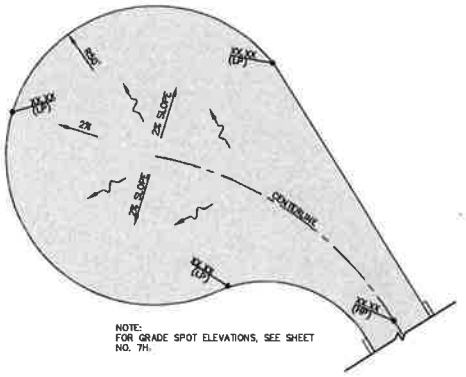
TYPE A BEDDING AND TRENCH DETAIL

N.T.S



GENERAL NOTES:
1. MINIMUM 12" FILL OVER TOP OF CULVERT
2. EDGES MUST BE STABILIZED WITH A MINIMUM OF ONE ROW OF SOD FOR ALL END TREATMENTS
3. FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS SHALL BE USED AS A GUIDELINE FOR ALL END TREATMENTS REFER TO INDEXES 211, 256 & 272
4. CULVERTS MUST BE INSTALLED AT START OF CONSTRUCTION
5. MINIMUM CULVERT SIZE IS 15"
6. MITERED END SECTIONS REQUIRED WHEN SPEED LIMIT IS GREATER THAN 30 MPH
7. GRATES REQUIRED FOR CULVERTS LARGER THAN 24"
8. SIDE SLOPES SHALL BE 2:1 OR LESS FOR 15" & 18" CULVERTS AND 4:1 FOR CULVERTS 24" AND GREATER

NASSAU COUNTY ROADWAY AND DRAINAGE STANDARDS ENGINEERING SERVICES DEPARTMENT	REVISION DATES	RESIDENTIAL HEADWALLS MITERED END SECTION, U-WALL	DETAIL NO. DWG. ADOPTED



NOTE:
FOR GRADE SPOT ELEVATIONS, SEE SHEET NO. 7H.

TEMPORARY CUL-DE-SAC - PLAN VIEW

N.T.S.

NOTE: FOR ALL STANDARD DETAILS, SEE NASSAU COUNTY STANDARDS SPECIFICATIONS AND DETAILS, LATEST REVISIONS.

PLANS PREPARED UNDER THE DIRECTION OF:

SEAL J.D. MULLICAN, P.E. NUMBER 43951

REVISIONS

JOB NO. 18-238-04
DRAWN BY A.C.S.
DESIGNED BY N.J.D.M
CHECKED BY N.J.D.M
DATE OCTOBER 2022

England-Thims & Miller, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8990
FAX: (904) 646-9485
REG. CERT. OF AUTH. NO. 00000970

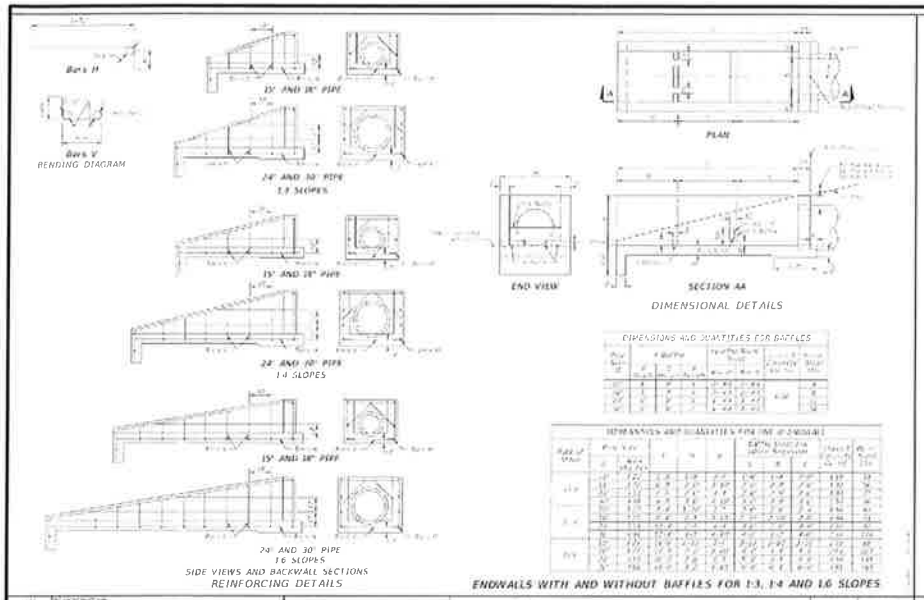
ETM
VISION • EXPERIENCE • RESULTS

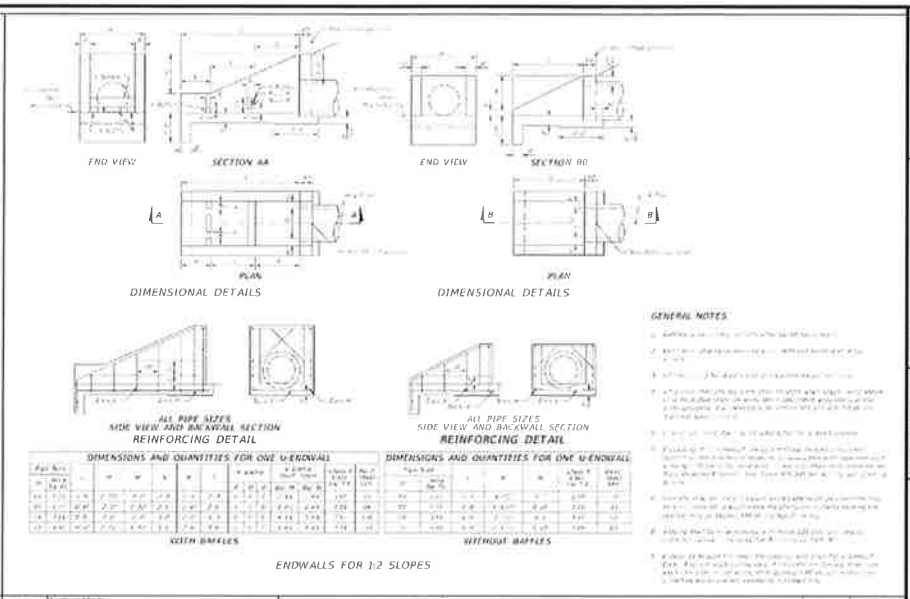
PAVING AND DRAINAGE DETAILS

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
13E

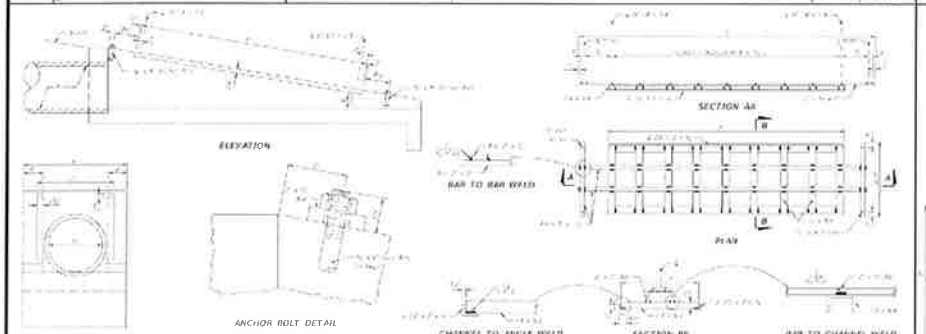
PLOTTED: February 8, 2022 - 4:41 PM BY: M. Drake





FY 2019-20 STANDARD PLANS	U TYPE CONCRETE ENDWALLS BAFFLES & GRATE OPTIONAL 15" TO 30" PIPE	430-011	2 of 3	

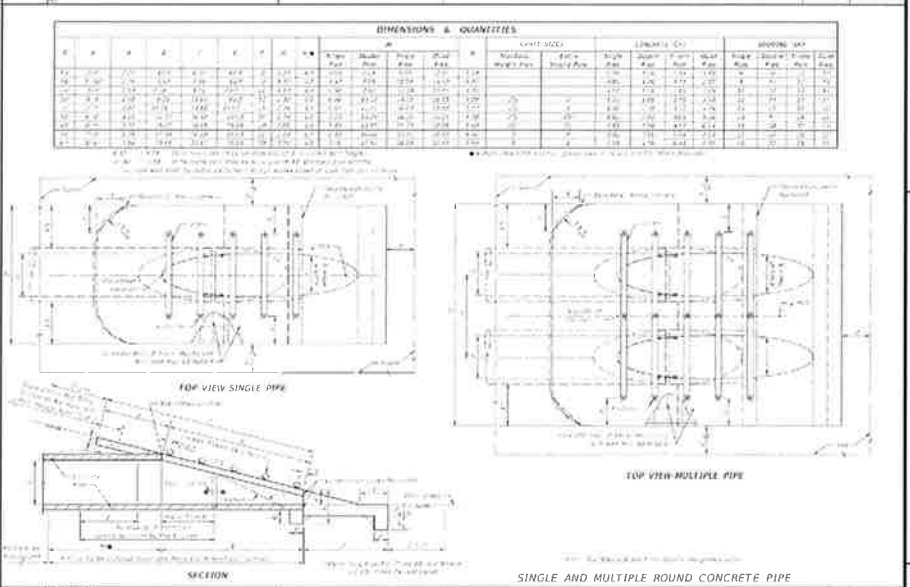
FY 2019-20 STANDARD PLANS	U TYPE CONCRETE ENDWALLS BAFFLES & GRATE OPTIONAL 15" TO 30" PIPE	430-011	1 of 3	



STEEL GRATING USE CRITERIA

TABLE OF DIMENSIONS AND QUANTITIES FOR ONE GRATE

FY 2019-20 STANDARD PLANS	U TYPE CONCRETE ENDWALLS BAFFLES & GRATE OPTIONAL 15" TO 30" PIPE	430-011	3 of 3	



FY 2019-20 STANDARD PLANS	SIDE DRAIN MITERED END SECTION	430-022	1 of 7	

PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. MILLIGAN
P.E. NUMBER 43953

REVISIONS

Job no. 19-239-24	
Drawn by: A.C.D.	
Designed by: N.J.D.M.	
Checked by: N.J.D.M.	
Date: OCTOBER 2022	

England-Thims & Miller, Inc.
14775 Old St. Augustine Road
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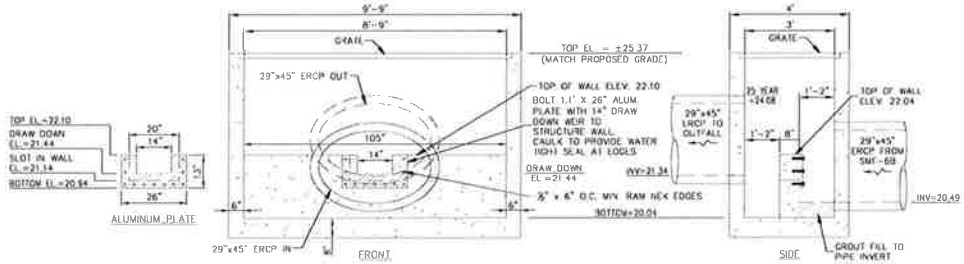
REG. : 3884 LC - 0000115

ETM
VISION • EXPERIENCE • RESULTS

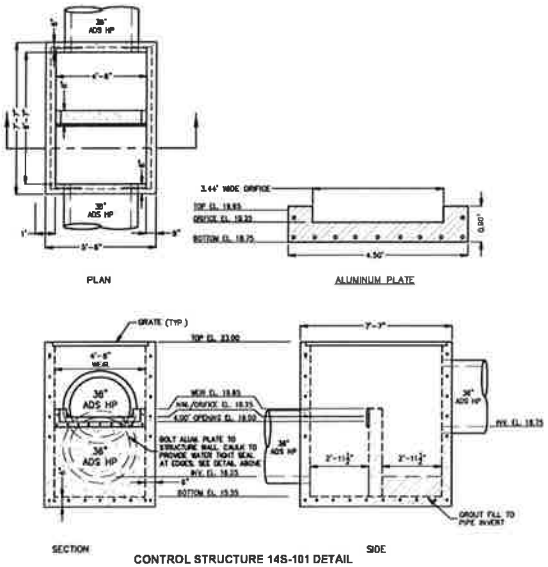
PAVING AND DRAINAGE DETAILS

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
13F



EXISTING CONTROL STRUCTURE CS-6B DETAIL
MOD. TYPE "H" INLET
N.T.S.



CONTROL STRUCTURE 14S-101 DETAIL
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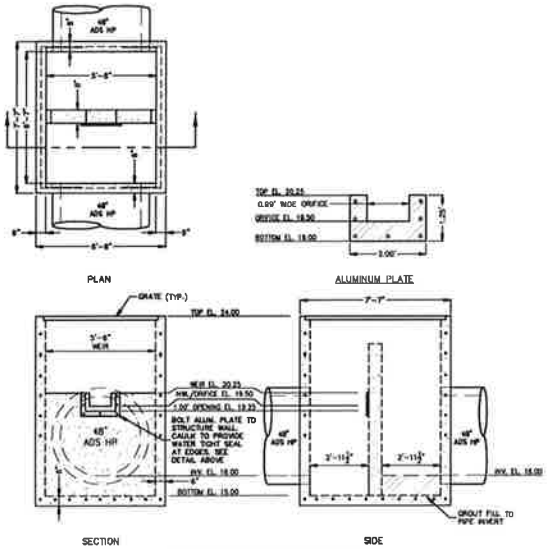

CONTROL STRUCTURE 16S-101 DETAIL
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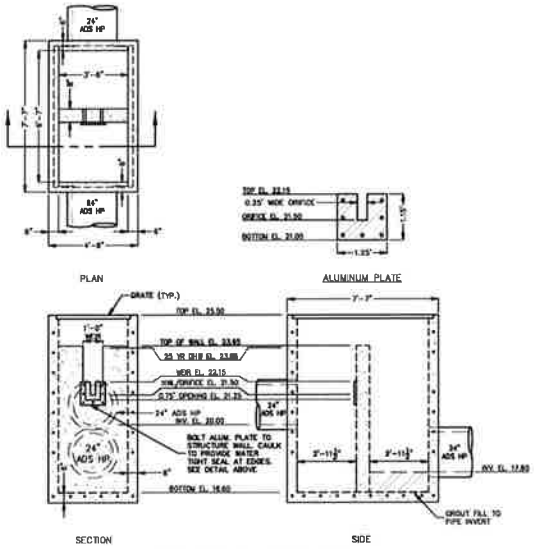

CONTROL STRUCTURE 18S-101 DETAIL
MOD. TYPE "H" INLET
N.T.S.

PLANS PREPARED UNDER THE DIRECTION OF:
NEAL A.D. MULLIGAN
P.E. NUMBER 44553

REVISIONS

File No. 19-239-04
Drawn BY A.G.D.
DESIGNED BY N.J.M
CHECKED BY N.J.M
DATE OCTOBER 2022

ETM
Englund, Theis & Miller, Inc.
VISION • EXPERIENCE • RESULTS

PAVING AND DRAINAGE DETAILS

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
13G

PLOTTED February 9, 2023 - 4:41 PM, BY: D. Zeller

SURVEY AND LOCATE DATA:

NOT APPLICABLE	APPLICABLE	
☐	☐	1. ALL ELEVATIONS ARE BASED ON U.S.C.&G.S. DATUM AND SHOWN IN FEET.
☐	☐	2. ELEVATIONS ARE BASED ON NAVD 1988.
☐	☐	3. LOCATION OF EXISTING UTILITIES OBTAINED BY SOFT DIG LOCATES WHERE SHOWN ON PLANS, OR INCLUDED WITH BID SPECS.
☐	☐	4. EXISTING WATER AND SEWER LINES ARE SHOWN AS PER FIELD LOCATES AND SUBDIVISION AS-BUILT PLANS.
☐	☐	5. UNDERGROUND UTILITIES WERE LOCATED UTILIZING GROUND PENETRATING RADAR (GPR) AND A DIGITAL LOCATOR. CONTRACTOR SHALL BE AWARE THAT IN SOME CASES UTILITIES HAVE BEEN LOCATED, AND SURVEY HAS BEEN COMPLETED ONLY ON ONE SIDE OF THE ROAD.
☐	☐	6. ALL PIPE LENGTHS SHOWN ON PLAN AND PROFILES ARE FROM CENTER TO CENTER OF MANHOLES, CATCH BASINS, INLETS ETC., OR ALONG THE CENTER LINE OF FORCE MAINS AND WATER MAINS.
☐	☐	7. INVERT ELEVATIONS SHOWN ON DRAWINGS REFER TO THE CENTERLINE OF MANHOLES, UNLESS OTHERWISE INDICATED.
☐	☐	8. THE LOCATION OF ALL EXISTING SEWER AND WATER SERVICE LINES MAY NOT BE INDICATED ON THESE PLANS. THE LOCATION OF NEW SERVICES SHALL BE VERIFIED IN THE FIELD.
☐	☐	9. BENCHMARK DATA _____

PERMIT REQUIREMENTS (NOT ALL INCLUSIVE):

☐	☐	1. CONTRACTOR TO OBTAIN ALL REQUIRED RIGHT-OF-WAY PERMITS.
☐	☐	2. CONTRACTOR SHALL NOT OPEN CUT STREETS IN THE PROJECT AREA UNLESS SPECIFICALLY SHOWN ON PLANS.
☐	☐	3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CONSUMPTIVE USE PERMIT (CUP) THROUGH THE ST. JOHNS WATER MANAGEMENT DISTRICT SHOULD DEWATERING ACTIVITIES BE REQUIRED.
☐	☐	4. THE DEPARTMENT OF TRANSPORTATION, RAILROAD COMPANIES AND C.O.J. ARE TO BE NOTIFIED IN ADVANCE OF CONSTRUCTION PER THEIR RESPECTIVE PERMIT CONDITIONS.
☐	☐	5. ALL WORK SHALL BE IN ACCORDANCE WITH BID DOCUMENTS, JEA WATER AND SEWER STANDARDS, DETAILS AND MATERIALS MANUAL, REV. 2016, AND CITY OF JACKSONVILLE STANDARD SPECIFICATIONS AND DETAILS AND ALL APPLICABLE STATE AND LOCAL REGULATIONS.
☐	☐	6. IF SOLVENT CONTAMINATION IS FOUND IN THE PIPE TRENCH, WORK SHALL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED. WITH APPROVAL OF THE PERMITTING AGENCY, DUCTILE IRON PIPE, FITTINGS AND SOLVENT RESISTANT GASKET MATERIAL SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE IRON PIPE SHALL EXTEND AT LEAST 100 FEET BEYOND ANY SOLVENT NOTED.
☐	☐	7. THE CONTRACTOR SHALL NOTIFY APPLICABLE UTILITY CONTACT PERSONNEL NOT LESS THAN ONE WEEK PRIOR TO CONSTRUCTION OF FACILITIES IN THEIR RESPECTIVE AREAS.
☐	☐	8. TREE PROTECTION SHALL BE IN ACCORDANCE WITH JACKSONVILLE ORDINANCE CODE 656 AND/OR AS DETAILED ON SPECIFIC PLAN SHEETS. NO TRIMMING OF OVERHANGING TREE LIMBS WILL BE ALLOWED. USE SMALLER EQUIPMENT IF NECESSARY.
☐	☐	9. THE CONTRACTOR SHALL LOCATE THE DRAINAGE INLET STRUCTURES IN THE PROJECT AREA AND ERECT SEDIMENTATION CONTROL DEVICES AS NECESSARY PER THE CITY OF JACKSONVILLE STORMWATER POLLUTION PREVENTION PLAN.
☐	☐	10. CONTRACTOR TO COORDINATE WORK WITH OTHER UTILITIES DURING CONSTRUCTION.

EXISTING UTILITY PROTECTION:

1. IN ORDER TO REDUCE THE DISRUPTION AND COST OF UTILITY DAMAGES OCCURRING IN THE DUVAL COUNTY RIGHT-OF-WAY AND EASEMENTS, THE CONTRACTOR SHALL PREVENT DAMAGES TO EXISTING UTILITIES CAUSED BY HIS WORK THROUGH FIELD VERIFICATION OF THE LOCATION OF THE EXISTING UTILITIES. IN THE CASE OF OPEN EXCAVATION, VERIFICATION MAY BE PERFORMED DURING THE CONTRACTOR'S WORK. IN THE CASE OF DIRECTIONAL DRILLING, VERIFICATION SHALL TAKE PLACE PRIOR TO MOBILIZATION OF THE DRILLING EQUIPMENT.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES AS NEEDED TO AVOID CONTACT. EXISTING UTILITIES SHALL BE EXPOSED USING DETECTION EQUIPMENT OR OTHER ACCEPTABLE MEANS. SUCH METHODS MAY INCLUDE BUT SHALL NOT BE LIMITED TO "SOFT DIG" EQUIPMENT AND GROUND PENETRATING RADAR (GPR). THE EXCAVATOR SHALL BE HELD LIABLE FOR DAMAGES CAUSED TO THE CITY'S/JEA'S INFRASTRUCTURE AND THE EXISTING FACILITIES OF OTHER UTILITY COMPANIES.
3. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND AVOID ALL UTILITIES, OTHER STRUCTURES AND OBSTRUCTIONS BOTH ABOVE AND BELOW GROUND SURFACE. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S FAILURE TO COMPLY WITH THIS REQUIREMENT SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

RESTORATION NOTES:

1. THE CONTRACTOR SHALL EMPLOY A LAND SURVEYOR, REGISTERED IN THE STATE OF FLORIDA, TO REFERENCE AND RESTORE PROPERTY CORNERS AND LANDMARKS WHICH MAY BE DISTURBED BY CONSTRUCTION, KNOWN CORNER LOCATIONS ARE AVAILABLE FROM THE CITY OF JACKSONVILLE ENGINEERING DIVISION.
2. THE CONTRACTOR SHALL RESTORE/REPLACE ALL CULVERTS, HEADWALLS AND STORM DRAIN INLETS REMOVED OR DISTURBED BY THE CONSTRUCTION OPERATION.
3. TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL BE RESTORED TO THEIR PRE-CONSTRUCTION CONDITION IN ACCORDANCE WITH CITY OF JACKSONVILLE/FDOT STANDARD SPECIFICATIONS.
4. SIDEWALKS, DRIVEWAYS AND CURBING DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH JACKSONVILLE STANDARD SPECIFICATIONS. SIDEWALKS REMOVED AND REPLACED IN CURB AND GUTTER AREAS AT INTERSECTIONS SHALL HAVE HANDICAP RAMPS INSTALLED. DRIVEWAYS AND SIDEWALKS SHALL BE SAWCUT ALONG THE RIGHT-OF-WAY LINE OR NEAREST JOINT AND REMOVED AND REPLACED TO THE EDGE OF STREET.
5. GRASS SOD SHALL BE FURNISHED AND PLACED IN THE AREAS DISTURBED OR DAMAGED BY THE CONSTRUCTION OPERATION.
6. ALL PAVEMENT REPAIR SHALL BE IN ACCORDANCE WITH THE CITY OF JACKSONVILLE/FDOT STANDARD DETAILS AND SPECIFICATIONS LATEST EDITION.
7. UNLESS OTHERWISE NOTED, REMOVE AND REPLACE EXISTING PAVEMENT AS PER C.O.J. CASE X (10) PAVEMENT REPLACEMENT DETAIL.
8. CONTRACTOR MUST MAINTAIN AND PRESERVE NEWLY GRADED AREAS AND REPAIR AREAS WHERE SETTLING AND EROSION HAVE OCCURRED.

UTILITY CONTACTS:

A. AT&T - GENERAL NUMBER - 904-519-2529
B. AT&T - ADAM DUGAN - NORTH DISTRICT - 904-781-6741
C. AT&T - BILL LAKE - SOUTH DISTRICT - 904-303-8754
D. CITY OF JACKSONVILLE - PUBLIC WORKS DEPT - 904-255-8786
E. CITY OF JACKSONVILLE - TRAFFIC ENGINEERING - 904-255-7533
F. FLORIDA DEPT. OF TRANSPORTATION - 904-360-5200
G. JEA - WATER COLLECTION & DISTRIBUTION - BOB ALLBROOK - 904-665-7298
H. JEA - SEWER COLLECTION & DISTRIBUTION - BOB ALLBROOK - 904-665-7298
I. JEA - GENERAL INFORMATION - 904-665-6000
J. JEA - PROJECT OUTREACH - 904-665-7500
K. JEA - POWER OUTAGES - 904-665-6000
L. JEA - SEWER PROBLEMS - 904-665-4902
M. JEA - WATER PROBLEMS - 904-665-4801
N. JEA - WATER & SEWER LOCATES - 904-665-8410
O. NASSAU COUNTY - ENGINEERING SERVICES - 904-530-6205
P. ST. JOHNS COUNTY - RIGHT-OF-WAY PERMITTING - RICK MULDER - 904-209-0134
Q. ST. JOHNS COUNTY - TRAFFIC SIGNALS - HANK NEW - 904-209-0173
R. COMCAST - EMERGENCY HOTLINE - 904-380-6274
S. TECO PEOPLES GAS - BEN NOBLEY - 904-540-6958
T. SUNSHINE ONE CALL - 811

NOT APPLICABLE	APPLICABLE	
☐	☐	1. CONTRACTOR TO REHABILITATE ALL MANHOLES ON PIPE BURST SEWERS VIA COATING/LINING PER JEA SPECIFICATION 446-2, UNLESS OTHERWISE NOTED ON THE PLANS.
☐	☐	2. CONTRACTOR TO RENEW, REHABILITATE, REPLACE OR REINSTALL AS APPLICABLE ALL SERVICE LATERALS TO R.O.W. LINE.
☐	☐	3. CONTRACTOR TO INSTALL SEWER SERVICE PIPING A MINIMUM OF 42 INCHES BELOW GRADE. WHERE NEW SANITARY SEWER MAIN IS LESS THAN 5 FEET DEEP, THE SEWER SERVICE PIPE SHALL BE INSTALLED AS DEEP AS POSSIBLE.
☐	☐	4. WHEN THE DISTANCE BETWEEN A POWER POLE AND THE TRENCH IS LESS THAN THE TRENCH DEPTH, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH JEA ELECTRICAL PERSONNEL TO SECURE POWER POLES. THE CONTACTS FOR JEA ARE AS FOLLOWS NORTHSIDE - EAST of US-1 MIKE CORBITT @ 665-7661 (~~cell: 823-0533~~) NORTHSIDE - WEST of US-1 ANDY YEAGER @ 665-7998 (~~cell: 552-0522~~) NORTHSIDE - BACKUP ALAN ANSLEY @ 665-7333 (~~cell: 612-1137~~) SOUTHSIDE - SOUTH of BEACH BLVD, TOM KERNS @ 665-5847 (~~cell: 655-1947~~) SOUTHSIDE - NORTH of BEACH BLVD, DERYL BASFORD @ 665-4633 (~~cell: 552-2618~~) SOUTHSIDE - BACKUP EDDIE OALES @ 665-4403 (~~cell: 563-0016~~) A MINIMUM OF TWO (2) WORKING DAYS NOTICE IS REQUIRED FOR AN OUTSIDE MEETING WITH JEA ELECTRICAL TO DISCUSS THE REQUIRED WORK. ADDITIONAL TIME WILL BE REQUIRED BY JEA ELECTRICAL FOR ANY REQUIRED WORK TO BE ACCOMPLISHED.
☐	☐	5. ALL NEW STORM DRAIN PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.
☐	☐	6. THE DESIGN FOR THE PROJECT IS BASED UPON THE "OPEN-CUT" METHOD OF CONSTRUCTION. IF USING ALTERNATIVE MEANS OR METHODS, THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE STANDARDS FOR THAT MEANS OR METHOD.
☐	☐	7. THE CONTRACTOR SHALL MINIMIZE SERVICE INTERRUPTIONS AT SERVICE CONNECTIONS. THE MEANS AND METHODS SHALL BE LEFT TO THE DISCRETION OF THE CONTRACTOR, SUBJECT TO THE REQUIREMENTS OF THE CONTRACT SPECIFICATIONS. NO EXISTING ACTIVE SERVICE SHALL BE LEFT INTERRUPTED AT THE END OF THE WORK DAY.
☐	☐	8. CONTRACTOR SHALL PROVIDE ADDITIONAL CORPORATION STOPS FOR FILLING AND DRAINING PURPOSES DURING CONSTRUCTION AS NEEDED. CORPORATION STOPS ARE TO BE PLUGGED AND LEFT IN PLACE. INDICATE CORPORATION STOP LOCATIONS ON RECORD DRAWINGS (AS-BUILTS).
☐	☐	9. WATER AND SEWER SERVICES SHALL BE TRANSFERRED TO THE NEW MAIN UPON COMPLETION AND F.D.E. PUE A. CERTIFICATION, AND PRIOR TO THE EXISTING MAINS BEING ABANDONED.
☐	☐	10. IF EXISTING VALVES ARE IN UNPAVED AREAS AND ARE TO BE TAKEN OUT OF SERVICE, THEY SHALL BE CLOSED AND THE VALVE BOX AND COVER SHALL BE REMOVED. IF THE VALVES ARE UNDER PAVED AREAS, THEY SHALL BE CLOSED, THE VALVE BOX GROUT FILLED AND THE COVER REMOVED.
☐	☐	11. CONTRACTOR SHALL REPLACE EXISTING WATER METER BOXES WHEN DEEMED NECESSARY BY THE JEA INSPECTOR.
☐	☐	12. CONTRACTOR TO PROVIDE ADDITIONAL DEPTH OF BURY VIA PIPE JOINT DEFLECTION TO ACCOMMODATE VALVE SELECTION PER JEA STANDARDS.
☐	☐	13. WATER METERS MAY REQUIRE RELOCATION FOR CONSTRUCTION. CONTRACTOR SHALL CONTACT JEA METER DEPARTMENT AND RELOCATE WATER METERS AS NECESSARY.
☐	☐	14. PRIOR TO COMMENCING ANY EXCAVATION OR GRADING, THE CONTRACTOR SHALL OBTAIN ALL GEOTECHNICAL AND TOPOGRAPHIC SURVEY DATA AND LOCATIONS OF ABOVE GROUND AND UNDERGROUND UTILITIES. SHOULD THE CONTRACTOR DISCOVER ANY INACCURACIES, ERRORS OR OMISSIONS IN THE SURVEY DATA, HE SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER IN ORDER THAT PROPER ADJUSTMENTS CAN BE ANTICIPATED AND ORDERED.
☐	☐	15. SHEET PILING WILL BE REQUIRED ON ALL EXCAVATIONS DEEPER THAN 16 FEET.

THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN

PLS SIGN & SEAL IN BLUE INK
NICOLE D. ROLATTETE
FLORIDA REG. NO. 74921

England-Thims & Miller, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
Tel: (904) 642-8550
Fax: (904) 642-4065
CA: 00000696 LC: 0000168
Vision • Commitment • Results

NO.	BY	DATE	REVISIONS
1			
2			
3			
4			
5			

JEA Building Community

JEA STANDARD
GENERAL NOTES LEGEND, AND SHEET INDEX
WILDLIGHT PDP #3 PARCEL 6

NO. SHEETS	
PROJ. NO.	19-239-04
DATE	JANUARY 2017
SCALE	AS NOTED
SHEET NO.	3
DRAWING NO.	14

T:\2019\19-239\19-239-04\LandDev\Design\Plans\Parcel 6\19-239-04_JEA_Site_Sheets_2019.dwg Current Layout Tab = Notes-Legend-Index Thu Feb 09, 2023 - 15:41

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HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS

PROPOSED UTILITY

CONFLICTING UTILITY	POTABLE WATER			WASTEWATER GRAVITY AND FORCE MAIN			RECLAIMED WATER			VACUUM SEWERS		
	HORIZ.	VERT.	JOINT SPACING[4]	HORIZ.	VERT.	JOINT SPACING[4]	HORIZ.	VERT.	JOINT SPACING[4]	HORIZ.	VERT.	JOINT SPACING[4]
POTABLE WATER	3' NOTE 1	12"	3' NOTE 2	6' to 10'	12" NOTE 5	6' NOTE 2	3'	12"	6' NOTE 2	3' to 10'	12"	3' NOTE 2
RECLAIMED WATER	3'	12"	6' NOTE 2	3' NOTE 1	12"	3' NOTE 2	3'	12"	6' NOTE 2	3' NOTE 1	12"	3' NOTE 2
WASTEWATER (GRAVITY AND FORCE MAIN)	6' to 10'	12"	6' NOTE 2	3' NOTE 1	12"	6"	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2
VACUUM SEWERS	3' to 10'	12"	3' NOTE 2	3' NOTE 1	12"	6"	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2
RIGHT OF WAYS	3' NOTE 1	N/A	N/A	3' NOTE 1	N/A	N/A	3' NOTE 1	N/A	N/A	3' NOTE 1	N/A	N/A
PERMANENT STRUCTURES (SIGNS, POLES, ETC.)	3' NOTE 1	N/A	N/A	3' NOTE 1	N/A	N/A	3' NOTE 1	N/A	N/A	3' NOTE 1	N/A	N/A
STORM SEWERS	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2
GAS	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2
TREES	3'-6' NOTE 6	N/A	N/A	3'-6' NOTE 6	N/A	N/A	3'-6' NOTE 6	N/A	N/A	3'-6' NOTE 6	N/A	N/A
ALL OTHER UTILITIES	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2	3' NOTE 1	12"	3' NOTE 2

NOTES:

1. THIS SEPARATION REQUIREMENT IS TO PROVIDE ACCESSIBILITY FOR CONSTRUCTION AND MAINTENANCE. THREE FEET OF HORIZONTAL SEPARATION IS THE MINIMUM FOR PIPES WITH THREE FEET OF COVER. FOR PIPES INSTALLED AT GREATER DEPTH, PROVIDE AN ADDITIONAL FOOT OF SEPARATION FOR EACH ADDITIONAL FOOT OF DEPTH.
2. THE MINIMUM JOINT SPACING REQUIRED FROM CROSSING FROM OTHER UTILITIES WHILE STILL MAINTAINING MINIMUM VERTICAL SEPARATION.
3. DISTANCES GIVEN ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
4. NO WATER PIPE SHALL PASS THROUGH OR COME INTO CONTACT WITH ANY PART OF SANITARY OR STORM WATER MANHOLE OR STRUCTURES.
5. WATER MAIN SHOULD CROSS ABOVE OTHER PIPES WHENEVER POSSIBLE. WHEN WATER MAIN MUST BE BELOW OTHER UTILITY PIPING, THE MINIMUM SEPARATION SHALL BE 12 INCHES.
6. REFER TO POTABLE WATER PIPING, SECTION 350, III.4.11.

SEPARATION REQUIREMENTS FOR WATER, WASTEWATER AND RECLAIMED WATER MAINS

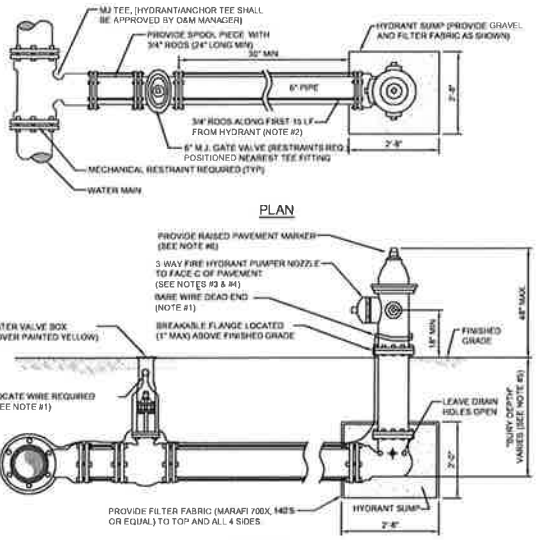
JANUARY 2022 — PLATE W-10

WATER MAIN AND NON-WATER MAIN SEPARATION REQUIREMENTS - NOTES:

1. IT IS REQUIRED THAT "WATER MAINS" BE INSTALLED, CLEANED, DISINFECTED AND HAVE A SATISFACTORY BACTERIOLOGICAL SURVEY PERFORMED IN ACCORDANCE WITH THE LATEST APPLICABLE AWWA STANDARDS, CHAPTER 62-555, F.A.C. AND LATEST JEA WATER AND SEWER STANDARDS. FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATER MAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER, FIRE HYDRANT LEADS, AND SERVICE LINES THAT HAVE AN INSIDE DIAMETER OF THREE (3) INCHES OR GREATER. IN ADDITION, THE PHRASE "RECLAIMED WATER" REFERS TO THE WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
2. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE (3) FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER.
3. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX (6) FEET, AND PREFERABLY TEN (10) FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS MAY BE REDUCED TO THREE (3) FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX (6) INCHES ABOVE THE TOP OF THE SEWER (SPECIAL CASE).
4. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY OR VACUUM TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX (6) INCHES, AND PREFERABLE TWELVE (12) INCHES, ABOVE OR AT LEAST TWELVE (12) INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
5. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS A LEAST TWELVE (12) INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
6. AT THE UTILITY CROSSINGS DESCRIBED IN NOTES 4 AND 5 ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE (3) FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER, AND AT LEAST SIX (6) FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINE CONVEYING RECLAIMED WATER.
7. NEW OR RELOCATED FIRE HYDRANTS SHALL BE LOCATED SO THAT THE HYDRANTS ARE AT LEAST THREE (3) FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER, AT LEAST THREE (3) FEET, AND PREFERABLY TEN (10) FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, AT LEAST SIX (6) FEET, AND PREFERABLY TEN (10) FEET, FROM ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER OR WASTEWATER FORCE MAIN.
8. WHERE AN UNDERGROUND WATER MAIN IS BEING LAID LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATER MAIN IS CROSSING ANOTHER PIPELINE AND JOINTS IN THE WATER MAIN ARE BEING LOCATED LESS THAN THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN THE OTHER PIPELINE, THE CONTRACTOR SHALL CONSULT THE DESIGN ENGINEER TO OBTAIN APPROVAL OF ANY ALTERNATIVE CONSTRUCTION METHODS, PRIOR TO CONSTRUCTION.

NOTES ON UTILITY SEPARATION REQUIREMENTS

JANUARY 2022 — PLATE W-11

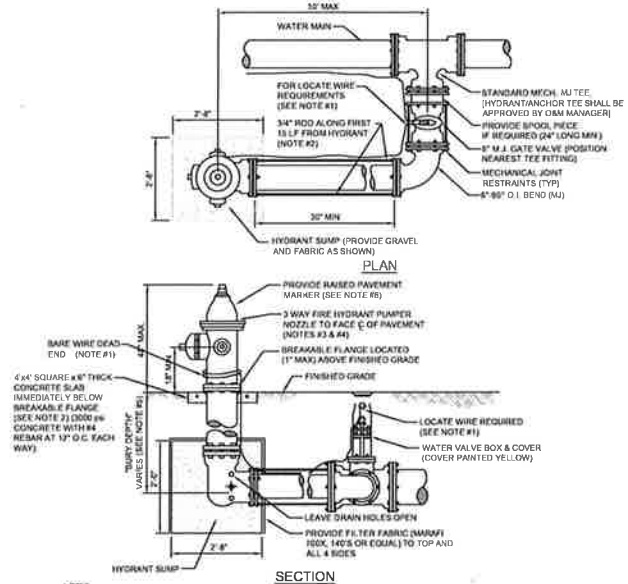


NOTES:

1. LOCATE WIRE SHALL BE ROUTED FROM THE VALVE TO THE HYDRANT AS SHOWN ABOVE LEAVING ENOUGH SLACK TO REACH 4' ABOVE FINAL GRADE. THE END OF THE WIRE SHALL BE SECURED TO THE PIPE MAIN. SEE SECTION 350, LOCATE WIRE INSTALLATION PARAGRAPH.
2. FIRE HYDRANTS SHALL BE INSTALLED BETWEEN BACK OF CURB AND FACE OF SIDEWALK AND NOT WITHIN SWALE/DITCH AREAS. THE DISTANCE RANGE FROM EDGE OF ADJACENT PAVEMENT, BACK OF CURB AND FACE OF SIDEWALK SHALL BE IN COMPLIANCE WITH LOCAL COUNTY FIRE DEPARTMENT RULES AND AS APPROVED BY JEA AND APPLICABLE PERMITTING AGENCIES. DISTANCE SHALL BE MEASURED TO THE CLOSEST PART OF THE FIRE HYDRANT (I.E. THE PUMPER NOZZLE). THE MAXIMUM DISTANCE (BACK OF CURB) SHALL BE IN COMPLIANCE WITH LOCAL COUNTY FIRE DEPARTMENT RULES AND AS APPROVED BY JEA. FOR OTHER LOCATION LIMITATIONS SEE PLATES W-10 AND W-11. IF PIPING BETWEEN TEE AND HYDRANT IS LONGER THAN 80 LF, AN ADDITIONAL 8" GATE VALVE IS REQUIRED AT THE HYDRANT LOCATION (PROVIDE 30" SEPARATION). ALL PIPING, VALVES AND FITTINGS ALONG THE HYDRANT BRANCH MAIN WHICH IS WITHIN 15 LF OF THE HYDRANT SHALL BE RESTRAINED UTILIZING ONLY TWO 3/4" DIA (THREADED ENDS) STEEL RODS AND EYE BOLTS (NO JOINT RESTRAINT DEVICES REQUIRED). A SPLIT SERRATED RING WITH RESTRAINT EARS (EBAA 15 PF06 or EQUAL) MAYBE USED IN THIS ASSEMBLY. ALL OTHER JOINTS ALONG THE HYDRANT BRANCH MAIN OUTSIDE OF THE FIRST 15 LF SHALL INCLUDE JOINT RESTRAINTS.
3. OPERATION OF THE FIRE HYDRANT SHALL BE EITHER FULL OPEN POSITION OR TOTALLY CLOSED POSITION. THE HYDRANT SHALL NOT BE UTILIZED TO THROTTLE OUTLET FLOW.
4. PRIOR TO PROJECT FINAL INSPECTION, THE HYDRANT AND ALL ABOVE GROUND PIPING SHALL BE RE-OILED, GREASED AND REPAINTED (RUS- KL ENAMEL INTERNATIONAL YELLOW OR EQUAL). PRIVATELY OWNED AND MAINTAINED FIRE HYDRANTS SHALL BE PAINTED RED.
5. FIRE HYDRANTS SHALL BE ORDERED WITH PROPER "BURY DEPTH" TO MEET ACTUAL FIELD CONDITIONS. THIS IS ESPECIALLY IMPORTANT FOR BRANCH LINES WHICH TEE OFF A 12" OR LARGER WATER MAIN. UNLESS APPROVED OTHERWISE BY JEA, THE INSTALLATION OF (45°) BENDS IS NOT ACCEPTABLE WHEN UTILIZED TO CORRECT AN IMPROPERLY FURNISHED HYDRANT. THE USE OF HYDRANT EXTENSIONS SHOULD BE MINIMIZED.
6. BLUE REFLECTIVE MARKERS SHALL BE INSTALLED IN SUCH A MANNER THAT THE REFLECTIVE FACE OF THE MARKER IS PERPENDICULAR TO A LINE PARALLEL TO THE ROADWAY CENTERLINE. THE BLUE REFLECTIVE MARKERS SHALL BE PLACED IN THE CENTER OF THE TRAVEL LANE, DIRECTLY ACROSS FROM AND ADJACENT TO EACH FIRE HYDRANT.

FIRE HYDRANT INSTALLATION USING MECHANICAL JOINT TEE

JANUARY 2022 — PLATE W-13



NOTES:

1. LOCATE WIRE SHALL BE ROUTED FROM THE VALVE TO THE HYDRANT AS SHOWN ABOVE LEAVING ENOUGH SLACK TO REACH 4' ABOVE FINAL GRADE. THE END OF THE WIRE SHALL BE SECURED TO THE PIPE MAIN. SEE SECTION 350, LOCATE WIRE INSTALLATION PARAGRAPH.
2. FIRE HYDRANTS SHALL BE INSTALLED BETWEEN BACK OF CURB AND FACE OF SIDEWALK. ALL HYDRANTS SHALL BE LOCATED NO LESS THAN THREE (3) FEET FROM THE EDGE OF PAVEMENT OR BACK OF CURB OF THE ADJACENT ROADWAY AND NO LESS THAN THREE (3) FEET FROM ANY PHYSICAL FEATURE WHICH MAY OBSTRUCT ACCESS OR VIEW OF ANY HYDRANT UNLESS OTHERWISE APPROVED BY THE JEA. THE MAXIMUM DISTANCE (BACK OF CURB) SHALL BE IN COMPLIANCE WITH LOCAL COUNTY FIRE DEPARTMENT RULES AND AS APPROVED BY JEA. FOR OTHER LOCATION LIMITATIONS SEE PLATES W-10 AND W-11. IF PIPING BETWEEN TEE AND HYDRANT IS LONGER THAN 80 LF, AN ADDITIONAL 8" GATE VALVE IS REQUIRED AT THE HYDRANT LOCATION (PROVIDE 30" SEPARATION). ALL PIPING, VALVES AND FITTINGS ALONG THE HYDRANT BRANCH MAIN WHICH IS WITHIN 15 LF OF THE HYDRANT SHALL BE RESTRAINED UTILIZING ONLY TWO 3/4" DIA (THREADED ENDS) STEEL RODS AND EYE BOLTS (NO JOINT RESTRAINT DEVICES REQUIRED). A SPLIT SERRATED RING WITH RESTRAINT EARS (EBAA 15 PF06 or EQUAL) MAYBE USED IN THIS ASSEMBLY. ALL OTHER JOINTS ALONG THE HYDRANT BRANCH MAIN OUTSIDE OF THE FIRST 15 LF SHALL INCLUDE JOINT RESTRAINTS.
3. OPERATION OF THE FIRE HYDRANT SHALL BE EITHER FULL OPEN POSITION OR TOTALLY CLOSED POSITION. THE HYDRANT SHALL NOT BE UTILIZED TO THROTTLE OUTLET FLOW.
4. PRIOR TO PROJECT FINAL INSPECTION, THE HYDRANT AND ALL ABOVE GROUND PIPING SHALL BE RE-OILED, GREASED AND REPAINTED (RUS- KL ENAMEL INTERNATIONAL YELLOW OR EQUAL). PRIVATELY OWNED AND MAINTAINED FIRE HYDRANTS SHALL BE PAINTED RED.
5. FIRE HYDRANTS SHALL BE ORDERED WITH PROPER "BURY DEPTH" TO MEET ACTUAL FIELD CONDITIONS. THIS IS ESPECIALLY IMPORTANT FOR BRANCH LINES WHICH TEE OFF A 12" OR LARGER WATER MAIN. UNLESS APPROVED OTHERWISE BY JEA, THE INSTALLATION OF (45°) BENDS IS NOT ACCEPTABLE WHEN UTILIZED TO CORRECT AN IMPROPERLY FURNISHED HYDRANT. THE USE OF HYDRANT EXTENSIONS SHOULD BE MINIMIZED.
6. BLUE REFLECTIVE MARKERS SHALL BE INSTALLED IN SUCH A MANNER THAT THE REFLECTIVE FACE OF THE MARKER IS PERPENDICULAR TO A LINE PARALLEL TO THE ROADWAY CENTERLINE. THE BLUE REFLECTIVE MARKERS SHALL BE PLACED IN THE CENTER OF THE TRAVEL LANE, DIRECTLY ACROSS FROM AND ADJACENT TO EACH FIRE HYDRANT.

FIRE HYDRANT INSTALLATION LIMITED SPACE

JANUARY 2022 — PLATE W-14

THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN

NICOLE D. ROLATTE

JEA Building Community Trust

JEA STANDARD
WATER AND RECLAIMED DETAILS
WILDLIGHT PDP #3 PARCEL 6

PROJ. NO. 19-239-04
DATE JANUARY 2022
SCALE AS NOTED
DRAWING NO. 19A

REVISIONS

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3			
2			
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ENGINEER: A. LOWRY, P.E.
DESIGNED BY: N. ROLATTE
DRAWN BY: N. ROLATTE
CHECKED BY: A. LOWRY, P.E.
DATE: 1/13/2022
FLORIDA REGISTRATION NO. 74923

ETM England-Thing & Miller, Inc.
VISION • EXPERIENCE • RESULTS
CA - 00000526 LC - 0000058

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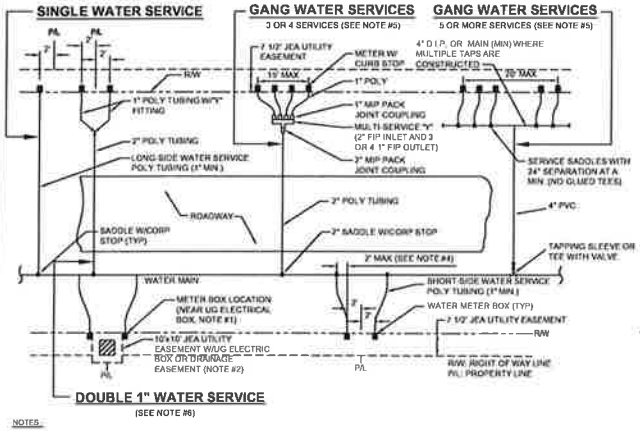
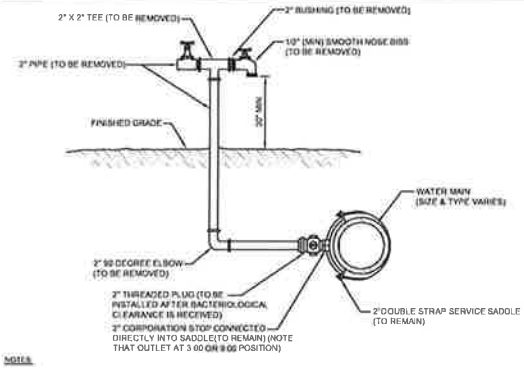


NOTES:

1. THE SKETCHES ABOVE INDICATE TYPICAL WATER SERVICE AND METER BOX LOCATIONS. ACTUAL LOCATIONS OF BOXES MAY VARY SLIGHTLY ACCORDING TO FIELD CONDITIONS ENCOUNTERED. TYPICALLY, THE METER BOX SHALL LOCATED AT THE R/W LINE BUT INSIDE THE 7 1/2' ELECTRIC EASEMENT.
2. UNLESS SPECIFIED OTHERWISE BY THE APPLICABLE COUNTY (NASSAU, CLAY OR ST. JOHNS COUNTY), THE METER BOX SHALL BE LOCATED IN THE JEA 7 1/2' UTILITY EASEMENT, AND TWO FEET INSIDE OF THE PROLONGATION OF ONE OF THE SIDE PROPERTY LINES. IF A CONFLICT EXISTS WITH OTHER UTILITIES, THE METER BOX MAY BE ADJUSTED TO FOUR FEET (MAX.) INSIDE PROPERTY LINES (IN LIEU OF TWO FEET) UNLESS APPROVED OTHERWISE BY JEA. THE WATER METER BOX SHALL BE LOCATED IN NON-TRAFFIC AREAS (NOT IN SIDEWALKS OR DRIVEWAYS). IF THE METER BOX IS APPROVED BY JEA TO BE LOCATED IN A DRIVEWAY OR SIDEWALK, THEN THE CONSTRUCTION SHALL MEET STANDARD DETAIL NUMBERS W-3&4, AT A MINIMUM (SEE W-3 AND W-4 FOR THE REQUIREMENTS OF SPECIAL ORDER POLYMER BOX AND TOP). SET TOP OF BOX AT FINISHED GRADE. IF AN UNAPPROVED METER BOX IS IDENTIFIED BY JEA, THEN THE CONTRACTOR OR CUSTOMER SHALL BE RESPONSIBLE FOR THE COST OF RELOCATING ANY METER BOX WHICH IS LOCATED IN THE SIDEWALK OR DRIVEWAY OR THE COST TO PROVIDE THE CORRECT METER BOX. JEA SHALL APPROVE ALL DEVIATIONS TO THE ABOVE PRIOR TO CONSTRUCTION.
3. IF DRAINAGE OR OTHER EASEMENT LOCATED BETWEEN LOTS, METER BOXES SHALL BE LOCATED AT THE EASEMENT LINE BUT OUTSIDE THE EASEMENT AREA.
4. FOR SINGLE SERVICES, THE HORIZONTAL DISTANCE (PERPENDICULAR TO THE MAIN)BETWEEN THE SERVICES SADDLE AND THE METER BOX SHALL BE 2 FEET MAXIMUM. FOR DOUBLE 1" SERVICES, THE 2" POLY MAIN SHALL BE LOCATED CENTERED BETWEEN THE TWO METER BOXES. LOCATE WIRE IS REQUIRED ON ALL SERVICES 10' OR GREATER IN LENGTH. IF LOCATE WIRE IS REQUIRED, THE WIRE SHALL RUN FROM THE METER BOX (W/ PIG TAIL) TO THE MAIN (DEAD END SHALL BE TAPED WITH NO CONNECTION TO MAIN WIRE WITH THE LAST 24 INCHES STRIPED OF INSULATION/BARE WIRE AS GROUND). ALL EXCEPTIONS TO THIS REQUIREMENT MUST BE APPROVED BY JEA. THIS WILL ASSIST IN LOCATING EXISTING SERVICE LINES IN THE FUTURE.
5. GANG WATER SERVICES: FOR 3 OR 4 SERVICES IN ONE AREA, A DUCTILE IRON PIPE (D.I.P.) WATER MAIN EXTENSION W/LOCATE WIRE MAY BE UTILIZED ON EITHER SHORT SIDE OR LONG SIDE SERVICES WHERE SHOWN ON THE DRAWINGS. LOCATE WIRE SHALL EXTEND FROM ONE METER BOX TO CORP STOP AT WATER MAIN. FOR 5 OR MORE SERVICES IN ONE AREA, A WATER MAIN EXTENSION W/LOCATE WIRE MAY BE UTILIZED ON EITHER SHORT SIDE OR LONG SIDE SERVICES WHERE SHOWN ON THE DRAWINGS (TAPS STAGGERED AND AT 2 FEET ON CENTER MIN). FOR WATER SUPPLY HEADERS WHERE 5 OR MORE TAPS ARE CONSTRUCTED, THE HEADER PIPE SHALL BE 4" AT A MINIMUM. EXAMPLE: CONSTRUCT A 4" MAIN PVC CROSSING THE STREET FOR 6 RESIDENTIAL CUSTOMERS, UTILIZING 4" DIP, 4" PIPE, 4"X1" SADDLES AND 1" CORP STOPS (NO GLUED TEE FITTINGS). THE 4" OR LARGER D.I.P. WATER MAIN MUST BE SIZED AND DESIGNED BY THE P.E. ENGINEER.
6. DOUBLE 1" WATER SERVICES IS ALLOWED FOR SHORT SIDE OR LONG SIDE SERVICES AND WHERE SHOWN ON THE DRAWINGS.
7. A 1" IRRIGATION SERVICE MAY BE TAPPED INTO THE (1" MIN) DOMESTIC WATER SERVICE LINE (WHICH SERVES THE SAME CUSTOMER) UTILIZING A 1" BRONZE "Y" FITTING (IN AREAS WHERE NO RECLAIMED WATER IS AVAILABLE).
8. NO 2" AND SMALLER WATER SERVICE TAPS PERMITTED ON WATER MAINS WHICH ARE 20" AND LARGER SIZE.
9. RECLAIMED WATER METER BOXES OR SERVICES SHALL BE CONSTRUCTED SIMILAR TO THE ABOVE AND SHALL BE LOCATED AT A MIN. OF 10' FROM THE POTABLE WATER SERVICE, AND/OR BOX, AND NOT ALLOWED IN CONCRETE OR ASPHALT UNLESS APPROVED OTHERWISE BY JEA.
10. SERVICE SIZE SHALL BE SAME AS THE METER SIZE.

WATER OR RECLAIM SERVICE INSTALLATIONS 2" AND SMALLER METER

JANUARY 2022 — PLATE W-1

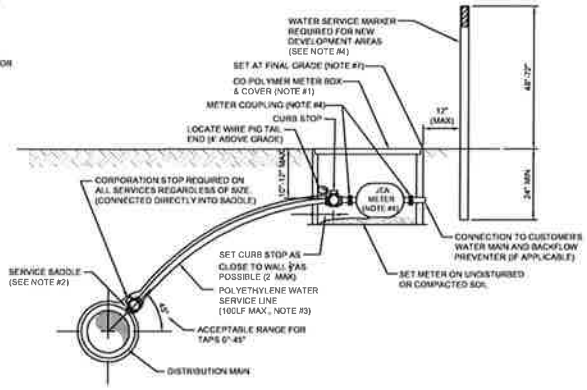


NOTES:

1. LOCATION OF SAMPLE POINT BIBB SHALL NOT BE WITHIN THE ROADWAY BUT ROUTED TO THE ROADWAY SHOULDERS (NON-TRAFFIC AREAS).
2. ALL PIPE & FITTING SHALL BE GALVANIZED MATERIAL OR PVC (S-40).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY PIPING & FITTING (AS NOTED) AFTER BACTERIOLOGICAL CLEARANCE IS RECEIVED.
4. THE CONTRACTOR SHALL COMPLY WITH ALL JEA RULES AND POLICES AS OUTLINED BY THE JEA'S ENVIRONMENTAL RESPONSE COORDINATOR (ERC) AND OTHER ASSOCIATED JEA STANDARDS.

2" TEMPORARY SAMPLE TAP FOR STUB OUT

JANUARY 2022 — PLATE W-26

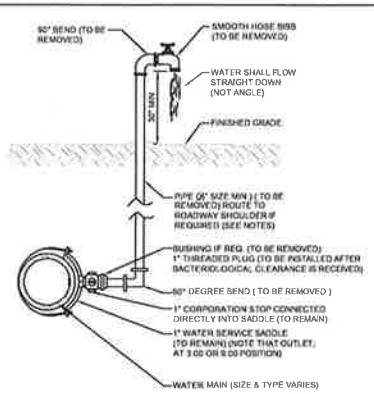


NOTES:

1. SEE PLATE W-1 FOR METER LOCATION REQUIREMENTS.
2. SINGLE BAND SADDLES SHALL BE UTILIZED ON NEW 1" WATER SERVICES WHICH ARE INSTALLED ON A DRY 10" SIZE OR SMALLER WATER MAIN (NEW WATER MAIN CONSTRUCTION). FOR WET TAPS OR WATER MAINS 12" SIZE AND LARGER, A DOUBLE BAND SADDLE IS REQUIRED. BRASS SADDLES MAY BE UTILIZED ON NEW 1 INCH AND SMALLER WATER SERVICES WHICH ARE INSTALLED ON A DRY 10 INCH OR SMALLER PVC WATER MAIN.
3. NO OPEN CUT UNDER ROADWAY PAVING ALLOWED UNLESS THE ROADWAY IS BEING RECONSTRUCTED OR IF DIRECTED OTHERWISE BY J.E.A. CONSTRUCT POLY LINE WITH 24" (MIN.) COVER UNDER ROADWAYS. THE POLY WATER SERVICE LINE SHALL BE SAME SIZE AS THE METER (1" MINIMUM) AND BE INSTALLED PERPENDICULAR TO THE MAIN AND NOT EXCEED 100LF UNLESS APPROVED OTHERWISE BY JEA.
4. INSTALL PVC PLUG IN ALL CURB STOPS IF WATER SERVICE IS "NOT IN USE" (I.E. IF NO METER IS INSTALLED). WATER SERVICES SERVING VACANT LOTS (SERVICE NOT IN USE), SHALL INCLUDE A "W" CUT INTO THE CURB (CLOSEST TO THE METER BOX), AND PAINTED BLUE (PAINTED PURPLE FOR RECLAIMED WATER). IN ADDITION, FOR NEW DEVELOPMENT AREAS WHERE THE WATER SERVICE IS "NOT IN USE", A LANDSCAPE TIMBER OR 3x3 MIN. P.T. POST (TOP PAINTED BLUE OR PURPLE FOR RECLAIMED WATER) THE REMOVAL OR TRANSFER OF A WATER SERVICE SHALL INCLUDE BRASS METER COUPLINGS (HEX ON BARREL TYPE).
5. NO 2" AND SMALLER WATER SERVICE TAPS PERMITTED ON WATER MAINS WHICH ARE 20" AND LARGER SIZE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF THE METER OR ELECTRONIC DEVICES IF DAMAGED BY THE CONTRACTOR DURING THE CONSTRUCTION PERIOD.
7. METER BOX AND TOP SHALL BE CLEAR OF ALL DEBRIS TO ALLOW FULL ACCESS TO BOX (i.e. NO DIRT, TRASH OR OTHER DEBRIS PLACED ON TOP OF BOX).
8. LOCATE WIRING REQUIRED ON ALL SERVICES 10' OR GREATER IN LENGTH. SEE PLATE W-4A.

WATER SERVICE DETAIL- 2" AND SMALLER METER

JANUARY 2022 — PLATE W-2

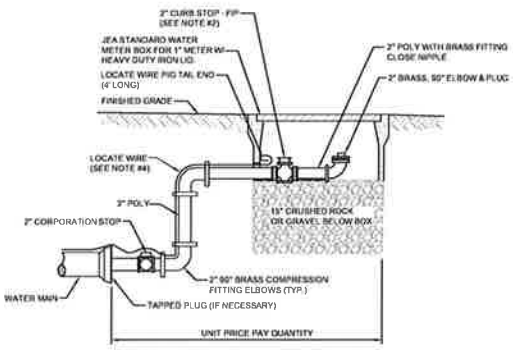


NOTES:

1. LOCATION OF SAMPLE POINT BIBB SHALL NOT BE WITHIN THE ROADWAY BUT ROUTED TO THE ROADWAY SHOULDERS (NON-TRAFFIC AREAS).
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY PIPING & FITTINGS (AS NOTED) AFTER BACTERIOLOGICAL CLEARANCE IS RECEIVED.
3. PIPE AND FITTINGS SHALL BE PVC (SCH. 40) OR GALV. MATERIAL.
4. THE USE OF THE ABOVE CONSTRUCTION FOR A TEMPORARY SAMPLE POINT SHALL BE LIMITED TO AREAS WHERE A SAMPLE TAP BY ALTERNATIVE METHODS (SEE W-24) IS NOT FEASIBLE OR IF DIRECTED OTHERWISE BY JEA.
5. THE CONTRACTOR SHALL COMPLY WITH ALL JEA RULES AND POLICIES AS AS OUTLINED BY JEA'S ENVIRONMENTAL RESPONSE COORDINATOR (ERC) AND OTHER ASSOCIATED JEA STANDARDS.

TEMPORARY SAMPLE TAP

JANUARY 2022 — PLATE W-25



NOTES:

1. PIPE SHALL BE POLYETHYLENE. FITTINGS SHALL BE BRASS.
2. THE 2" CURB STOP SHALL BE ALL BRONZE. FITTINGS SHALL BE BRASS.
3. ANY RECLAIMED WATER VALVE SHALL HAVE RECLAIMED EMBLEM.
4. LOCATE WIRE FOR 12' OR GREATER IN LENGTH.
5. CANNOT BE PLACED UNDER CONCRETE OR PAVEMENT.
6. PLACE 2 FEET PAST LAST WATER MAIN SERVICE CONNECTION.

FLUSHING VALVE BELOW GRADE

JANUARY 2022 — PLATE W-28

THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN

ETM — England-Thims & Miller, Inc.

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DESIGNED BY: NICOLE D. SCLATTE
DRAWN BY:
CHECKED BY:
DATE:
LICENSED PROFESSIONAL ENGINEER
STATE OF FLORIDA

JEA — Building Communities

JEA STANDARD
WATER AND RECLAIMED DETAILS
WILDLIGHT PDP #3 PARCEL 6

PROJ. NO. 18-238-03
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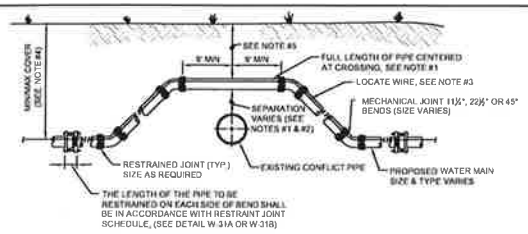


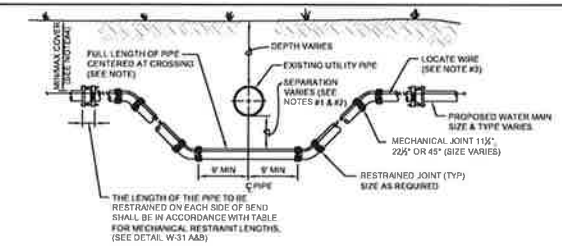
CASE "A" CROSSING

NOTES

1. THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D 1557
2. FOR MINIMUM VERTICAL SEPARATION REQUIREMENTS SEE DETAIL (W-10 AND W-11)
3. LOCATING WIRE REQUIRED SEE DETAIL W-44
4. THE COVER FOR PIPING LESS THAN 24" SIZE SHALL BE 30" (MIN) IN UNPAVED AREAS, 36" (MIN) IN PAVED AREAS AND A MAXIMUM COVER OF 60", UNLESS APPROVED BY JEA. THE COVER FOR PIPING 24" SIZE AND LARGER SHALL BE 36" (MIN) IN PAVED AND UNPAVED AREAS AND A MAXIMUM COVER OF 84", UNLESS APPROVED BY JEA.
5. IF UTILITY CONFLICT IS LOCATED IN A NON-TRAFFIC AREA (NO TRAFFIC LOADS) AND THE NEW PIPE IS D I P, THEN THE MINIMUM COVER MAY BE REDUCED TO 24 INCHES (ONLY IN THE AREA OF THE CONFLICT)

ADJUSTMENT OVER EXISTING UTILITIES MECHANICAL RESTRAINTS

JANUARY 2022 PLATE W-32



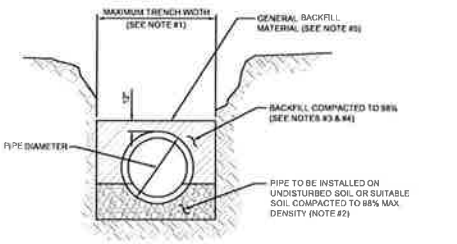
CASE "B" CROSSING

NOTES

1. THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D 1557
2. FOR MINIMUM VERTICAL SEPARATION REQUIREMENTS SEE DETAILS (W-10 AND W-11)
3. LOCATING WIRE REQUIRED. SEE DETAIL W-44
4. THE COVER FOR PIPING LESS THAN 24" SIZE SHALL BE 30" (MIN) IN UNPAVED AREA, 36" (MIN) IN PAVED AREAS AND A MAXIMUM COVER OF 60", UNLESS APPROVED BY JEA. THE COVER FOR PIPING 24" SIZE AND LARGER SHALL BE 36" (MIN) IN PAVED AND UNPAVED AREAS AND A MAXIMUM COVER OF 84", UNLESS APPROVED BY JEA.
5. IN LOCATIONS WHERE WATER/RECLAIM MAINS CROSS UNDER A BOX CULVERT, OR 36 INCH DIAMETER AND LARGER STORM WATER MAIN, JEA WILL REQUIRE DIP TO BE UTILIZED FOR THE MAIN

ADJUSTMENT UNDER EXISTING UTILITIES MECHANICAL RESTRAINTS

JANUARY 2022 PLATE W-34



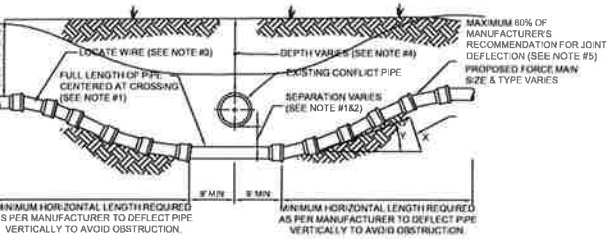
TYPICAL TRENCH

NOTES

1. TRENCH SIDES SHALL BE APPROXIMATELY VERTICAL BETWEEN AN ELEVATION OF 1 FOOT ABOVE THE TOP OF THE PIPE AND THE CENTER LINE OF THE PIPE; OTHERWISE, TRENCH SIDES SHALL BE AS VERTICAL AS POSSIBLE OR AS REQUIRED BY OSHA STANDARDS. REFER TO THE MEASUREMENT AND PAYMENT SECTION (SECTION #901, PARAGRAPH #4)) TO DETERMINE MAXIMUM PAYLINE WIDTHS
2. BELL HOLE SHALL BE DUG TO PERMIT THE ENTIRE STRAIGHT BARREL OF THE PIPE TO REST ON THE UNDISTURBED TRENCH BOTTOM. BOULDERS OR LOOSE ROCKS LARGER THAN 3/4 INCH IN SIZE WILL NOT BE PERMITTED IN BACKFILL UP TO 1 FOOT ABOVE THE TOP OF THE PIPE
3. BACK FILL MATERIAL UP TO A LEVEL OF 1 FOOT OVER THE PIPE SHALL CONSIST OF AASHTO CLASS A-3 SOIL (SUITABLE SOIL) AND SHALL EXCLUDE CLAY MATERIALS AND LOOSE ROCKS LARGER THAN 3/4 INCH SIZE
4. BACKFILL MATERIAL UP TO A LEVEL 1 FOOT OVER THE TOP OF PIPE OR BOTTOM OF STRUCTURES SHALL BE PLACED IN 8 INCH COMPACTED THICKNESS LAYERS AND SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D1557
5. SEE "EXCAVATION AND EARTHWORK", SECTION 408 FOR ADDITIONAL REQUIREMENTS INCLUDING REMOVAL AND REPLACEMENT OF UNSUITABLE SOILS, DEWATERING, COMPACTION REQUIREMENTS AND DENSITY TESTING OF COMPACTED SOILS

OPEN CUT TRENCH FOR PRESSURE PIPE

JANUARY 2022 IN CITY RIGHT OF WAY PLATE W-42



CASE "B" CROSSING

NOTES

1. IF EXISTING CONFLICT PIPE IS A WATER MAIN, 12 INCHES OF SEPARATION IS REQUIRED. A FULL LENGTH OF PIPE SHALL BE CENTERED OVER EXISTING UTILITY MAIN TO PROVIDE MAXIMUM JOINT SPACING FOR ALL CROSSING
2. FOR OTHER LOCATION LIMITATIONS SEE DETAIL (W-10 & W-11)
3. LOCATING WIRE REQUIRED. SEE DETAIL W-44
4. THE COVER OVER ALL PIPING LESS THAN 24" SIZE SHALL BE A MINIMUM OF 30" IN UNPAVED AREAS AND 36" IN PAVED AREAS WITH A MAXIMUM COVER OF 60" UNLESS APPROVED OTHERWISE BY JEA. COVER FOR PIPING 24" SIZE AND LARGER SHALL BE MINIMUM OF 36" (PAVED AND UNPAVED) AND MAXIMUM OF 84" UNLESS APPROVED OTHERWISE BY JEA. THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST ASTM D 1557.
5. JEA ONLY ALLOWS 80% OF THE PIPE MANUFACTURER'S RECOMMENDATION FOR JOINT DEFLECTION. BENDING THE PIPE BARREL IS NOT ALLOWED UNLESS OTHERWISE APPROVED BY JEA. THE MAXIMUM ARE LISTED IN TABLE BELOW. ONLY MANUAL FORCE CAN BE UTILIZED TO OBTAIN THESE JOINT DEFLECTION. ALL OFFSETS ARE BASED ON MINIMUM 20LF PIPE LENGTH

MAXIMUM ALLOWED OFFSET FOR PIPE BY JOINT DEFLECTION

PVC PIPE

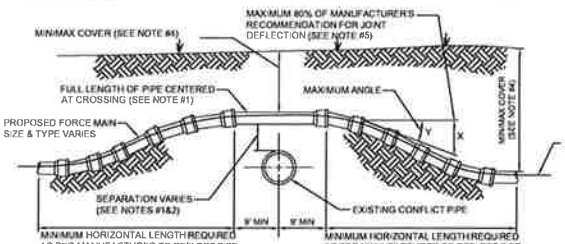
PIPE SIZE (IN.)	(X) MAX. OFFSET (IN.)	(Y) ANGLE AT ONE BELL	RESULTING RADIUS OF CURVE WITH 20FT. LENGTHS
2	30	7°	158 FT
4	10	2.4°	480 FT
6	10	2.4°	480 FT
8	10	2.4°	480 FT
10	10	2.4°	480 FT
12	8.5	2°	564 FT
14 - 24	5	1.2°	960 FT
30 - 48	3.25	0.8°	1477 FT

DUCTILE IRON PIPE (Mechanical Joint)

PIPE SIZE (IN.)	(X) MAX. OFFSET (IN.)	(Y) ANGLE AT ONE BELL	RESULTING RADIUS OF CURVE WITH 20FT. LENGTHS
-	-	-	-
4	27	6.5°	177 FT
6	24	5.7°	200 FT
8 - 12	17.5	4.2°	273 FT
14 - 16	12	2.9°	400 FT
18 - 20	10	2.4°	477 FT
24 - 30	8	1.9°	600 FT
36	7	1.7°	687 FT
42 - 48	6.7	1.6°	716 FT

ADJUSTMENT OVER EXISTING UTILITIES PIPE JOINT DEFLECTION

JANUARY 2022 PLATE W-40



CASE "A" CROSSING

NOTES

1. IF EXISTING CONFLICT PIPE IS A WATER MAIN, 12 INCHES OF SEPARATION IS REQUIRED. A FULL LENGTH OF PIPE SHALL BE CENTERED OVER EXISTING UTILITY MAIN TO PROVIDE MAXIMUM JOINT SPACING FOR ALL CROSSING
2. FOR OTHER LOCATION LIMITATIONS SEE DETAIL (W-10 & W-11).
3. LOCATING WIRE REQUIRED. SEE DETAIL W-44.
4. THE COVER OVER ALL PIPING LESS THAN 24" SIZE SHALL BE A MINIMUM OF 30" IN UNPAVED AREAS AND 36" IN PAVED AREAS WITH A MAXIMUM COVER OF 60" UNLESS APPROVED OTHERWISE BY JEA. COVER FOR PIPING 24" SIZE AND LARGER SHALL BE MINIMUM OF 36" (PAVED AND UNPAVED) AND MAXIMUM OF 84" UNLESS APPROVED OTHERWISE BY JEA. THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST ASTM D 1557.
5. JEA ONLY ALLOWS 80% OF THE PIPE MANUFACTURER'S RECOMMENDATION FOR JOINT DEFLECTION. BENDING THE PIPE BARREL IS NOT ALLOWED UNLESS OTHERWISE APPROVED BY JEA. THE MAXIMUM ARE LISTED IN TABLE BELOW. ONLY MANUAL FORCE CAN BE UTILIZED TO OBTAIN THESE JOINT DEFLECTION. ALL OFFSETS ARE BASED ON MINIMUM 20LF PIPE LENGTH

MAXIMUM ALLOWED OFFSET FOR PIPE BY JOINT DEFLECTION

PVC PIPE

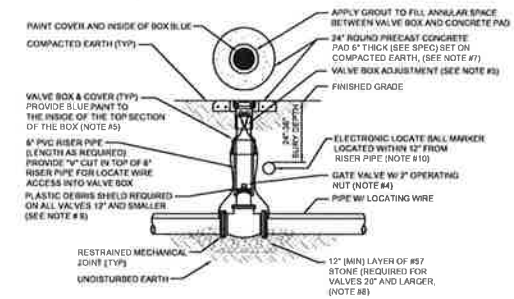
PIPE SIZE (IN.)	(X) MAX. OFFSET (IN.)	(Y) ANGLE AT ONE BELL	RESULTING RADIUS OF CURVE WITH 20FT. LENGTHS
2	30	7°	158 FT
4	10	2.4°	480 FT
6	10	2.4°	480 FT
8	10	2.4°	480 FT
10	10	2.4°	480 FT
12	8.5	2°	564 FT
14 - 24	5	1.2°	960 FT
30 - 48	3.25	0.8°	1477 FT

DUCTILE IRON PIPE (Mechanical Joint)

PIPE SIZE (IN.)	(X) MAX. OFFSET (IN.)	(Y) ANGLE AT ONE BELL	RESULTING RADIUS OF CURVE WITH 20FT. LENGTHS
-	-	-	-
4	27	6.5°	177 FT
6	24	5.7°	200 FT
8 - 12	17.5	4.2°	273 FT
14 - 16	12	2.9°	400 FT
18 - 20	10	2.4°	477 FT
24 - 30	8	1.9°	600 FT
36	7	1.7°	687 FT
42 - 48	6.7	1.6°	716 FT

ADJUSTMENT OVER EXISTING UTILITIES PIPE JOINT DEFLECTION

JANUARY 2022 PLATE W-41



NOTES

1. FOR UNPAVED LOCATIONS, A PRECAST CONCRETE VALVE PAD SHALL BE PROVIDED AND INSTALLED FLUSH WITH GRADE. CONCRETE PAD IS NOT REQUIRED FOR VALVE LOCATED IN THE ROADWAY, UNLESS SHOWN OR NOTED OTHERWISE.
2. LOCATING WIRE IS REQUIRED ON ALL PRESSURE PIPING (SEE DETAIL W-44)
3. A "V" CUT SHALL BE CARVED IN THE CURB CLOSEST/ADJACENT/(ASPHALT IF NO CURB) TO ALL BELOW GRADE VALVES. THE "V" CUT IS TO BE PAINTED BLUE WATER/PURPLE RECLAIMED
4. IN PAVED AREAS, INSTALL VALVE AT A DEPTH TO ALLOW A 12" MIN. DISTANCE BETWEEN THE VALVE COVER PLATE AND THE TOP OF THE VALVE OPERATING NUT. OUTSIDE OF PAVED AREAS (GRASS), INSTALL VALVE AT A DEPTH TO ALLOW A 6" MINIMUM DISTANCE BETWEEN THE VALVE COVER AND THE TOP OF THE VALVE OPERATING NUT. OPERATING NUT/STEM EXTENSION SHALL BE PROVIDED (WHERE APPLICABLE) SO THAT THE OPERATING NUT WILL BE NO MORE THAN 30 INCHES BELOW FINISHED GRADE
5. FOR NEW CONSTRUCTION, THE VALVE BOX SHALL BE ADJUSTED TO MIDRANGE TO ALLOW FOR FUTURE BOX ADJUSTMENTS. ROUTE LOCATE WIRES THRU A "V" CUT IN THE TOP OF THE 6" PVC RISER PIPE FOR LOCATE WIRE ACCESS INTO VALVE BOX. THE LOCATE WIRES WITH A 24" LONG PIG-TAIL AT THE TOP SHALL BE CONNECTED TOGETHER WITH A WIRE NUT.
6. BRASS IDENTIFICATION TAG INDICATING "WATER", VALVE SIZE, DIRECTION AND TURNS TO OPEN & VALVE TYPE. PROVIDE A 3/8" HOLE IN BRASS TAG AND ATTACH TAG (TWIST WIRE AROUND TAG) TO THE END OF THE LOCATE WIRE. TAGS ARE NOT REQUIRED ON VALVES INSTALLED ON FIRE HYDRANT BRANCH LINES
7. IN LIEU OF PRECAST CONCRETE PAD, A 8" THICK X 24" (ROUND OR SQUARE) POURED CONCRETE PAD W/2- #4 REBAR AROUND PERIMETER, MAY BE USED
8. GRAVEL SHALL BE PROVIDED UNDER ALL VALVES 20" AND LARGER. THE MINIMUM VERTICAL LIMIT OF GRAVEL IS 12" UNDER THE VALVE UP TO ½ THE OVERALL HEIGHT OF THE VALVE
9. FOR VALVES 12 INCH AND SMALLER, PROVIDE A WHITE OR BLACK PLASTIC DEBRIS SHIELD WHICH INSTALLS BELOW THE OPERATING NUT. THIS SHIELD SHALL CENTER THE RISER PIPE BOX OVER THE OPERATING NUT AND MINIMIZE INFILTRATION. SHIELD SHALL BE BY AFC, BOXLOK OR APPROVED EQUAL
10. ALL VALVES SHALL BE INSTALLED WITH AN ELECTRIC LOCATE MARKER. MARKER SHALL BE 4" DIA. COLOR CODED BALL MARKER (3M 1400AR FOR WATER AND 1400AR FOR RECLAIMED WATER)

WATER VALVE INSTALLATION DETAIL

JANUARY 2022 PLATE W-18

THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN

ETM

JEA Building Communities

JEA STANDARD
WATER AND RECLAIMED DETAILS

WILDLIGHT PDP #3 PARCEL 6

NO.	BY	DATE	REVISIONS
4			
3			
2			
1			

PROJ. NO. 19-239-04
DATE JANUARY 2022
SCALE AS NOTED
DRAWING NO. W-18

PVC PIPE RESTRAINT NOTES

1. THIS SCHEDULE SHALL BE UTILIZED ON ALL WATER, SEWER FORCE MAIN OR RECLAIMED WATER SYSTEMS. ALL FITTINGS SHALL BE RESTRAINED TO LENGTHS INDICATED ON THE ABOVE SCHEDULE, AT A MINIMUM.
2. ASSUMPTIONS: PVC PIPE, SAFETY FACTOR=1.5, TEST PRESSURE=150PSI, SOIL=GM OR SM, TRENCH TYPE 3, DEPTH OF COVER=30 INCHES FOR 20" AND SMALLER PIPE SIZE OR 36 INCHES FOR 24" AND LARGER PIPE SIZE
3. BENDS AND VALVES SHALL BE RESTRAINED ON EACH SIDE OF FITTING
4. VERTICAL OFFSETS: ARE APPROX. 3 FEET COVER ON TOP AND APPROX. 8 FEET COVER ON BOTTOM. PER THE DETAILS, L=U IS THE RESTRAINED LENGTH FOR THE UPPER (TOP) LEVEL. L=S THE RESTRAINED LENGTH FOR THE LOWER (DEEPER) LEVEL. ASSUME 45 DEGREE BENDS
5. TEES: TOTAL LENGTH BETWEEN FIRST JOINTS OR RESTRAINED LENGTH ON EITHER SIDE OF TEE (RUN) SHALL BE A TOTAL DISTANCE OF 30 FEET (MIN). SEE SCHEDULE ABOVE FOR RESTRAINT LENGTH ON TEE "BRANCH" LINE
6. HOPE TO PVC TRANSITIONS: THE PVC PIPE SIDE SHALL BE RESTRAINED 35 FT (MIN)
7. THE INSTALLATION OF BELL HARNESS RESTRAINTS AT PVC JOINTS (DR-18 & 25 PIPE) SHALL BE COMPLETED PER THE MANUFACTURERS RECOMMENDATION, WHICH INCLUDES NOT OVER TIGHTENING THE PARALLEL ROD/NUTS. THESE NUTS SHOULD ONLY BE SNUG TIGHT. THE HOME MARKS ON THE PIPE SHOULD ALWAYS BE VISIBLE AFTER THE RESTRAINT IS INSTALLED. OVERHOMING THE JOINT MAY CAUSE A FAILURE AT THE BELL RESULTING IN A SERVICE OUTAGE

LENGTH (L) TO BE RESTRAINED (SEE PLATE Nos. 30C & 30D FOR ADDITIONAL DETAILS)

NOMINAL PIPE SIZE (IN.)	HORIZONTAL BENDS 90° BENDS L (FT.)	45° BENDS L (FT.)	22.5° BENDS L (FT.)	11.25° BENDS L (FT.)	VERTICAL OFFSETS 45° BENDS (SEE NOTE 4) UPPER L (FT.)	LOWER L (FT.)	VALVES OR DEAD ENDS L (FT.)
4	21	9	5	3	17	3	47
6	30	13	6	3	23	4	65
8	38	16	8	4	30	6	86
10	45	19	9	5	36	7	103
12	53	22	11	5	43	8	121
14	61	26	13	6	50	9	140
16	68	29	14	7	55	10	154
18	73	33	15	8	60	11	170
20	79	33	16	8	66	12	186
24	79	33	16	8	77	15	185
30	93	39	19	10	97	17	222
36	106	39	21	11	107	20	257
42	117	49	24	12	120	24	289
48	144	53	26	13	133	26	321

REDUCERS SIZE (IN.)	L (FT.)
6x4	34
8x6	36
8x4	62
10x8	35
10x6	65
12x10	36
12x8	64
16x12	66
16x10	92
20x16	95
20x18	66
20x12	117
24x20	68
24x18	90
24x16	101
30x24	74
30x20	121
36x30	79
36x24	141
42x36	75
42x30	142
48x42	75
48x36	139

TEES SEE NOTES RUN SIZE (IN.)	BRANCH SIZE (IN.)	L (FT.)
4	4	F.O.
4	6 4 < LESS	10 F.O.
6	6 6 < LESS	29 F.O.
10	10 8 6 < LESS	49 13 F.O.
12	12 10 8 < LESS	62 32 F.O.
16	16 12 10 10 < LESS	91 39 5 F.O.
20	20 16 12 10 < LESS	123 76 14 F.O.
24	24 20 16 12 < LESS	124 84 36 F.O.
30	30 24 20 18 16 < LESS	169 104 60 5 F.O.
36	36 30 24 20 16 < LESS	192 142 63 32 F.O.
42	42 36 30 24 20 16 < LESS	223 179 124 59 5 F.O.
48	48 42 36 30 24 20 < LESS	253 209 162 104 34 F.O.

F.O. = FITTING ONLY

PVC PIPE RESTRAINT JOINT SCHEDULE

JANUARY 2022 PLATE W-31A

DUCTILE IRON PIPE RESTRAINT JOINT NOTES

1. THIS SCHEDULE SHALL BE UTILIZED ON ALL WATER, SEWER FORCE MAIN OR RECLAIMED WATER SYSTEMS. ALL FITTINGS SHALL BE RESTRAINED TO LENGTHS INDICATED ON THE ABOVE SCHEDULE, AT A MINIMUM.
2. ASSUMPTIONS: DUCTILE IRON PIPE (WITHOUT POLY WRAP), SAFETY FACTOR=1.5, TEST PRESSURE=150PSI, SOIL=GM OR SM, TRENCH TYPE 3, DEPTH OF COVER=30 INCHES FOR 20" AND SMALLER PIPE SIZE OR 36 INCHES FOR 24" AND LARGER PIPE SIZE. FOR D.I.P. W/POLY WRAP, USE RESTRAINT JOINT SCHEDULE FOR PVC PIPE
3. BENDS AND VALVES SHALL BE RESTRAINED ON EACH SIDE OF FITTING
4. VERTICAL OFFSETS: ARE APPROX. 3 FEET COVER ON TOP AND APPROX. 8 FEET COVER ON BOTTOM. PER THE DETAILS, L=U IS THE RESTRAINED LENGTH FOR THE UPPER (TOP) LEVEL. L=S THE RESTRAINED LENGTH FOR THE LOWER (DEEPER) LEVEL. ASSUME 45 DEGREE BENDS
5. TEES: TOTAL LENGTH BETWEEN FIRST JOINTS OR RESTRAINED LENGTH ON EITHER SIDE OF TEE (RUN) SHALL BE A TOTAL DISTANCE OF 30 FEET (MIN). SEE SCHEDULE ABOVE FOR RESTRAINT LENGTH ON TEE "BRANCH" LINE.
6. HOPE TO D.I.P. TRANSITIONS: THE D.I.P. PIPE SIDE SHALL BE RESTRAINED 35 FT (MIN)

LENGTH (L) TO BE RESTRAINED (SEE PLATE Nos. 30C & 30D FOR ADDITIONAL DETAILS)

NOMINAL PIPE SIZE (IN.)	HORIZONTAL BENDS 90° BENDS L (FT.)	45° BENDS L (FT.)	22.5° BENDS L (FT.)	11.25° BENDS L (FT.)	VERTICAL OFFSETS 45° BENDS (SEE NOTE 4) UPPER L (FT.)	LOWER L (FT.)	VALVES OR DEAD ENDS L (FT.)
4	17	7	4	2	11	3	30
6	24	15	5	3	15	4	42
8	31	13	6	3	20	5	55
10	36	15	8	4	23	6	65
12	42	18	9	5	27	7	77
14	48	20	10	5	31	7	87
16	53	22	11	6	35	8	97
18	58	24	12	6	39	9	107
20	63	27	13	6	42	10	118
24	63	27	13	7	49	12	118
30	75	31	15	8	59	14	141
36	86	35	17	9	68	17	163
42	95	40	19	10	76	19	183
48	117	43	21	11	84	21	203

REDUCERS SIZE (IN.)	L (FT.)
6x4	22
8x6	25
8x4	39
10x8	22
10x6	40
12x10	23
12x8	41
16x12	42
16x10	58
20x16	27
20x18	42
20x12	74
24x20	36
24x18	51
24x16	64
30x24	50
30x20	77
36x30	50
36x24	89
42x36	48
42x30	89
48x42	48
48x36	88

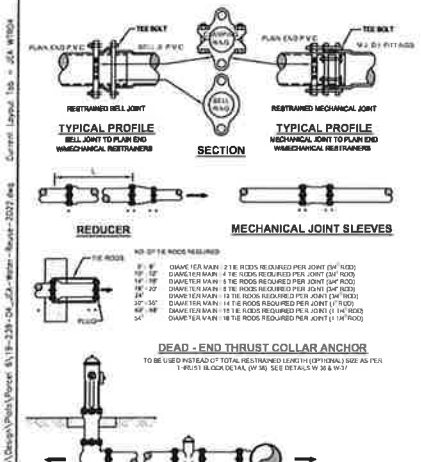
TEE SEE NOTES RUN SIZE (IN.)	BRANCH SIZE (IN.)	L (FT.)
4	4	F.O.
4	6 4 < LESS	6 F.O.
6	6 4 < LESS	18 F.O.
10	10 8 6 < LESS	29 9 F.O.
12	12 10 8 < LESS	40 21 F.O.
16	16 12 10 8 < LESS	60 25 3 F.O.
20	20 16 12 10 < LESS	79 48 9 F.O.
24	24 20 16 12 < LESS	79 54 23 F.O.
30	30 24 20 16 12 < LESS	101 68 38 4 F.O.
36	36 30 24 20 16 12 < LESS	127 90 53 21 1 F.O.
42	42 36 30 24 20 16 12 < LESS	141 113 78 38 3 1 F.O.
48	48 42 36 30 24 20 < LESS	160 133 103 69 22 F.O.

F.O. = FITTING ONLY

DUCTILE IRON PIPE RESTRAINT JOINT SCHEDULE

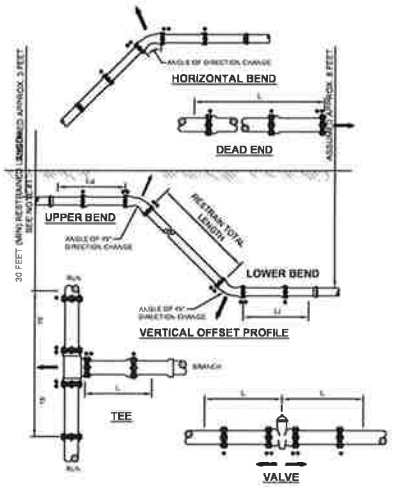
JANUARY 2022 PLATE W -31B

THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN



MECHANICAL RESTRAINT DETAILS - I

JANUARY 2022 PLATE W-31C

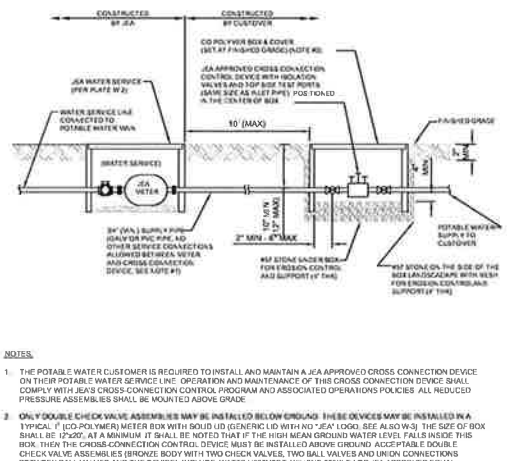


NOTES

1. TOTAL LENGTH BETWEEN FIRST JOINTS OR RESTRAINED LENGTH ON EITHER SIDE OF TEE (RUN) SHALL BE A TOTAL DISTANCE OF 30 FEET (MIN.).
2. PAY ITEM "" DENOTES A RESTRAINT WHICH IS PAID FOR ON A PER EACH BASIS.
3. PAY ITEM "" DENOTES A RESTRAINT WHICH IS INCLUDED IN THE UNIT PRICE BID FOR FITTING OR VALVE.

MECHANICAL RESTRAINT DETAILS - II

JANUARY 2022 PLATE W-31D

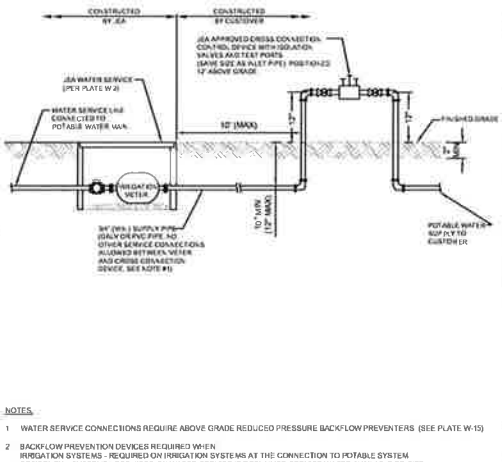


NOTES

1. THE POTABLE WATER CUSTOMER IS REQUIRED TO INSTALL AND MAINTAIN A JEA APPROVED CROSS CONNECTION DEVICE ON THEIR POTABLE WATER SERVICE LINE. OPERATION AND MAINTENANCE OF THIS CROSS CONNECTION DEVICE SHALL COMPLY WITH JEA'S CROSS-CONNECTION CONTROL PROGRAM AND ASSOCIATED OPERATIONS POLICIES. ALL REDUCED PRESSURE ASSEMBLIES SHALL BE MOUNTED ABOVE GRADE
2. ONLY DOUBLE CHECK VALVE ASSEMBLIES MAY BE INSTALLED BELOW GROUND. THESE DEVICES MAY BE INSTALLED IN A TYPICAL 1" (CO POLYMER) METER BOX WITH SOLID LID (GENERIC LID WITH NO "JEA" LOGO, SEE ALSO W-3). THE SIZE OF BOX SHALL BE 12"x20", AT A MINIMUM. IT SHALL BE NOTED THAT IF THE HIGH MEAN GROUND WATER LEVEL FALLS INSIDE THIS BOX, THEN THE CROSS-CONNECTION CONTROL DEVICE MUST BE INSTALLED ABOVE GROUND. ACCEPTABLE DOUBLE CHECK VALVE ASSEMBLIES (BRONZE BODY WITH TWO CHECK VALVES, TWO BALL VALVES AND UNION CONNECTIONS BETWEEN BALL VALVES AND THE DEVICE) INCLUDE: WATTS U609M2QT, WILKINS 950XLTU OR JEA APPROVED EQUAL
3. BACKFLOW PREVENTION DEVICES REQUIRED WHEN:
   IRRIGATION SYSTEMS - REQUIRED ON IRRIGATION SYSTEMS AT THE CONNECTION TO POTABLE SYSTEM
   RESIDENTIAL SYSTEMS - REQUIRED ON WATER SERVICE IF RECLAIMED SERVICE WATER AVAILABLE TO SITE
   COMMERCIAL SITES - REQUIRED ON ALL WATER SERVICES
   INDUSTRIAL SITES - REQUIRED ON BOTH WATER AND RECLAIMED SERVICE ON. WATER SERVICE EVEN IF NO RECLAIMED
4. JEA IRRIGATION SERVICE CONNECTIONS REQUIRE ABOVE GRADE REDUCED PRESSURE BACKFLOW PREVENTERS (SEE PLATE W-15A)

RECLAIM CROSS CONNECTION CONTROL DEVICE

JANUARY 2022 PLATE W-15



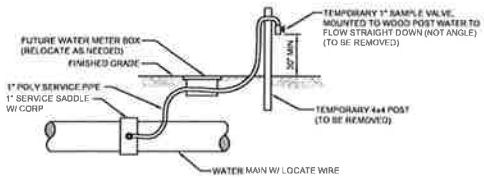
NOTES

1. WATER SERVICE CONNECTIONS REQUIRE ABOVE GRADE REDUCED PRESSURE BACKFLOW PREVENTERS (SEE PLATE W-15)
2. BACKFLOW PREVENTION DEVICES REQUIRED WHEN:
   IRRIGATION SYSTEMS - REQUIRED ON IRRIGATION SYSTEMS AT THE CONNECTION TO POTABLE SYSTEM
   RESIDENTIAL SYSTEMS - REQUIRED ON WATER SERVICE IF RECLAIMED SERVICE WATER AVAILABLE TO SITE
   COMMERCIAL SITES - REQUIRED ON ALL WATER SERVICES
   INDUSTRIAL SITES - REQUIRED ON BOTH WATER AND RECLAIMED SERVICE CONNECTIONS
3. RESIDENTIAL IRRIGATION SERVICES MAY UTILIZE AN ALTERNATE BACKFLOW PREVENTER LOCATION IF THE FOLLOWING CONDITIONS EXIST:
   3.a. CUSTOMER HAS SUBMITTED A COMPLETED "CUSTOMER AFFIDAVIT" FORM AND
   3.b. THERE ARE NO ADDITIONAL CONNECTIONS BETWEEN THE METER AND THE BACKFLOW PREVENTER, AND
   3.c. THE ALTERNATE BACKFLOW LOCATION IS EASILY ACCESSIBLE TO JEA AND BACKFLOW TESTERS

CROSS CONNECTION CONTROL DEVICE

JANUARY 2022 JEA IRRIGATION SERVICE CONNECTIONS PLATE W-15A

ETM Engineering, Planning & Management, Inc.
12700 Park Central Drive, Suite 1800, Dallas, Texas 75251
TBPE: F-2165 TBPLS: 10194400
Houston • Dallas • Austin • Corpus Christi • Brownsville • Harlingen • Laredo • Edinburg • McAllen



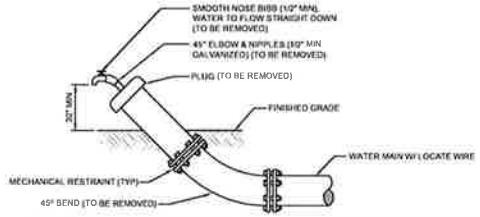
TEMPORARY SAMPLE TAP UTILIZING A NEW 1" WATER SERVICE

NOTES:

1. LOCATION OF SAMPLE POINT BIBB SHALL NOT BE WITHIN THE ROADWAY BUT ROUTED TO THE ROAD SHOULDERS
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY PIPING & FITTINGS (AS NOTED) AFTER BACTERIOLOGICAL CLEARANCE IS RECEIVED
3. THE CONTRACTOR SHALL UTILIZE THE ABOVE ALTERNATIVE METHODS FOR CONSTRUCTION OF TEMPORARY SAMPLE POINTS IN ALL AREAS, WHERE POSSIBLE
4. THE CONTRACTOR SHALL COMPLY WITH ALL JEA RULES AND POLICIES AS OUTLINED BY THE JEA'S ENVIRONMENTAL RESPONSE COORDINATOR (ERC) AND OTHER ASSOCIATED JEA STANDARDS

TEMPORARY SAMPLE TAP ALTERNATIVE METHOD A

JANUARY 2022 PLATE W-24



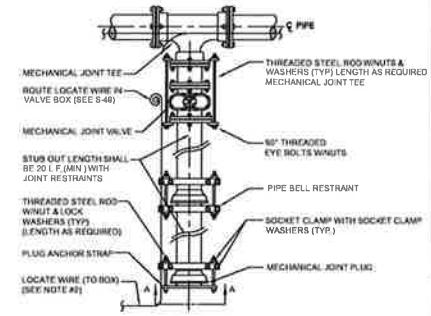
TEMPORARY SAMPLE TAP UTILIZING PLUG AT FLUSHING LOCATION

NOTES:

1. LOCATION OF SAMPLE POINT BIBB SHALL NOT BE WITHIN THE ROADWAY BUT ROUTED TO THE ROAD SHOULDERS
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY PIPING & FITTINGS (AS NOTED) AFTER BACTERIOLOGICAL CLEARANCE IS RECEIVED
3. THE CONTRACTOR SHALL UTILIZE THE ABOVE ALTERNATIVE METHODS FOR CONSTRUCTION OF TEMPORARY SAMPLE POINTS IN ALL AREAS, WHERE POSSIBLE
4. THE CONTRACTOR SHALL COMPLY WITH ALL JEA RULES AND POLICIES AS OUTLINED BY THE JEA'S ENVIRONMENTAL RESPONSE COORDINATOR (ERC) AND OTHER ASSOCIATED JEA STANDARDS

TEMPORARY SAMPLE TAP ALTERNATIVE METHOD B

JANUARY 2022 PLATE W-24A



PLAN

SECTION "A-A"

NOTES:

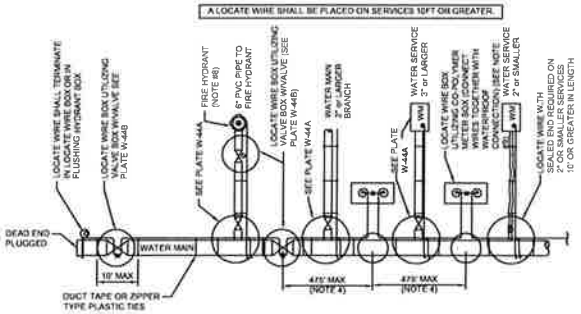
1. IN LIEU OF BELLARDO RESTRAINTS, MECHANICAL JOINT RESTRAINTS MAY BE USED
2. LOCATING WIRE REQUIRED, UTILIZING A LOCATE WIRE BOX INSTALLED AT PLUG LOCATION
3. NUMBER OF TIE RODS REQUIRED IS AS FOLLOWS:

3" - 8"	DIAMETER MAIN - 2 TIE RODS REQUIRED PER JOINT (3/4" ROD)
10" - 12"	DIAMETER MAIN - 4 TIE RODS REQUIRED PER JOINT (3/4" ROD)
14" - 16"	DIAMETER MAIN - 6 TIE RODS REQUIRED PER JOINT (3/4" ROD)
18" - 20"	DIAMETER MAIN - 8 TIE RODS REQUIRED PER JOINT (3/4" ROD)
24"	DIAMETER MAIN - 12 TIE RODS REQUIRED PER JOINT (3/4" ROD)
30" - 36"	DIAMETER MAIN - 14 TIE RODS REQUIRED PER JOINT (1" ROD)
42" - 48"	DIAMETER MAIN - 18 TIE RODS REQUIRED PER JOINT (1 1/4" ROD)
54"	DIAMETER MAIN - 18 TIE RODS REQUIRED PER JOINT (1 1/4" ROD)

4. THE LOCATION OF THE DEAD END PLUG SHALL NOT BE UNDER PAVEMENT, IF POSSIBLE. THE STUB OUT SHALL EXTEND BEYOND THE INTERSECTION AREAS OR ROAD CROSSING BY 10 FEET (MIN.) WHERE POSSIBLE

PLUGGED DEAD END USING MECHANICAL RESTRAINTS

JANUARY 2022 PLATE W-37



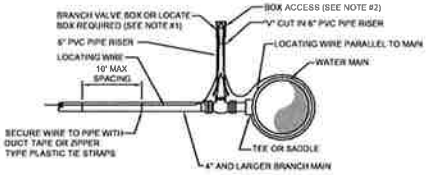
LOCATE WIRE SYSTEM

NOTES:

1. LOCATING WIRE TO BE INSTALLED IN EITHER THE ONE OR ELEVEN O'CLOCK POSITION ON ALL DUCTILE IRON OR PVC (PRESSURE MAINS). LOCATE WIRE SHALL ALSO BE INSTALLED ON ALL (HDPE) POLY MAIN PIPING (1:00 OR 11:00 POSITION, IF POSSIBLE)
2. SECURE LOCATING WIRE TO PVC & D.I.P. WATER MAIN BY USE OF DUCT TAPE OR ZIPPER TYPE PLASTIC TIE STRAPS SPACED AT A MAXIMUM DISTANCE OF TEN (10) AND AT EACH SIDE OF BELL JOINT OR FITTING
3. THE ENTIRE LOCATING SYSTEM SHALL BE SUBJECTED TO TESTING TO DETERMINE ITS RELIABILITY. WHERE INSTALLED UNDER PAVEMENT AREAS, TESTING SHALL BE DONE PRIOR TO THE PLACEMENT OF PAVEMENT, UNLESS APPROVED OTHERWISE BY JEA.
4. LOCATING WIRE SHALL TERMINATE WITHIN AN ACTIVE VALVE BOX (WITH A VALVE) OR A METER BOX (IF NO VALVE) AT 475' INTERVALS. SEE DETAIL PLATE W-44B. WIRE CONNECTIONS BELOW GROUND (OUTSIDE OF A BOX) SHALL BE AVOIDED
5. REFER TO SECTION 350 FOR LOCATE WIRE SPECIFICATIONS
6. "⋈" INDICATES THAT THE WIRES ARE CONNECTED TOGETHER WITH A WATERPROOF CONNECTION (SEE DETAIL W-44B)
7. "◎" INDICATES A WIRE PIGTAIL (4' LONG)
8. FOR FIRE HYDRANT LOCATE WIRE REQUIREMENTS AND EXCLUSIONS, SEE PLATES W-12.13 AND 14
9. AN "LW" CUT SHALL BE CARVED IN THE CONCRETE CURB AND PAINTED AT ALL LOCATE WIRE BOXES
10. FOUR LANES OF TRAFFIC (HAVING TWO LANES OF TRAFFIC IN EACH DIRECTION) OR GREATER THE LOCATE WIRE AND VALVE BOX SHALL BE OFF-SET TO THE RIGHT-OF-WAY

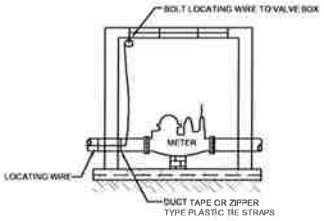
LOCATE WIRE CONSTRUCTION FOR WATER MAINS

JANUARY 2022 PLATE W-44



BRANCH FORCE MAIN

(2" AND LARGER WATER MAIN OR 3" AND LARGER WATER SERVICE PIPE)



CONNECTION AT LARGE METER BOX

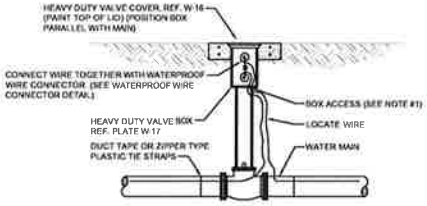
(3" OR LARGER SERVICE)

NOTES:

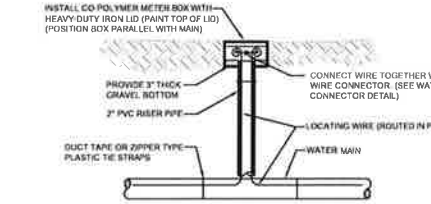
1. NOTE THAT THE BRANCH WIRE IS NOT CONNECTED TO THE MAIN WIRE
2. LOCATE WIRE SHALL ENTER THE VALVE BOX THROUGH A "V" CUT IN THE 6" PVC RISER PIPE SECTION (SEE W-16)
3. LOCATE WIRE SHALL HAVE ENOUGH SLACK TO REACH 4' ABOVE FINAL GRADE AND LOCATE POINTS

LOCATE WIRE FOR BRANCH MAIN

JANUARY 2022 PLATE W-44A



LOCATE WIRE BOX UTILIZING VALVE BOX



LOCATE WIRE BOX UTILIZING METER BOX

LOCATE WIRE BOX

JANUARY 2022 PLATE W-44B

THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN

England-Thims & Miller, Inc.
14775 Old St. Augustine Road
Jacksonville, Florida 32258
(904) 642-8550
FAX: (904) 646-9485
CERTIFICATE OF AUTHORIZATION NO. 00000970

ETM

NO.	BY	DATE	REVISIONS
1			
2			
3			
4			
5			

DESIGNED BY: NICOLE D. BOLATTE
DRAWN BY: NICOLE D. BOLATTE
CHECKED BY: NICOLE D. BOLATTE
DATE: 1-4-22
FIELD BOOK NO.:
PAGE NO.:

JEA Building Community

JEA STANDARD
WATER AND RECLAIMED DETAILS

WILDLIGHT PDP #3 PARCEL 6

PROJ. NO. 19-239-04
DATE JANUARY 2022
SCALE AS NOTED
NO. SHEETS
SHEET NO.
DRAWING NO. 152

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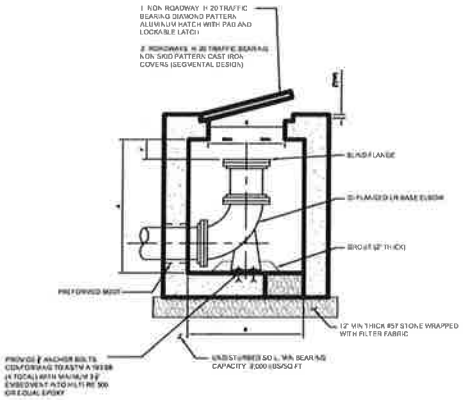
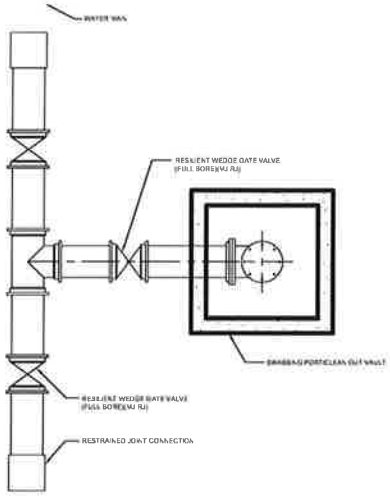


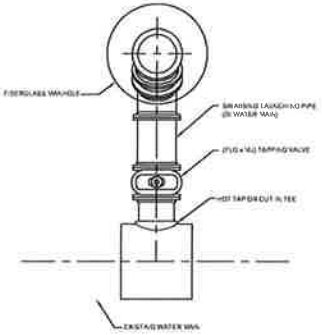
SWABBING PORT AND CLEAN OUT VAULT DETAIL - SECTION

JANUARY 2022 PLATE W-45



SWABBING LAUNCHING STATION DETAIL FOR NEW WATER MAIN UP TO 24"

JANUARY 2022 PLATE W-45B

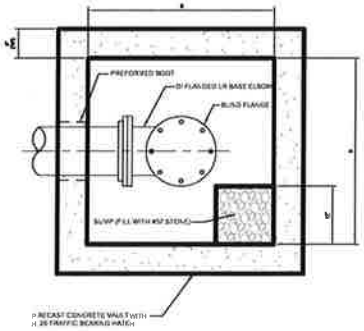


NOTES:

1. FOR HOT TAP CONNECTIONS ON EXISTING WATER MAINS 10" DIAMETER AND GREATER, DIAMETER OF TAPPING VALVE AND PIG LAUNCHING PIPE SHALL BE ONE NOMINAL SIZE LESS THAN EXISTING WATER MAIN.

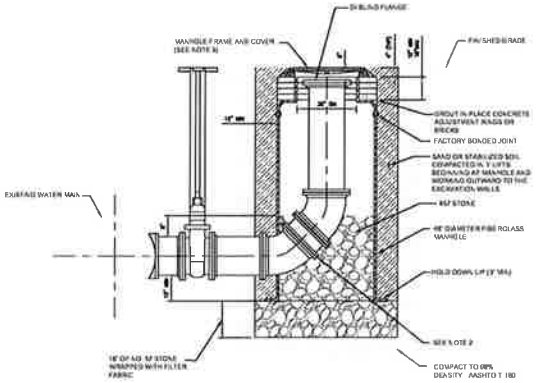
SWABBING PIG LAUNCHING STATION DETAIL FOR WATER MAINS UP TO 24" - PLAN

JANUARY 2022 PLATE W-45C



SWABBING PORT AND CLEAN OUT VAULT DETAIL - - PLAN

JANUARY 2022 PLATE W-45A



NOTES

1. PROVIDE ALL MATERIALS IN ACCORDANCE TO JEA WATER AND WASTEWATER STANDARD SPECIFICATIONS
2. USE TWO VERTICAL 45 DEGREE MJ BENDS OR LONG RADIUS 90 DEGREE MJ BEND
3. PROVIDE STANDARD JEA FRAME AND COVER
4. RESTRAIN ALL JOINTS

RETROFIT SWABBING LAUNCHING STATION DETAIL FOR WATER MAINS UP TO 24" - SECTION

JANUARY 2022 PLATE W-45D

THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN

ETM England-Thing & Miller, Inc.

NO.	BY	DATE	REVISIONS
1			
2			
3			
4			
5			

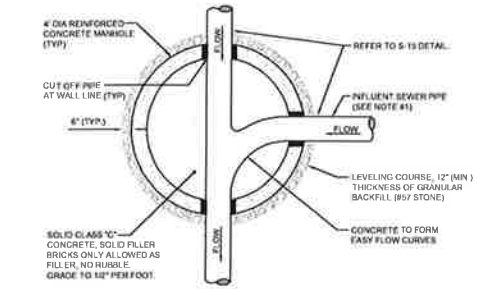
SEALED BY: NICOLE D. BOLATETTE

JEA Building Community

JEA STANDARD
WATER AND RECLAIMED DETAILS

WILDLIGHT PDP #3 PARCEL 6

NO. SHEETS	PROJ. NO. 19-239-01
SHEET NO. 8	DATE JANUARY 2022
DRAWING NO. 107	SCALE AS NOTED

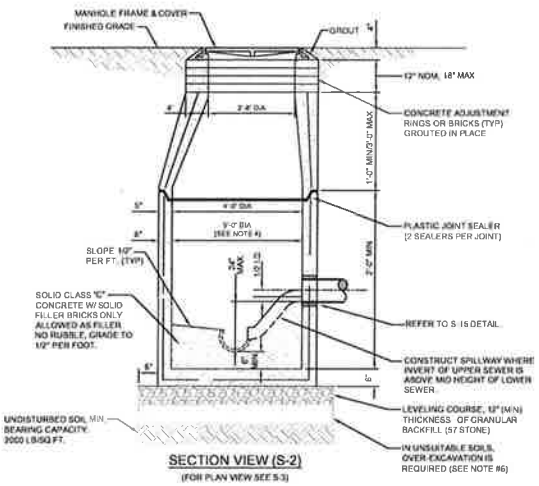


NOTES:

1. THE ANGLE BETWEEN ALL INFLUENT FLOW CHANNELS AND EFFLUENT PIPE SHALL BE BETWEEN 90° - 180° UNLESS OTHERWISE APPROVED BY JEA

PLAN VIEW (S-3)

(FOR SECTION VIEW SEE S-2)



SECTION VIEW (S-2)

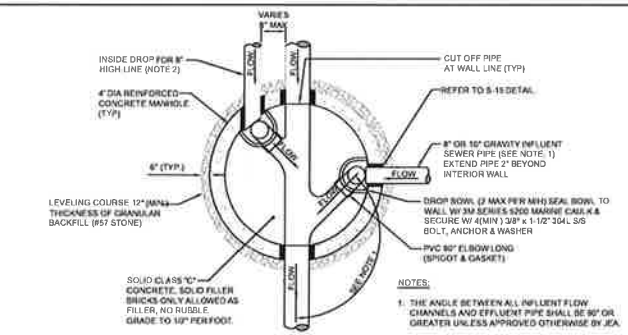
(FOR PLAN VIEW SEE S-3)

NOTES:

1. PRECAST MANHOLE SECTIONS TO BE MANUFACTURED IN ACCORDANCE WITH THE LATEST EDITIONS OF A.S.T.M. C-478 WITH 4000 LB. CONC., TYPE II CEMENT. ALL LIFTING HOLES AND OUTSIDE INSERTS SHALL BE FILLED WITH NON SHRINK GROUT AND COATED WITH BITUMINOUS WATERPROOFING MATERIAL.
2. THE INTERIOR AND EXTERIOR OF MANHOLE AND ADJUSTING RINGS SHALL BE GIVEN TWO COATS OF BITUMINOUS WATERPROOFING MATERIAL.
3. IF SPECIALTY LINER IS TO BE INSTALLED ON INSIDE SURFACE OF MANHOLE, THE BITUMINOUS WATERPROOFING MATERIAL SHALL BE OMITTED ON THE INSIDE.
4. JUNCTION MANHOLE (CLOSEST TO WETWELL) SHALL BE 5' DIA WITH SPECIALTY LINER.
5. ALL MANHOLE JOINTS BELOW THE TOP COVER SECTION SHALL INCLUDE A 6" WIDE (MIN) EXTERIOR JOINT TAPE (WITH PRIMER) TAPE ON THE CONE SECTION IS OPTIONAL. SEE PLATE S-17.
6. IN SILTS, CLAY OR HIGHLY ORGANIC SOILS (FINE-GRAINED SOILS INCLUDING SOIL GROUPS ML, CL, OL, MH, CH, OH AND PT) THE SOILS SHALL BE OVER EXCAVATED AN ADDITIONAL 24" (AT A MIN.) AND BACKFILLED WITH AASHTO CLASS A-3 SOIL (COMPACTED TO 98%, ASTM D1557) OR OVER EXCAVATE AN ADDITIONAL 12" (AT A MIN.) AND BACKFILL WITH GRANULAR BACKFILL (57 STONE).

SANITARY SEWER TYPE "A" MANHOLE 8"-21" SEWERS

JANUARY 2022 — PLATES S-2, S-3

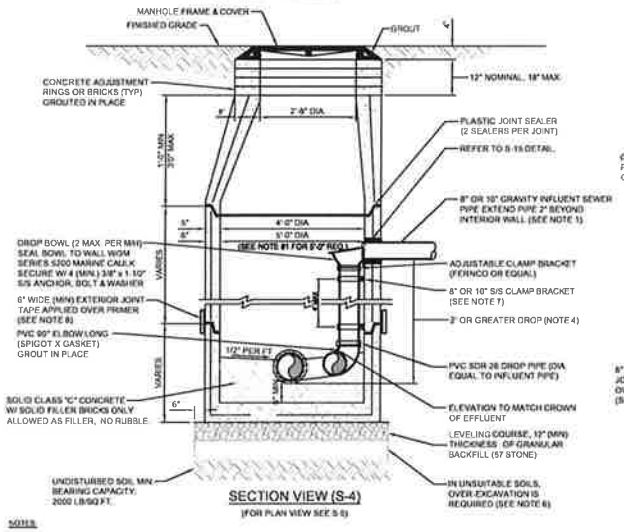


NOTES:

1. THE ANGLE BETWEEN ALL INFLUENT FLOW CHANNELS AND EFFLUENT PIPE SHALL BE 90° OR GREATER UNLESS APPROVED OTHERWISE BY JEA
2. THE 6" HIGH LINE, WHERE UTILIZED, SHALL ENTER THE MANHOLE ON CENTER OR OFF CENTER AS SHOWN ABOVE.

PLAN VIEW (S-5)

(FOR SECTION VIEW SEE S-4)



SECTION VIEW (S-4)

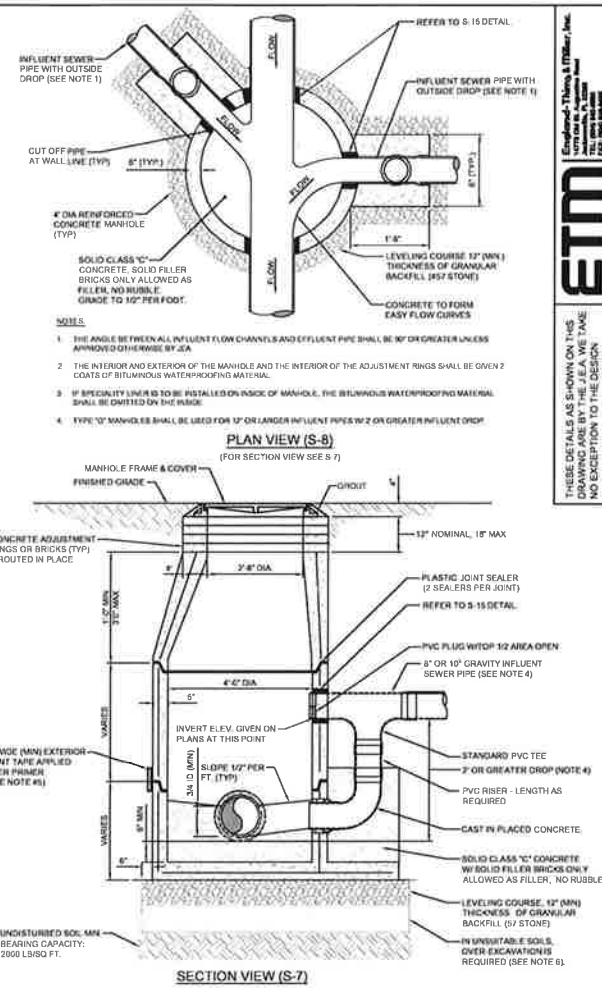
(FOR PLAN VIEW SEE S-5)

NOTES:

1. THIS ASSEMBLY IS FOR 8" OR 10" GRAVITY INFLUENT LINES ONLY. NO DROPS ALLOWED FOR FORCE MAINS. MAXIMUM OF 2 INSIDE DROP BOWLS PER MANHOLE. A 5'-0" DIA. MANHOLE (6" THICK WALLS) IS REQUIRED IF TWO INSIDE DROPS ARE CONSTRUCTED WITH ONE OR BOTH BEING 10" SIZE. DROP BOWL BY KELNER OR APPROVED EQUAL REQUIRED. THE INSIDE DROP FOR AN 8" HIGH LINE SHALL BE CONSTRUCTED SIMILAR TO ABOVE (SEE PLATE S-5)
2. PRECAST MANHOLE SECTIONS TO BE MANUFACTURED IN ACCORDANCE WITH THE LATEST EDITIONS OF A.S.T.M. C-478 WITH 4000 LB CONC., TYPE II CEMENT. ALL LIFTING HOLES AND OUTSIDE INSERTS SHALL BE FILLED WITH NON SHRINK GROUT AND COATED WITH BITUMINOUS WATERPROOFING MATERIAL
3. THE INTERIOR AND EXTERIOR OF MANHOLE AND THE INTERIOR OF ADJUSTMENT RINGS SHALL BE GIVEN TWO COATS OF BITUMINOUS WATERPROOFING MATERIAL
4. TYPE "B" MANHOLE MUST BE USED FOR 2' OR GREATER INFLUENT PIPE DROPS
5. THE DROP BOWL ASSEMBLY SHALL BE INSTALLED PRIOR TO APPLICATION OF SPECIALTY LINING MATERIAL
6. A TYPE "D" MANHOLE SHALL BE UTILIZED WHEN THREE OR MORE (2' OR GREATER) DROPS ARE INVOLVED OR WHEN INFLUENT PIPES AREA LARGER THAN 10" IN SIZE
7. ADJUSTABLE CLAMPING BRACKET (MIN. 2 PER DROP BOWL ASSY) 1-1/2" WIDE, 11 GA. W/ 3/8" DIA. 18-8 PINCH BOLTS AND NUTS. SECURE TO MH WALL WITH (2) 3/8" X 1" BOLT, ANCHOR & WASHER PER BRACKET ASSY. ALL 304 OR 316 STAINLESS STEEL MATERIALS
8. ALL MH JOINTS BELOW THE TOP CONE SECTION SHALL INCLUDE A 6" WIDE (MIN) EXTERIOR JOINT TAPE (W/PRIMER). TAPE ON THE CONE SECTION IS OPTIONAL
9. IN SILTS, CLAY OR HIGHLY ORGANIC SOILS (FINE GRAINED SOILS INCLUDING SOIL GROUPS ML, CL, OL, MH, CH, OH AND PT) THE SOILS SHALL BE OVER EXCAVATED AN ADDITIONAL 24" (AT A MIN.) AND BACKFILLED WITH AASHTO CLASS A-3 SOIL (COMPACTED TO 98%, ASTM D1557) OR OVER EXCAVATE AN ADDITIONAL 12" (AT A MIN.) AND BACKFILL WITH GRANULAR BACKFILL (57 STONE)

SANITARY SEWER TYPE "B" MANHOLE 8"-10" SEWERS

JANUARY 2022 — PLATES S-4, S-5



NOTES:

1. THE ANGLE BETWEEN ALL INFLUENT FLOW CHANNELS AND EFFLUENT PIPE SHALL BE 90° OR GREATER UNLESS APPROVED OTHERWISE BY JEA
2. THE INTERIOR AND EXTERIOR OF THE MANHOLE AND THE INTERIOR OF THE ADJUSTMENT RINGS SHALL BE GIVEN 2 COATS OF BITUMINOUS WATERPROOFING MATERIAL
3. IF SPECIALTY LINER IS TO BE INSTALLED ON INSIDE OF MANHOLE, THE BITUMINOUS WATERPROOFING MATERIAL SHALL BE OMITTED ON THE INSIDE
4. TYPE "D" MANHOLES SHALL BE USED FOR 12" OR LARGER INFLUENT PIPES W/ 2' OR GREATER INFLUENT DROP

PLAN VIEW (S-8)

(FOR SECTION VIEW SEE S-7)

SECTION VIEW (S-7)

(FOR PLAN VIEW SEE S-8)

NOTES:

1. PRECAST MANHOLE SECTIONS TO BE MANUFACTURED IN ACCORDANCE WITH THE LATEST EDITIONS OF A.S.T.M. C-478 WITH 4000 LB CONC., TYPE II CEMENT. ALL LIFTING HOLES AND OUTSIDE INSERTS SHALL BE FILLED WITH NON SHRINK GROUT AND COATED WITH BITUMINOUS WATERPROOFING MATERIAL
2. THE INTERIOR AND EXTERIOR OF MANHOLE AND THE INTERIOR OF THE ADJUSTMENT RINGS SHALL BE GIVEN TWO COATS OF BITUMINOUS WATERPROOFING MATERIAL
3. IF SPECIALTY LINER IS TO BE INSTALLED ON INSIDE SURFACE OF MANHOLE, THE BITUMINOUS WATERPROOFING SHALL BE OMITTED ON INSIDE
4. TYPE "D" MANHOLE SHALL BE USED FOR 12" OR LARGER INFLUENT PIPES W/ 2' OR GREATER INFLUENT DROP
5. ALL MH JOINTS BELOW THE TOP CONE SECTION SHALL INCLUDE A 6" WIDE (MIN) EXTERIOR JOINT TAPE (W/PRIMER) TAPE ON THE CONE SECTION IS OPTIONAL
6. IN SILTS, CLAY OR HIGHLY ORGANIC SOILS (FINE GRAINED SOILS INCLUDING SOIL GROUPS ML, CL, OL, MH, CH, OH AND PT) THE SOILS SHALL BE OVER EXCAVATED AN ADDITIONAL 24" (AT A MIN.) AND BACKFILLED WITH AASHTO CLASS A-3 SOIL (COMPACTED TO 98%, ASTM D1557) OR OVER EXCAVATE AN ADDITIONAL 12" (AT A MIN.) AND BACKFILL WITH GRANULAR BACKFILL (57 STONE)

SANITARY SEWER TYPE "D" MANHOLE 12"-21" SEWERS

JANUARY 2022 — PLATES S-7, S-8

THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN

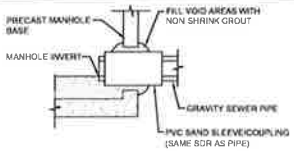
NICOLE D. BOLATTE

JEA Building Community

JEA STANDARD SANITARY SEWER DETAILS

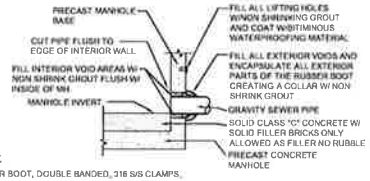
WILDLIGHT PDP #3 PARCEL 6

PROJ. NO. 18-238-04 | DATE JANUARY 2022 | SCALE AS NOTED | DRAWING NO. S-1



PVC SAND SLEEVE

(FOR EXISTING AND NEW M/H CONSTRUCTION)

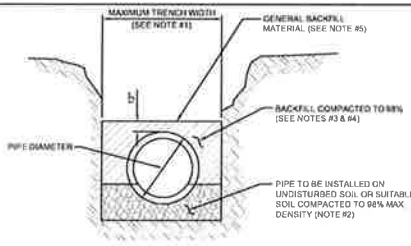


NOTES:

RUBBER BOOT, DOUBLE BANDED, 316 S/S CLAMPS, MEETING THE ASTM C923 STANDARD. Kor-N-Seal® I FX SERIES CONNECTOR WITH DOUBLE STAINLESS STEEL BANDS OR EQUAL

RUBBER BOOT

(FOR NEW M/H CONSTRUCTION ONLY, MAXIMUM DEPTH 15FT)



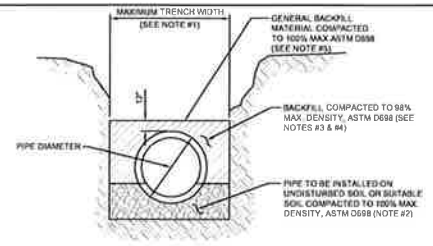
TYPICAL TRENCH

NOTES:

1. TRENCH SIDES SHALL BE APPROXIMATELY VERTICAL BETWEEN AN ELEVATION OF 1 FOOT ABOVE THE TOP OF THE PIPE AND THE CENTER LINE OF THE PIPE, OTHERWISE, TRENCH SIDES SHALL BE AS VERTICAL AS POSSIBLE OR AS REQUIRED BY OSHA STANDARDS. REFER TO THE MEASUREMENT AND PAYMENT SECTION (SECTION 660, PARAGRAPH 4(c)) TO DETERMINE MAXIMUM PAYLINE WIDTHS
2. BELL HOLE SHALL BE DUG TO PERMIT THE ENTIRE STRAIGHT BARREL OF THE PIPE TO REST ON THE UNDISTURBED TRENCH BOTTOM. BOULDERS OR LOOSE ROCKS LARGER THAN 3/4 INCH IN SIZE WILL NOT BE PERMITTED IN BACKFILL UP TO 1 FOOT ABOVE THE TOP OF THE PIPE.
3. BACK FILL MATERIAL UP TO A LEVEL OF 1 FOOT OVER THE PIPE SHALL CONSIST OF AASHTO CLASS A-3 SOIL (SUITABLE SOIL) AND SHALL EXCLUDE CLAY MATERIALS AND LOOSE ROCKS LARGER THAN 3/4 INCH SIZE.
4. BACKFILL MATERIAL UP TO A LEVEL 1 FOOT OVER THE TOP OF PIPE OR BOTTOM OF STRUCTURES SHALL BE PLACED IN 8 INCH COMPACTED THICKNESS LAYERS AND SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D1557.
5. SEE "EXCAVATION AND EARTHWORK", SECTION 408 FOR ADDITIONAL REQUIREMENTS INCLUDING REMOVAL AND REPLACEMENT OF UNSUITABLE SOILS, DEWATERING, COMPACTION REQUIREMENTS AND DENSITY TESTING OF COMPACTED SOILS

OPEN CUT TRENCH FOR PRESSURE PIPE

JANUARY 2022 IN CITY RIGHT -OF-WAY PLATE W-42



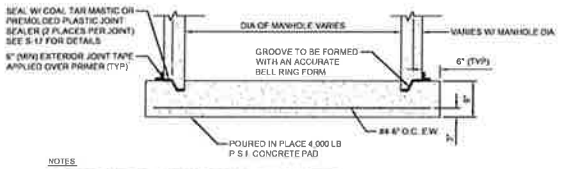
TYPICAL TRENCH

NOTES:

1. TRENCH SIDES SHALL BE APPROXIMATELY VERTICAL BETWEEN AN ELEVATION OF 1 FOOT ABOVE THE TOP OF THE PIPE AND THE CENTER LINE OF THE PIPE, OTHERWISE, TRENCH SIDES SHALL BE AS VERTICAL AS POSSIBLE OR AS REQUIRED BY OSHA STANDARDS. REFER TO THE MEASUREMENT AND PAYMENT SECTION (SECTION 660, PARAGRAPH 4(c)) TO DETERMINE MAXIMUM PAYLINE WIDTHS
2. BELL HOLE SHALL BE DUG TO PERMIT THE ENTIRE STRAIGHT BARREL OF THE PIPE TO REST ON THE UNDISTURBED TRENCH BOTTOM. BOULDERS OR LOOSE ROCKS LARGER THAN 3/4 INCH IN SIZE WILL NOT BE PERMITTED IN BACKFILL UP TO 1 FOOT ABOVE THE TOP OF THE PIPE
3. BACK FILL MATERIAL UP TO A LEVEL OF 1 FOOT OVER THE PIPE SHALL CONSIST OF AASHTO CLASS A-3 SOIL (SUITABLE SOIL) AND SHALL EXCLUDE CLAY MATERIALS AND LOOSE ROCKS LARGER THAN 3/4 INCH SIZE
4. BACKFILL MATERIAL UP TO A LEVEL 1 FOOT OVER THE TOP OF PIPE OR BOTTOM OF STRUCTURES SHALL BE PLACED IN 8 INCH COMPACTED THICKNESS LAYERS AND SHALL BE COMPACTED TO 100% OF ITS MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D698
5. SEE "EXCAVATION AND EARTHWORK", SECTION 408 FOR ADDITIONAL REQUIREMENTS AND EXCEPTIONS INCLUDING REMOVAL AND REPLACEMENT OF UNSUITABLE SOILS, DEWATERING, COMPACTION REQUIREMENTS AND DENSITY TESTING OF COMPACTED SOILS

OPEN CUT TRENCH FOR PRESSURE PIPE

JANUARY 2022 IN STATE ROAD RIGHT -OF-WAY PLATE W-42A



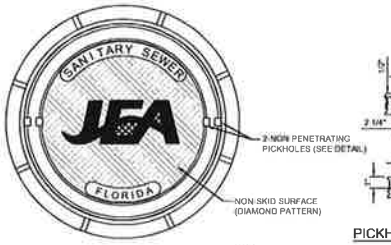
NOTES:

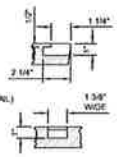
THE USE OF THE POURED IN PLACE MANHOLE BOTTOM SHALL BE MINIMIZED AND SHALL BE SPECIFICALLY APPROVED BY JEA PRIOR TO CONSTRUCTION

MANHOLE BOTTOM

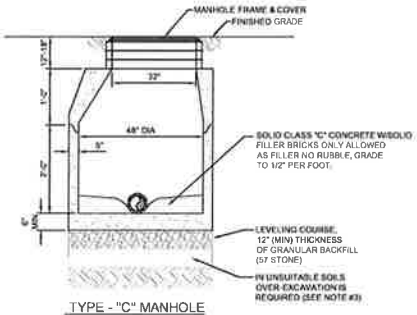
MANHOLE PIPE CONNECTION DETAIL

JANUARY 2022 PLATE S-15

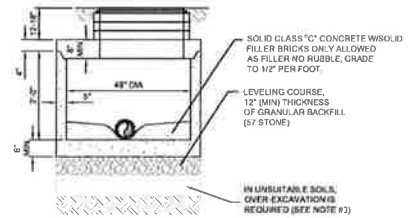




PICKHOLE DETAIL



TYPE - "C" MANHOLE



TYPE - "C" MANHOLE WITH FLAT TOP

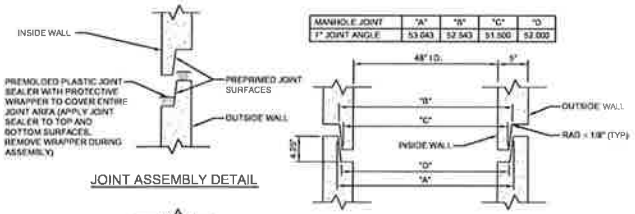
SECTION VIEWS

NOTES:

1. PRECAST MANHOLE SECTIONS TO BE MANUFACTURED IN ACCORDANCE WITH THE LATEST EDITIONS OF A.S.T.M. C-478 WITH 4000 LB. CONC., TYPE II CEMENT. ALL LIFTING HOLES AND OUTSIDE INSERTS SHALL BE FILLED WITH NON SHRINK GROUT AND COATED WITH BITUMINOUS WATERPROOFING MATERIAL.
2. THE INTERIOR AND EXTERIOR OF MANHOLE AND INTERIOR OF ADJUSTMENT RINGS SHALL BE GIVEN TWO COAT OF BITUMINOUS WATERPROOFING MATERIAL.
3. IN SILTS, CLAY OR HIGHLY ORGANIC SOILS (FINE GRAINED SOILS INCLUDING SOIL GROUPS ML, CL, OL, MH, CH, OH AND PT) THE SOILS SHALL BE OVER EXCAVATED AN ADDITIONAL 24" (AT A MIN.) AND BACKFILLED WITH AASHTO CLASS A-3 SOIL (COMPACTED TO 98% ASTM D1557) OR OVER-EXCAVATE AN ADDITIONAL 12" (AT A MIN.) AND BACKFILL WITH GRANULAR BACKFILL (57 STONE)

SANITARY SEWER TYPE "C" MANHOLE 8"-21" SEWERS

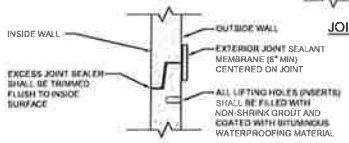
JANUARY 2022 PLATE S-6



MANHOLE JOINT	"A"	"B"	"C"	"D"
1° JOINT ANGLE	53.043	52.543	51.500	52.000

JOINT ASSEMBLY DETAIL

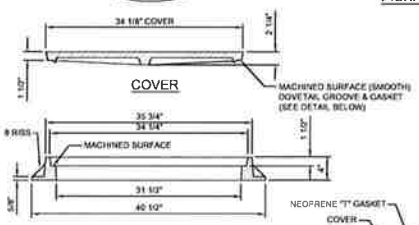
JOINT CONSTRUCTION DETAIL



COMPLETED JOINT DETAIL

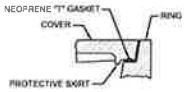
PRECAST SEWER MANHOLE JOINT DETAIL

JANUARY 2022 PLATE S-17



COVER

RING



GROOVE & GASKET DETAIL

NOTES

1. MATERIAL: ASTM A 48 CLASS 35B GRAY IRON
2. RING WEIGHT 230 LBS APPROX
3. COVER WEIGHT 230 LBS APPROX
4. ALL DIMENSIONS ARE SHOWN IN INCHES
5. FOR MANHOLES WHICH WILL BE MAINTAINED BY JEA (INCLUDING UTILITY DEDICATION PROJECTS) THE COVER SHALL INCLUDE THE "JEA" LOGO AND A NEOPRENE GASKET
6. FOR MANHOLES WHICH WILL BE MAINTAINED BY PARTIES OTHER THAN JEA (SUCH AS PRIVATE SEWER COLLECTION SYSTEMS, PRIVATE FORCE MAIN/ PUMP OUT BOX AND SYSTEMS NOT MAINTAINED BY JEA), THE COVER SHALL INCLUDE "SANITARY SEWER" GENERIC LETTERING (NO "JEA" LOGO OR NEOPRENE GASKET)

SANITARY SEWER MANHOLE FRAME AND COVER

JANUARY 2022 PLATE S-1

THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN

ETM — Engineering, Testing & Mission, Inc.

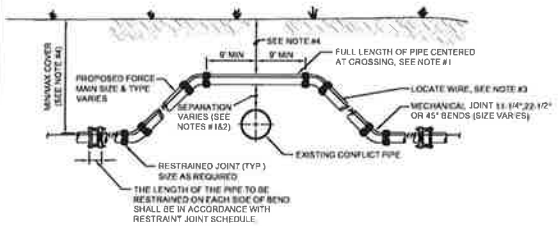
NICOLE D. SOLATETE — 74921

JEA Building Community

JEA STANDARD SANITARY SEWER DETAILS

WILDLIGHT PDP #3 PARCEL 6

PROJ. NO. 18-239-04 | DATE JANUARY 2022 | SCALE AS NOTED | SHEET NO. 2 | DRAWING NO. 168



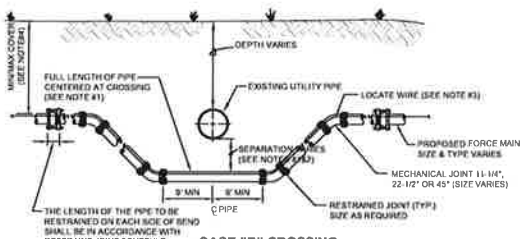
CASE "A" CROSSING

NOTES

1. IF EXISTING CONFLICT PIPE IS A WATER OR RECLAIMED WATER MAIN, 12 INCHES OF SEPARATION IS REQUIRED. A FULL LENGTH OF PIPE SHALL BE CENTERED OVER EXISTING UTILITY MAIN TO PROVIDE MAXIMUM JOINT SPACING FOR ALL CROSSINGS
2. FOR OTHER LOCATION LIMITATIONS SEE DETAIL (S 26 & S 27)
3. LOCATING WIRE REQUIRED. SEE DETAIL S-49.
4. THE COVER FOR PIPING LESS THAN 24" SIZE SHALL BE 30" (MIN) IN UNPAVED AREAS, 36" (MIN) IN PAVED AREAS AND A MAXIMUM COVER OF 60", UNLESS PRE-APPROVED BY JEA. THE COVER FOR PIPING 24" SIZE AND LARGER SHALL BE 36" (MIN) IN PAVED AND UNPAVED AREAS AND A MAXIMUM COVER OF 84", UNLESS APPROVED BY JEA.
5. THE SOILS BETWEEN THE MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST ASTM D 1557

ADJUSTMENT OVER EXISTING UTILITIES MECHANICAL RESTRAINTS

JANUARY 2022 PLATE S-39



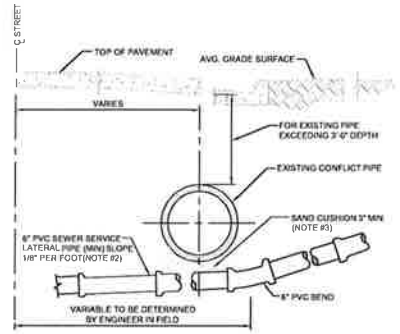
CASE "B" CROSSING

NOTES

1. IF EXISTING CONFLICT PIPE IS A WATER OR RECLAIMED WATER MAIN, 12 INCHES OF SEPARATION IS REQUIRED. A FULL LENGTH OF PIPE SHALL BE CENTERED OVER EXISTING UTILITY MAIN TO PROVIDE MAXIMUM JOINT SPACING FOR ALL CROSSINGS
2. FOR OTHER LOCATION LIMITATIONS SEE DETAIL (S 26 & S 27)
3. LOCATING WIRE REQUIRED. SEE DETAIL S-49
4. THE COVER FOR PIPING LESS THAN 24" SIZE SHALL BE 30" (MIN) IN UNPAVED AREAS, 36" (MIN) IN PAVED AREAS AND A MAXIMUM COVER OF 60", UNLESS PRE-APPROVED BY JEA. THE COVER FOR PIPING 24" SIZE AND LARGER SHALL BE 36" (MIN) IN PAVED AND UNPAVED AREAS AND A MAXIMUM COVER OF 84", UNLESS APPROVED BY JEA.
5. THE SOILS BETWEEN THE MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST ASTM D 1557

ADJUSTMENT UNDER EXISTING UTILITIES MECHANICAL RESTRAINTS

JANUARY 2022 PLATE S-41

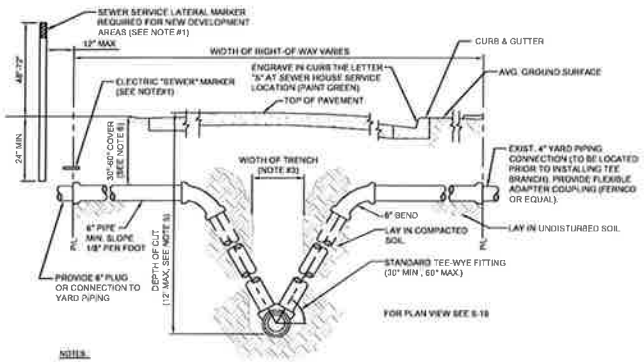


NOTES:

1. ALTERNATE GRADIENT FOR 8-INCH LATERAL SEWERS AT CONFLICTS WITH EXISTING UTILITIES
2. FLATTER SLOPE MUST BE PRE-APPROVED BY JEA O&M MANAGER (ONLY) PRIOR TO CONSTRUCTION
3. THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D 1557

HOUSE LATERAL UNDER CONFLICT PIPE

JANUARY 2022 PLATE S-24

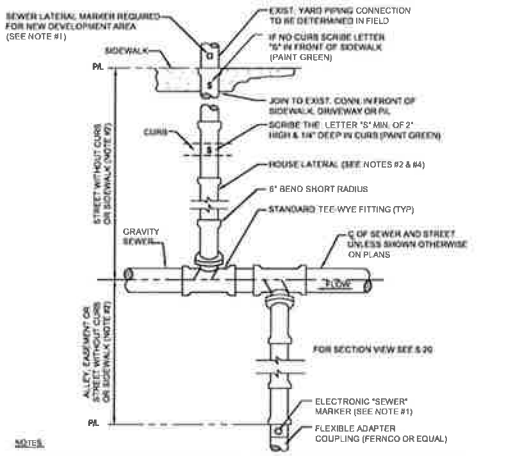


NOTES

1. TO MARK THE LOCATION OF THE 6" PLUG FOR NEW SERVICE. FOR PROJECTS WHERE NO CONCRETE CURB EXIST, AN ELECTRONIC "SEWER" MARKER IS REQUIRED FOR ALL LATERALS WHICH ARE "NOT IN USE". FOR NEW DEVELOPMENT AREAS WHERE THE SEWER LATERAL IS "NOT IN USE", A LANDSCAPE TIMBER OR 3x3 MIN. P.T. POST (TOP PAINTED GREEN) SHALL BE INSTALLED. WHERE REQUIRED BY JEA OR NO CONCRETE CURB EXIST, AN ELECTRONIC "SEWER" MARKER SHALL BE INSTALLED TO MARKER SHALL ALSO BE INSTALLED
2. THE MINIMUM SIZE OF ALL HOUSE LATERALS SHALL BE 6 INCHES. THE MAXIMUM LENGTH OF A HOUSE LATERAL SHALL BE 60 FEET (LENGTH BETWEEN SEWER MAIN OR MANHOLE TO CUSTOMERS PROPERTY LINE)
3. SEE MEASUREMENT AND PAYMENT SECTION FOR MAXIMUM PAYMENT WIDTHS
4. ALL GRAVITY SEWER MAINS AND ASSOCIATED SEWER LATERAL PIPE AND FITTINGS (INCLUDING THE TEE-WYE FITTING) SHALL BE PVC SDR 26
5. UNLESS APPROVED OTHERWISE BY A JEA O&M MANAGER, NO GRAVITY SEWER MAIN WITH SEWER SERVICE LATERALS SHALL BE CONSTRUCTED WITH A "DEPTH OF CUT" GREATER THAN 12 FEET
6. SEWER SERVICE LATERALS ASSOCIATED WITH GRAVITY SEWER MAINS WHICH ARE DEEPER THAN 12 FEET, MUST BE ROUTED TO A GRAVITY SEWER HIGH LINE, A MANHOLE OR OTHER JEA APPROVED METHOD
7. THE SEWER SERVICE LATERAL SHALL BE CONSTRUCTED AT A DEPTH TO ALLOW A GRAVITY CONNECTION BY THE CUSTOMER, WHERE POSSIBLE (CONTINGENT UPON MEETING THE CUSTOMER'S ON SITE CONDITIONS AND LOCAL CONSTRUCTION STANDARDS) A LATERAL REQUIRING MORE THAN 60" OF COVER MUST BE APPROVED, PRIOR TO CONSTRUCTION, BY JEA.

HOUSE LATERAL - SECTION VIEW

JANUARY 2022 PLATE S-20



NOTES

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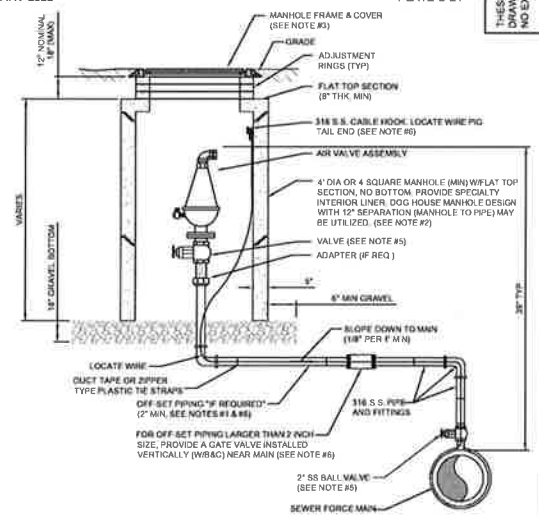
2. THE MINIMUM SIZE OF ALL HOUSE LATERALS SHALL BE 6 INCHES. THE MAXIMUM LENGTH OF A HOUSE LATERAL SHALL BE 60 FEET (LENGTH BETWEEN SEWER MAIN OR MANHOLE TO CUSTOMERS PROPERTY LINE)
3. NO SEWER SERVICE CONNECTIONS PERMITTED ON GRAVITY SEWER PIPE WHICH ARE 16" AND LARGER
4. ALL GRAVITY SEWER MAINS AND ASSOCIATED SEWER LATERAL PIPE AND FITTINGS (INCLUDING THE TEE-WYE FITTING) SHALL BE PVC SDR 26

HOUSE LATERAL - PLAN VIEW

JANUARY 2022 PLATE S-19



NOTES

1. THE AIR ASSEMBLY MANHOLE SHALL BE LOCATED OUTSIDE OF THE ROADWAY PAVEMENT AREA (I.E. LOCATED IN NON-TRAFFIC AREAS). IF OFF-SET PIPING IS REQUIRED, THE PIPING SHALL BE 2 INCH MINIMUM. (SAME SIZE AS AIR VALVE INLET). FOR PIPE SIZES 3 INCH AND SMALLER PIPING SHALL BE 316 STAINLESS STEEL SCH 40, STD GRADE, THREADED. FOR PIPE SIZES 4 INCH AND LARGER, PIPING SHALL BE 316 STAINLESS STEEL SCH. 10 (MIN). WELDED OR PVC DR 18 PIPE AND FITTINGS RESTRAINED
2. THE CONCRETE MANHOLE SHALL INCLUDE A POLYURETHANE SPECIALTY LINER (PER SPEC SECTION 446) TO BE INSTALLED ON THE INTERIOR SURFACES INCLUDING THE RISER SECTION TOP AND THE ADJUSTMENT RINGS. A BITUMINOUS WATERPROOFING MATERIAL SHALL BE PROVIDED ON THE OUTSIDE SURFACES OF THE MANHOLE.
3. FRAME AND COVER SHALL BE JEA STANDARD. THE COVER SHALL HAVE NO GASKET TO ALLOW AIR TO EXIT VAULT (REMOVE GASKET IF NECESSARY FROM THE UNDER SIDE OF STANDARD JEA COVER). THE COVER (WHEN FLIPPED OPEN) MUST CLEAR THE AIR VALVE ASSEMBLY AT ALL TIMES OR A SQUARE TOP WITH ALUMINUM DOOR SHALL BE PROVIDED (NON-TRAFFIC LOCATIONS ONLY)
4. FOR PIPE SIZES 3 INCH AND SMALLER, PROVIDE A STAINLESS STEEL BALL VALVE (2" MIN). FOR PIPE SIZES 4 INCH AND LARGER, PROVIDE A FLANGE GATE VALVE (WHEEL OPERATOR) OR PLUG VALVE (LEVER ARM OPERATOR) SEE SPECIFICATION FOR ADDITIONAL REQUIREMENTS
5. FOR A 2" AIR VALVE, PROVIDE 2" STAINLESS STEEL BALL VALVE AT THE MAIN. FOR AIR VALVES LARGER THAN 2" SIZE, PROVIDE A TAPPING SLEEVE OR DUCTILE IRON TEE FITTING. ALSO, FOR OFF-SET PIPING LARGER THAN 2 INCH SIZE, PROVIDE A GATE VALVE (INSTALLED VERTICALLY NEAR MAIN). SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
6. LOCATE WIRE SHALL HAVE ENOUGH SLACK TO REACH 4 ABOVE FINAL GRADE

AIR VALVE ASSEMBLY INSIDE MANHOLE

JANUARY 2022 PLATE S-29

THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN

ETM — Engineering, Planning & Utilities, Inc.

NO.	BY	DATE	REVISIONS
4			
3			
2			
1			

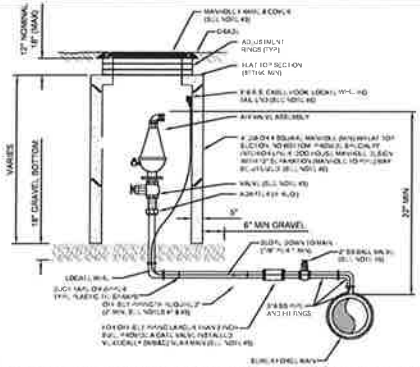
DESIGN ENGINEER: NICOLE D. ISOLATTE
REGISTRATION NUMBER: 74821

JEA Building Community

JEA STANDARD SANITARY SEWER DETAILS

WILDLIGHT PDP #3 PARCEL 6

NO. SHEETS	
SHEET NO.	
PROJ. NO.	19-239-04
DATE	JANUARY 2022
SCALE	AS NOTED
DRAWING NO.	



NOTES

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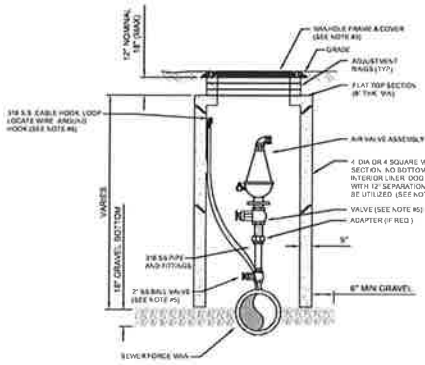
2. THE CONCRETE MANHOLE SHALL INCLUDE A POLYURETHANE SPECIALTY LINER (PER SPEC SECTION 445) TO BE INSTALLED ON THE INTERIOR SURFACES INCLUDING THE RISER SECTION TOP AND THE ADJUSTMENT RINGS. A BITUMINOUS WATERPROOFING MATERIAL SHALL BE PROVIDED ON THE OUTSIDE SURFACES OF THE MANHOLE
3. FRAME AND COVER SHALL BE JEA STANDARD. THE COVER SHALL HAVE NO GASKET TO ALLOW AIR TO EXIT VAULT (REMOVE GASKET IF NECESSARY FROM THE UNDER SIDE OF STANDARD JEA COVER). THE COVER (WHEN FLIPPED OPEN) MUST CLEAR THE AIR VALVE ASSEMBLY AT ALL TIMES OR A SQUARE TOP WITH ALUMINUM DOOR SHALL BE PROVIDED (NON TRAFFIC LOCATIONS ONLY)
4. FOR PIPE SIZES 3 INCH AND SMALLER, PROVIDE A STAINLESS STEEL BALL VALVE (2" MIN). FOR PIPE SIZES 4 INCH AND LARGER PROVIDE A FLANGE GATE VALVE (WHEEL OPERATOR) OR PLUG VALVE (LEVER ARM OPERATOR) SEE SPECIFICATION FOR ADDITIONAL REQUIREMENTS
5. FOR A 2" AIR VALVE PROVIDE 2" STAINLESS STEEL BALL VALVE AT THE MAIN. FOR AIR VALVES LARGER THAN 2" SIZE PROVIDE A TAPPING SLEEVE OR DUCTILE IRON TEE FITTING. ALSO FOR OFF SET PIPING LARGER THAN 2 INCH SIZE PROVIDE A GATE VALVE (INSTALLED VERTICALLY NEAR MAIN) SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
6. LOCATE WIRE SHALL HAVE ENOUGH SLACK TO REACH 4' ABOVE FINAL GRADE

OPTIONAL LOW PROFILE AIR VALVE ASSEMBLY INSIDE MANHOLE

JANUARY 2022 PLATE S-29A



NOTES

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2. THE CONCRETE MANHOLE SHALL INCLUDE A POLYURETHANE SPECIALTY LINER (PER SPEC SECTION 445) TO BE INSTALLED ON THE INTERIOR SURFACES INCLUDING THE RISER SECTION TOP AND THE ADJUSTMENT RINGS. A BITUMINOUS WATERPROOFING MATERIAL SHALL BE PROVIDED ON THE OUTSIDE SURFACES OF THE MANHOLE
3. FRAME AND COVER SHALL BE JEA STANDARD. THE COVER SHALL HAVE NO GASKET TO ALLOW AIR TO EXIT VAULT (REMOVE GASKET IF NECESSARY FROM THE UNDER SIDE OF STANDARD JEA COVER). THE COVER (WHEN FLIPPED OPEN) MUST CLEAR THE AIR VALVE ASSEMBLY AT ALL TIMES OR A SQUARE TOP WITH ALUMINUM DOOR SHALL BE PROVIDED (NON TRAFFIC LOCATIONS ONLY)
4. FOR PIPE SIZES 3 INCH AND SMALLER, PROVIDE A STAINLESS STEEL BALL VALVE (2" MIN). FOR PIPE SIZES 4 INCH AND LARGER PROVIDE A FLANGE GATE VALVE (WHEEL OPERATOR) OR PLUG VALVE (LEVER ARM OPERATOR) SEE SPECIFICATION FOR ADDITIONAL REQUIREMENTS
5. FOR A 2" AIR VALVE PROVIDE 2" STAINLESS STEEL BALL VALVE AT THE MAIN. FOR AIR VALVES LARGER THAN 2" SIZE PROVIDE A TAPPING SLEEVE OR DUCTILE IRON TEE FITTING. ALSO FOR OFF SET PIPING LARGER THAN 2 INCH SIZE PROVIDE A GATE VALVE (INSTALLED VERTICALLY NEAR MAIN) SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
6. LOCATE WIRE SHALL HAVE ENOUGH SLACK TO REACH 4' ABOVE FINAL GRADE

AIR VALVE ASSEMBLY INSIDE MANHOLE IN ROW

JANUARY 2022 PLATE S-29B

LENGTH (L) TO BE RESTRAINED (SEE PLATE Nos. 38C & 38D FOR ADDITIONAL DETAILS)

NOMINAL PIPE SIZE (IN.)	HORIZONTAL BENDS 90° BENDS L (FT.)	45° BENDS L (FT.)	22.5° BENDS L (FT.)	11.25° BENDS L (FT.)	VERTICAL OFFSETS 45° BENDS (SEE NOTE 4) UPPER L (FT.)	LOWER L (FT.)	VALVES OR DEAD ENDS L (FT.)
4	21	9	5	3	17	3	47
6	30	13	6	3	23	4	65
8	39	16	8	4	30	5	86
10	45	19	9	5	36	7	103
12	53	22	11	6	43	8	121
14	61	26	13	6	50	9	140
16	68	29	14	7	55	10	154
18	75	32	15	8	60	11	170
20	79	33	16	8	66	12	186
24	79	33	16	8	77	15	185
30	99	39	19	10	97	17	222
36	108	33	21	11	107	20	257
42	117	49	24	12	120	24	289
48	144	53	25	13	133	26	321

REDUCERS SIZE (IN.)	L (FT.)
6x4	34
8x6	36
8x4	62
10x8	35
10x6	63
12x10	36
12x8	64
16x12	66
16x10	92
20x16	35
20x12	66
20x12	117
24x20	66
24x16	92
24x16	161
30x24	78
30x20	121
36x30	78
36x24	141
42x36	73
42x30	140
48x42	75
48x36	138

TEES SEE NOTES RUN SIZE (IN.)	BRANCH SIZE (IN.)	L (FT.)
4	4	F.O.
6	6	10
	4 x LESS	F.O.
8	8	29
	6 x LESS	F.O.
10	10	45
	8	13
	6 x LESS	F.O.
12	12	92
	10	32
	8 x LESS	F.O.
16	16	94
	12	30
	10	5
	10 x LESS	F.O.
20	20	125
	16	76
	12	16
	10 x LESS	F.O.
24	24	124
	20	84
	16	38
	12 x LESS	F.O.
30	30	159
	24	104
	20	60
	16	5
	16 x LESS	F.O.
36	36	157
	30	142
	24	83
	20	33
	16 x LESS	F.O.
42	42	223
	36	178
	30	104
	24	53
	20	5
	16 x LESS	F.O.
48	48	253
	42	205
	36	182
	30	104
	24	34
	20 x LESS	F.O.

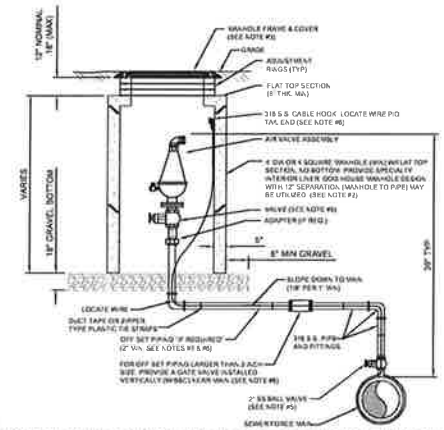
F.O. = FITTING ONLY

PVC PIPE RESTRAINT NOTES

1. THIS SCHEDULE SHALL BE UTILIZED ON ALL WATER, SEWER FORCE MAIN OR RECLAIMED WATER SYSTEMS. ALL FITTINGS SHALL BE RESTRAINED TO LENGTHS INDICATED ON THE ABOVE SCHEDULE, AT A MINIMUM
2. ASSUMPTIONS: PVC PIPE, SAFETY FACTOR=1.5, TEST PRESSURE=150PSI, SOIL=GW OR SW, TRENCH TYPE 3, DEPTH OF COVER=30 INCHES FOR 20" AND SMALLER PIPE SIZE OR 36 INCHES FOR 24" AND LARGER PIPE SIZE
3. BENDS AND VALVES SHALL BE RESTRAINED ON EACH SIDE OF FITTING
4. VERTICAL OFFSETS ARE APPROX. 3 FEET COVER ON TOP AND APPROX. 8 FEET COVER ON BOTTOM. PER THE DETAILS, L IS THE RESTRAINED LENGTH FOR THE UPPER (TOP) LEVEL. L IS THE RESTRAINED LENGTH FOR THE LOWER (DEEPER) LEVEL. ASSUME 45 DEGREE BENDS
5. TEES: TOTAL LENGTH BETWEEN FIRST JOINTS OR RESTRAINED LENGTH ON EITHER SIDE OF TEE (RUN) SHALL BE A TOTAL DISTANCE OF 50 FEET (MIN). SEE SCHEDULE ABOVE FOR RESTRAINT LENGTH ON TEE "BRANCH" LINE
6. HDPE TO PVC TRANSITIONS: THE PVC PIPE SIDE SHALL BE RESTRAINED 35 FT (MIN)
7. THE INSTALLATION OF BELL HARNESS RESTRAINTS AT PVC JOINTS (DR 18 & 25 PIPE) SHALL BE COMPLETED PER THE MANUFACTURERS RECOMMENDATION, WHICH INCLUDES NOT OVER TIGHTENING THE PARALLEL ROD/NUTS. THESE NUTS SHOULD ONLY BE SNUG TIGHT. THE HOME MARKS ON THE PIPE SHOULD ALWAYS BE VISIBLE AFTER THE RESTRAINT IS INSTALLED. OVERTIGHTENING THE JOINT MAY CAUSE A FAILURE AT THE BELL RESULTING IN A SERVICE OUTAGE

PVC PIPE RESTRAINT JOINT SCHEDULE

JANUARY 2022 PLATE S-38A

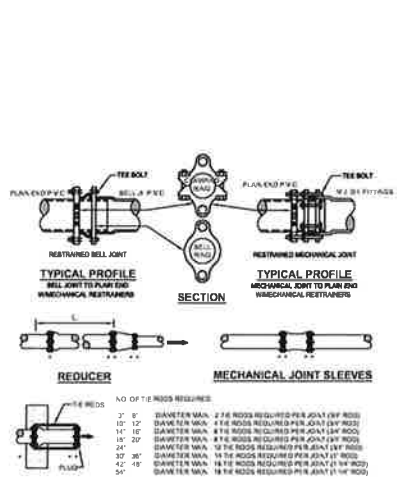


NOTES

1. THE AIR ASSEMBLY MANHOLE SHALL BE LOCATED OUTSIDE OF THE ROADWAY PAVEMENT AREA (I.E. LOCATED IN NON TRAFFIC AREAS) IF OFF SET PIPING IS REQUIRED. THE PIPING SHALL BE 2 INCH MINIMUM (SAME SIZE AS AIR VALVE INLET). FOR PIPE SIZES 2 INCH AND SMALLER PIPING SHALL BE 316 STAINLESS STEEL SCH 40, STD GRADE, THREADED. FOR PIPE SIZES 4 INCH AND LARGER PIPING SHALL BE 316 STAINLESS STEEL SCH 10 (WALL) WELDED OR PVC DR 18 PIPE AND FITTINGS RESTRAINED
2. THE CONCRETE MANHOLE SHALL INCLUDE A POLYURETHANE SPECIALTY LINER (PER SPEC SECTION 445) TO BE INSTALLED ON THE INTERIOR SURFACES INCLUDING THE RISER SECTION TOP AND THE ADJUSTMENT RINGS. A BITUMINOUS WATERPROOFING MATERIAL SHALL BE PROVIDED ON THE OUTSIDE SURFACES OF THE MANHOLE
3. FRAME AND COVER SHALL BE JEA STANDARD. THE COVER SHALL HAVE NO GASKET TO ALLOW AIR TO EXIT VAULT (REMOVE GASKET IF NECESSARY FROM THE UNDER SIDE OF STANDARD JEA COVER). THE COVER (WHEN FLIPPED OPEN) MUST CLEAR THE AIR VALVE ASSEMBLY AT ALL TIMES OR A SQUARE TOP WITH ALUMINUM DOOR SHALL BE PROVIDED (NON TRAFFIC LOCATIONS ONLY)
4. FOR PIPE SIZES 3 INCH AND SMALLER, PROVIDE A STAINLESS STEEL BALL VALVE (2" MIN). FOR PIPE SIZES 4 INCH AND LARGER PROVIDE A FLANGE GATE VALVE (WHEEL OPERATOR) OR PLUG VALVE (LEVER ARM OPERATOR) SEE SPECIFICATION FOR ADDITIONAL REQUIREMENTS
5. FOR A 2" AIR VALVE PROVIDE 2" STAINLESS STEEL BALL VALVE AT THE MAIN. FOR AIR VALVES LARGER THAN 2" SIZE PROVIDE A TAPPING SLEEVE OR DUCTILE IRON TEE FITTING. ALSO FOR OFF SET PIPING LARGER THAN 2 INCH SIZE PROVIDE A GATE VALVE (INSTALLED VERTICALLY NEAR MAIN) SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
6. LOCATE WIRE SHALL HAVE ENOUGH SLACK TO REACH 4' ABOVE FINAL GRADE

AIR VALVE ASSEMBLY INSIDE MANHOLE

JANUARY 2022 PLATE S-29



DEAD - END THRUST COLLAR ANCHOR

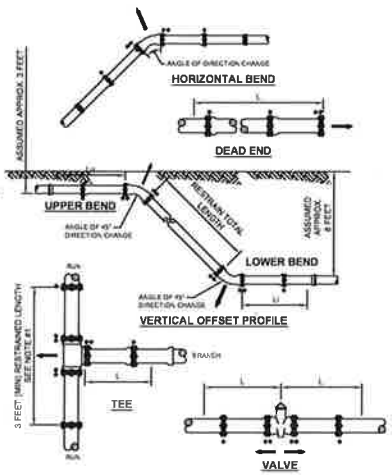
TO BE USED INSTEAD OF TOTAL RESTRAINED LENGTH (OPTIONAL) SIZE AS PER THRUST BLOCK DETAIL (W 38). SEE DETAILS W 38 & W 37

GENERAL NOTE

1. PAY ITEM "*" DENOTES A RESTRAINT WHICH IS PAID FOR ON A PER EACH BASIS
2. PAY ITEM "**" DENOTES A RESTRAINT WHICH IS INCLUDED IN THE UNIT PRICE BID FOR FITTING OR VALVE.
3. → INDICATES DIRECTION OF THRUST FORCE

MECHANICAL RESTRAINT DETAILS - I

JANUARY 2022 PLATE S-38C

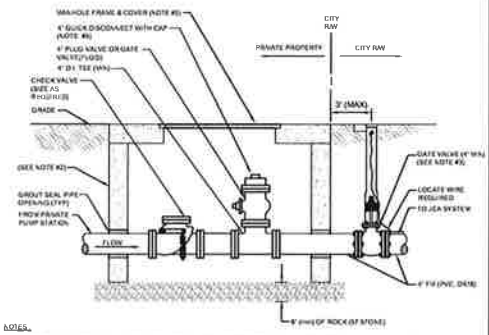


NOTES

1. TOTAL LENGTH BETWEEN FIRST JOINTS OR RESTRAINED LENGTH ON EITHER SIDE OF TEE (RUN) SHALL BE A TOTAL DISTANCE OF 6 FEET (MIN.). THE PROJECT ENGINEER CAN INCREASE THIS LENGTH TO REDUCE THE NUMBER OF RESTRAINS REQUIRED. ANY CHANGES TO THIS TABLE MUST BE SUBMITTED TO JEA FOR APPROVAL
2. PAY ITEM "*" DENOTES A RESTRAINT WHICH IS PAID FOR ON A PER EACH BASIS
3. PAY ITEM "**" DENOTES A RESTRAINT WHICH IS INCLUDED IN THE UNIT PRICE BID FOR FITTING OR VALVE

MECHANICAL RESTRAINT DETAILS - II

JANUARY 2022 PLATE S-38D



NOTES

1. SEWER PUMP OUT BOX SHALL BE CONSTRUCTED ON PRIVATE PROPERTY AND LOCATED AT THE R/W LINE. THE PREFERRED CONSTRUCTION LAYOUT IS SHOWN ABOVE
2. ASSEMBLY TO BE ENCLOSED WITHIN A 48"x48" (MIN) PRECAST CONCRETE BOX WITH OPEN BOTTOM WITH 20 TRAFFIC LOADING COVER OR TYPE "C" MANHOLE OPEN BOTTOM WITH FRAME AND COVER (NON JEA LOGO TYPE COVER)
3. A JEA APPROVED GATE VALVE (4" MIN) SHALL BE PROVIDED AT THE R/W LINE FOR ALL FORCE MAIN PIPING WHICH EXCEEDS 15 LINEAR FEET WITHIN THE CITY R/W AREA. THE GATE VALVE AT THE R/W LINE IS NOT REQUIRED WHERE THE CONNECTION (CONNECTION AT JEA MAIN) IS LOCATED ON THE SAME SIDE OF THE STREET AS THE PUMP OUT BOX (SHORT SIDE SERVICE) AND CONSIST OF 15 LINEAR FEET OR LESS WITHIN THE CITY R/W AREA
4. NO CONNECTION IS PERMITTED INTO JEA FORCE MAINS WHICH ARE GREATER THAN 12" WITHOUT PRIOR JEA APPROVAL
5. QUICK DISCONNECT WITH CAP SHALL BE ALLOWED AND BE POSITIONED DIRECTLY UNDER MANHOLE LID FOR ACCESS

PRIVATE PUMP OUT ASSEMBLY

JANUARY 2022 PLATE S-46

ETM Engineered Things & Utilities, Inc.
Jacksonville, FL 32207
Phone: 904-346-0000
FAX: 904-346-0000
CA: 00000000 LC: 00000000

THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE JEA WE TAKE NO EXCEPTION TO THE DESIGN

STATE OF FLORIDA
NICOLE D. SOLATE'E
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 74921

NO.	DATE	BY	REVISIONS
1.			
2.			
3.			
4.			

JEA Building Community

JEA STANDARD SANITARY SEWER DETAILS

WILDLIGHT PDP #3 PARCEL 6

NO. SHEETS	
SHEET NO.	
DRAWING NO.	1100
PROJ. NO.	19-239-03
DATE	JANUARY 2022
SCALE	AS NOTED

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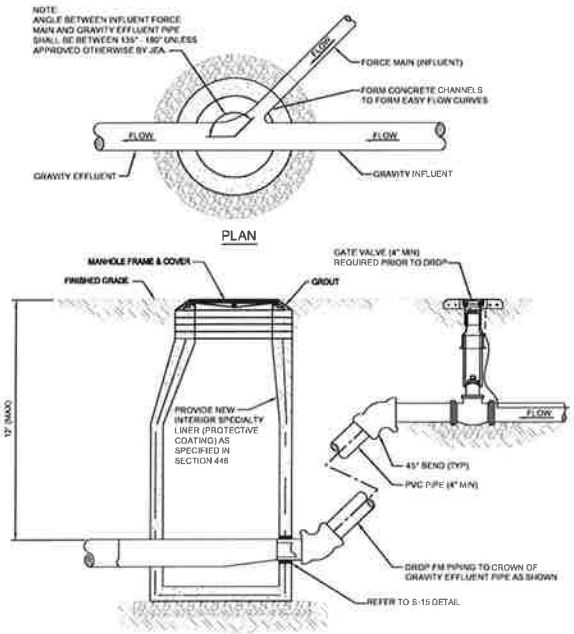
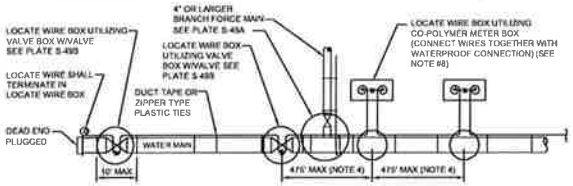


TYPICAL FORCE MAIN CONNECTION TO MANHOLE

JANUARY 2022 PLATE S-18



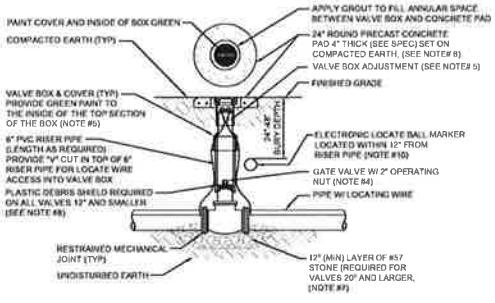
LOCATE WIRE SYSTEM

NOTES:

1. LOCATING WIRE TO BE INSTALLED IN EITHER THE ONE OR ELEVEN O'CLOCK POSITION ON ALL DUCTILE IRON OR PVC (PRESSURE MAINS). LOCATE WIRE SHALL ALSO BE INSTALLED ON ALL (HDPE) POLY MAIN PIPING (1:00 OR 11:00 POSITION, IF POSSIBLE)
2. SECURE LOCATING WIRE TO PVC FORCE MAIN BY USE OF DUCT TAPE OR ZIPPER TYPE PLASTIC TIE STRAPS SPACED AT A MAXIMUM DISTANCE OF TEN (10) AND AT EACH SIDE OF BELL JOINT OR FITTING
3. THE ENTIRE LOCATING SYSTEM SHALL BE SUBJECTED TO TESTING TO DETERMINE ITS RELIABILITY. WHERE INSTALLED UNDER PAVEMENT AREAS, TESTING SHALL BE DONE PRIOR TO THE PLACEMENT OF PAVEMENT, UNLESS APPROVED OTHERWISE BY JEA
4. LOCATING WIRE SHALL TERMINATE WITHIN AN ACTIVE VALVE BOX (WITH A VALVE) OR A METER BOX (IF NO VALVE) AT 475' INTERVALS. SEE DETAIL PLATE S-49B. WIRE CONNECTIONS BELOW GROUND (OUTSIDE OF A BOX) SHALL BE AVOIDED
5. LOCATING WIRE SHALL BE 12 GAUGE COPPER WIRE WITH 33 INCHES (MINIMUM) HDPE INSULATION THICKNESS, 0.141 INCHES (MINIMUM) O.D. RATED BREAK LOAD 250LBS., UF RATED (DIRECT BURIAL), GREEN COLOR. FOR HDD INSTALLATIONS, THE LOCATE WIRE SHALL BE COPPER CODED STEEL AS SPECIFIED IN SPEC. SECTION 790
6. "X" INDICATES THAT THE WIRES ARE CONNECTED TOGETHER WITH WATERPROOF CONNECTION (SEE DETAIL W-49B)
7. "@" INDICATES A WIRE PIGTAIL (24" LONG)
8. AN "LW" CUT SHALL BE CARVED IN THE CONCRETE CURB AND PAINTED AT ALL LOCATE WIRE BOXES
9. FOUR LANES OF TRAFFIC (HAVING TWO LANES OF TRAFFIC IN EACH DIRECTION) OR GREATER THE LOCATE WIRE AND VALVE BOX SHALL BE OFF-SET TO THE RIGHT OF WAY

LOCATE WIRE CONSTRUCTION FOR FORCE MAINS

JANUARY 2022 PLATE S-49

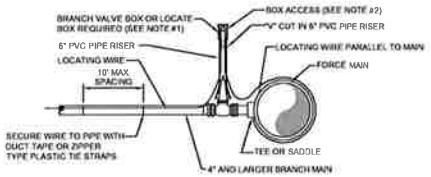


NOTES:

1. FOR UNPAVED LOCATIONS, A PRECAST CONCRETE VALVE PAD SHALL BE PROVIDED AND INSTALLED FLUSH WITH GRADE. CONCRETE PAD IS NOT REQUIRED FOR VALVE LOCATED IN THE ROADWAY, UNLESS SHOWN OR NOTED OTHERWISE
2. LOCATING WIRE IS REQUIRED ON ALL PRESSURE PIPING (SEE DETAIL S-49)
3. A "V" CUT SHALL BE CARVED IN THE CURB CLOSEST(ASPHALT IF NO CURB) ADJACENT TO ALL BELOW GRADE VALVES THE "V" CUT IS TO BE PAINTED GREEN
4. IN PAVED AREAS, INSTALL VALVE AT A DEPTH TO ALLOW A 12" MIN. DISTANCE BETWEEN THE VALVE COVER PLATE AND THE TOP OF THE VALVE OPERATING NUT. OUTSIDE OF PAVED AREAS (GRASS), INSTALL VALVE AT A DEPTH TO ALLOW A 6" MINIMUM DISTANCE BETWEEN THE VALVE COVER AND THE TOP OF THE VALVE OPERATING NUT. OPERATING NUT/STEM EXTENSION SHALL BE PROVIDED (WHERE APPLICABLE) SO THAT THE OPERATING NUT WILL BE NO MORE THAN 30 INCHES BELOW FINISHED GRADE
5. FOR NEW CONSTRUCTION, THE VALVE BOX SHALL BE ADJUSTED TO MIDRANGE TO ALLOW FOR FUTURE BOX ADJUSTMENTS. ROUTE LOCATE WIRES THRU A "V" CUT IN THE TOP OF THE 6" PVC RISER PIPE FOR LOCATE WIRE ACCESS INTO VALVE BOX. THE LOCATE WIRES WITH A 24" LONG PIGTAIL AT THE TOP SHALL BE CONNECTED TOGETHER WITH A WIRE NUT
6. BRASS IDENTIFICATION TAG INDICATING "SEWER", VALVE SIZE, DIRECTION AND TURNS TO OPEN & VALVE TYPE PROVIDE A 3/8" HOLE IN BRASS TAG AND ATTACH TAG (TWIST WIRE AROUND TAG) TO THE END OF THE LOCATE WIRE TAGS ARE NOT REQUIRED ON VALVES INSTALLED ON FIRE HYDRANT BRANCH LINES
7. IN LIEU OF PRECAST CONCRETE PAD, A 6" THICK X 24" (ROUND OR SQUARE) POURED CONCRETE PAD W/ #4 REBAR AROUND PERIMETER, MAY BE USED
8. GRAVEL SHALL BE PROVIDED UNDER ALL VALVES 20" AND LARGER. THE MINIMUM VERTICAL LIMIT OF GRAVEL IS 12" UNDER THE VALVE UP TO ½ THE OVERALL HEIGHT OF THE VALVE
9. FOR VALVES 12 INCH AND SMALLER, PROVIDE A WHITE OR BLACK PLASTIC DEBRIS SHIELD WHICH INSTALLS BELOW THE OPERATING NUT. THIS SHIELD SHALL CENTER THE RISER PIPE BOX OVER THE OPERATING NUT AND MINIMIZE INFILTRATION. SHIELD SHALL BE BY AFC, BOALOK OR APPROVED EQUAL
10. ALL VALVES SHALL BE INSTALLED WITH AN ELECTRIC LOCATE MARKER. MARKER SHALL BE 4" DIA. COLOR CODED BALL MARKER (3M-1404XR FOR SEWER)

SEWER VALVE DETAIL

JANUARY 2022 PLATE S-30



BRANCH FORCE MAIN

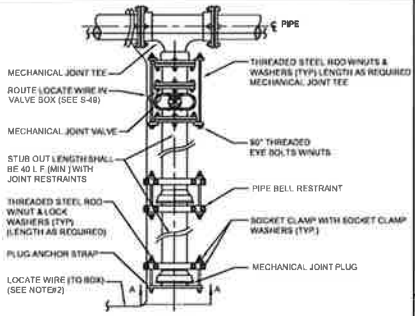
(4" AND LARGER SEWER MAIN)

NOTE:

1. NOTE THAT THE BRANCH WIRE IS NOT CONNECTED TO THE MAIN WIRE
2. LOCATE WIRE SHALL ENTER THE VALVE BOX THROUGH A "V" CUT IN THE 6" PVC RISER PIPE SECTION (SEE S-30)
3. LOCATE WIRE BOX SHALL BE INSTALLED OUTSIDE OF SIDEWALKS, DRIVEWAYS AND PAVEMENT
4. "@" INDICATES A WIRE PIG-TAIL (4' LONG)

LOCATE WIRE FOR BRANCH MAIN

JANUARY 2022 PLATE S-49A



SECTION "A-A"

NOTE:

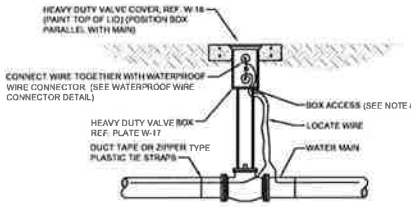
1. IN LIEU OF BELLROD RESTRAINTS, MECHANICAL JOINT RESTRAINTS MAY BE USED
2. LOCATING WIRE REQUIRED, UTILIZING A LOCATE WIRE BOX INSTALLED AT PLUG LOCATION
3. NUMBER OF TIE RODS REQUIRED IS AS FOLLOWS:

3" - 8"	DIAMETER MAIN - 2 TIE RODS REQUIRED PER JOINT (3/4" ROD)
10" - 12"	DIAMETER MAIN - 4 TIE RODS REQUIRED PER JOINT (3/4" ROD)
14" - 18"	DIAMETER MAIN - 6 TIE RODS REQUIRED PER JOINT (3/4" ROD)
18" - 20"	DIAMETER MAIN - 8 TIE RODS REQUIRED PER JOINT (3/4" ROD)
24"	DIAMETER MAIN - 12 TIE RODS REQUIRED PER JOINT (3/4" ROD)
30" - 36"	DIAMETER MAIN - 14 TIE RODS REQUIRED PER JOINT (1" ROD)
42" - 48"	DIAMETER MAIN - 16 TIE RODS REQUIRED PER JOINT (1 1/4" ROD)
54"	DIAMETER MAIN - 18 TIE RODS REQUIRED PER JOINT (1 1/4" ROD)

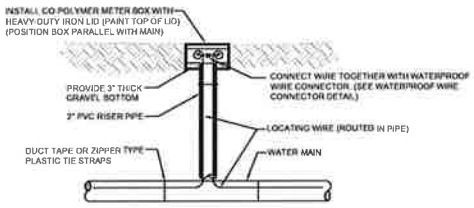
4. THE LOCATION OF THE DEAD END PLUG SHALL NOT BE UNDER PAVEMENT. IF POSSIBLE. THE STUB OUT SHALL EXTEND BEYOND THE INTERSECTION AREAS OR ROAD CROSSING BY 10 FEET (MIN.) WHERE POSSIBLE

PLUGGED DEAD END USING MECHANICAL RESTRAINTS

JANUARY 2022 PLATE S-44



LOCATE WIRE BOX UTILIZING VALVE BOX



LOCATE WIRE BOX UTILIZING METER BOX

LOCATE WIRE BOX

JANUARY 2022 PLATE S-49B

ETM England-Thims & Miller, Inc.
REVISIONS
NO. | BY | DATE
THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN
BY TECH PROJECT: NICOLE D. BOLATETE
FLORIDA REGISTRATION NO. 74921
CHECKED BY
DATE
JEA Building Community
JEA STANDARD
SANITARY SEWER DETAILS
WILDLIGHT PDP #3 PARCEL 6
PROJ. NO. 19-239-04
DATE JANUARY 2022
SCALE AS NOTED
NO. SHEETS
SHEET NO. 5
DRAWING NO. 1EE

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PVC PIPE RESTRAINT NOTES:

1. THIS SCHEDULE SHALL BE UTILIZED ON ALL WATER, SEWER FORCE MAIN OR RECLAIMED WATER SYSTEMS. ALL FITTINGS SHALL BE RESTRAINED TO LENGTHS INDICATED ON THE ABOVE SCHEDULE, AT A MINIMUM
2. ASSUMPTIONS: PVC PIPE, SAFETY FACTOR=1.5, TEST PRESSURE=150PSI, SOIL=GM OR SM, TRENCH TYPE 3, DEPTH OF COVER=36 INCHES
3. BENDS AND VALVES SHALL BE RESTRAINED ON EACH SIDE OF FITTING
4. VERTICAL OFFSETS ARE APPROX. 3 FEET COVER ON TOP AND APPROX. 8 FEET COVER ON BOTTOM. PER THE DETAILS, L=U IS THE RESTRAINED LENGTH FOR THE UPPER (TOP) LEVEL, L=L IS THE RESTRAINED LENGTH FOR THE LOWER (DEEPER) LEVEL. ASSUME 45 DEGREE BENDS
5. TEES: TOTAL LENGTH BETWEEN FIRST JOINTS OR RESTRAINED LENGTH ON EITHER SIDE OF TEE (RUN) SHALL BE A TOTAL DISTANCE OF 3 FEET (MIN). SEE SCHEDULE ABOVE FOR RESTRAINT LENGTH ON TEE "BRANCH" LINE. THE PROJECT ENGINEER CAN INCREASE THIS DISTANCE TO REDUCE THE RESTRAINS REQUIRED ON THE BRANCH SIDE. ANY CHANGES MUST BE APPROVED BY THE ENGINEER
6. HOPE TO PVC TRANSITIONS: THE PVC PIPE SIDE SHALL BE RESTRAINED 35 FT (MIN)
7. THE INSTALLATION OF BELL HARNESS RESTRAINTS AT PVC JOINTS (DR 18 & 25 PIPE) SHALL BE COMPLETED PER THE MANUFACTURERS RECOMMENDATION, WHICH INCLUDES NOT OVER TIGHTENING THE PARALLEL RODS/NUTS. THESE NUTS SHOULD ONLY BE SNUG TIGHT. THE HOME MARKS ON THE PIPE SHOULD ALWAYS BE VISIBLE AFTER THE RESTRAINT IS INSTALLED. OVERHOMING THE JOINT MAY CAUSE A FAILURE AT THE BELL RESULTING IN A SERVICE OUTAGE

(SEE PLATE Nos. 31C & 31D FOR ADDITIONAL DETAILS)

P.V.C. PIPE TEE - L (FT.) SEE NOTE 5. FOR

RUN SIZE (IN.)	BRANCH SIZE (IN.)													
	4	6	8	10	12	14	16	18	20	24	30	36	42	
4	29													
6	23	44												
8	18	41	61											
10	12	37	58	75										
12	6	33	55	73	91									
14	1	29	52	71	89	107								
16	1	24	49	68	86	105	119							
18	1	18	45	65	84	103	118	133						
20	1	15	41	62	82	101	116	132	147					
24	1	4	34	56	76	97	112	128	144	173				
30	1	1	21	46	68	89	106	123	139	168	209			
36	1	1	8	35	58	82	99	117	134	165	206	244		
42	1	1	1	23	49	73	92	111	128	160	202	241	276	
48	1	1	1	10	39	64	84	104	122	155	198	238	273	307

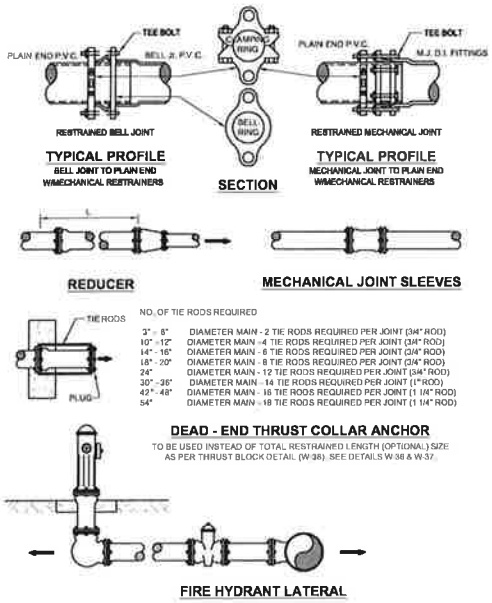
P.V.C. PIPE REDUCERS - L (FT.) SEE NOTE 5. FOR

LARGE END (IN.)	SMALL END (IN.)													
	4	6	8	10	12	14	16	18	20	24	30	36	42	
6	29													
8	52	31												
10	71	53	29											
12	89	74	54	30										
14	105	93	78	57	31									
16	121	111	96	78	58	30								
18	136	127	114	98	78	58	30							
20	151	143	131	117	100	79	56	30						
24	179	172	163	151	137	120	101	82	56					
30	217	211	204	195	184	171	158	140	121	78				
36	253	249	243	235	226	216	204	190	175	141	78			
42	285	282	277	271	263	255	245	233	221	192	140	75		
48	318	315	310	305	298	292	283	273	263	238	194	139	75	

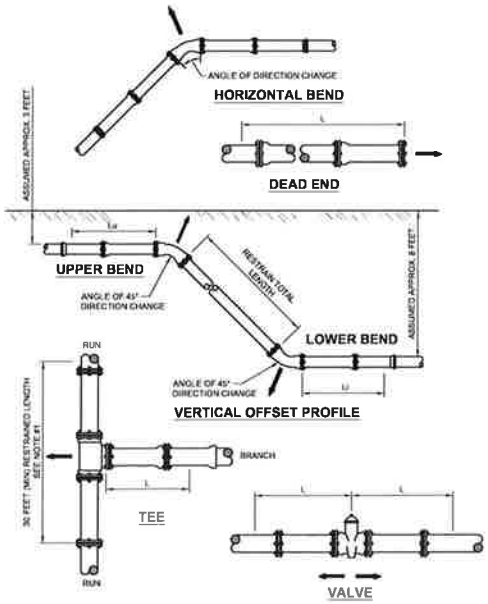
P.V.C. PIPE FITTING, PLUGS & VALVES - L (FT.)

NOMINAL PIPE SIZE (IN.)	HORIZONTAL BENDS				VERTICAL BENDS		VALVES OR DEAD ENDS L (FT.)
	90° BENDS L (FT.)	45° BENDS L (FT.)	22.5° BENDS L (FT.)	11.25° BENDS L (FT.)	45° BENDS L (FT.)	22.5° BENDS L (FT.)	11.25° BENDS L (FT.)	
4	18	8	4	2	17	8	4	39
6	25	11	5	3	23	11	6	55
8	33	14	7	4	30	15	8	72
10	39	18	8	4	36	18	9	87
12	45	19	9	5	43	21	11	102
14	52	22	11	6	50	24	12	119
16	57	24	12	6	55	27	13	131
18	63	26	13	7	60	29	15	145
20	68	28	14	7	66	32	16	158
24	79	33	16	8	77	37	18	185
30	93	39	19	10	92	45	22	222
36	106	44	21	11	107	52	26	257
42	117	49	24	12	120	58	29	289
48	128	53	26	13	133	64	32	321

PVC PIPE RESTRAINT JOINT SCHEDULE



MECHANICAL RESTRAINT DETAILS - I



NOTES:

1. TOTAL LENGTH BETWEEN FIRST JOINTS OR RESTRAINED LENGTH ON EITHER SIDE OF TEE (RUN) SHALL BE A TOTAL DISTANCE OF 30 FEET (MIN.)

MECHANICAL RESTRAINT DETAILS - II

(SEE PLATE Nos. 31C & 31D FOR ADDITIONAL DETAILS)

D.I. PIPE TEE - L (FT.) SEE NOTE 5. FOR

RUN SIZE (IN.)	BRANCH SIZE (IN.)													
	4	6	8	10	12	14	16	18	20	24	30	36	42	
4	18													
6	15	29												
8	12	26	39											
10	8	24	37	48										
12	4	21	35	47	58									
14	1	18	33	45	57	67								
16	1	16	31	43	55	66	76							
18	1	13	29	42	54	64	75	85						
20	1	10	27	40	52	63	74	84	94					
24	1	3	22	36	49	60	71	82	92	110				
30	1	1	14	29	44	56	68	78	89	108	133			
36	1	1	5	23	38	51	63	74	85	105	131	155		
42	1	1	1	15	32	46	58	70	82	102	129	153	175	
48	1	1	1	7	25	40	54	66	78	99	126	151	173	194

D.I. PIPE REDUCERS - L (FT.) SEE NOTE 5. FOR

LARGE END (IN.)	SMALL END (IN.)													
	4	6	8	10	12	14	16	18	20	24	30	36	42	
6	19													
8	34	20												
10	45	34	19											
12	57	48	35	20										
14	67	59	48	35	19									
16	77	71	61	50	36	19								
18	87	81	73	63	50	36	19							
20	96	91	84	75	64	51	36	19						
24	114	109	103	96	87	77	64	51	36					
30	138	135	130	124	117	109	100	89	77	50				
36	161	158	154	150	144	137	130	121	111	89	50			
42	181	179	176	172	167	162	155	148	140	122	89	48		
48	201	199	196	193	189	184	179	173	166	150	122	88	48	

D.I. PIPE FITTING, PLUGS & VALVES - L (FT.)

NOMINAL PIPE SIZE (IN.)	HORIZONTAL BENDS				VERTICAL BENDS		VALVES OR DEAD ENDS L (FT.)
	90° BENDS L (FT.)	45° BENDS L (FT.)	22.5° BENDS L (FT.)	11.25° BENDS L (FT.)	45° BENDS L (FT.)	22.5° BENDS L (FT.)	11.25° BENDS L (FT.)	
4	15	6	3	2	11	5	3	35
6	20	9	4	2	15	7	4	50
8	26	11	5	3	20	10	5	67
10	31	13	7	4	23	11	6	80
12	36	15	8	4	27	13	7	65
14	41	17	9	4	31	15	8	74
16	46	19	10	5	35	17	9	84
18	50	21	10	5	39	18	10	92
20	55	23	11	6	42	21	10	101
24	63	27	13	7	49	24	12	118
30	75	31	15	8	59	28	14	141
36	86	36	17	9	68	33	17	163
42	95	40	19	10	76	37	18	183
48	104	43	21	11	84	41	20	203

DUCTILE IRON PIPE RESTRAINT NOTES:

1. THIS SCHEDULE SHALL BE UTILIZED ON ALL WATER, SEWER FORCE MAIN OR RECLAIMED WATER SYSTEMS. ALL FITTINGS SHALL BE RESTRAINED TO LENGTHS INDICATED ON THE ABOVE SCHEDULE, AT A MINIMUM
2. ASSUMPTIONS: DUCTILE IRON PIPE (WITHOUT POLY WRAP), SAFETY FACTOR=1.5, TEST PRESSURE=150PSI, SOIL=GM OR SM, TRENCH TYPE 3, DEPTH OF COVER=36 INCHES. FOR D.I.P. W/POLY WRAP, USE RESTRAINT JOINT SCHEDULE FOR PVC PIPE
3. BENDS AND VALVES SHALL BE RESTRAINED ON EACH SIDE OF FITTING
4. VERTICAL OFFSETS ARE APPROX. 3 FEET COVER ON TOP AND APPROX. 8 FEET COVER ON BOTTOM. PER THE DETAILS, L=U IS THE RESTRAINED LENGTH FOR THE UPPER (TOP) LEVEL, L=L IS THE RESTRAINED LENGTH FOR THE LOWER (DEEPER) LEVEL. ASSUME 45 DEGREE BENDS
5. TEES: TOTAL LENGTH BETWEEN FIRST JOINTS OR RESTRAINED LENGTH ON EITHER SIDE OF TEE (RUN) SHALL BE A TOTAL DISTANCE OF 3 FEET (MIN). SEE SCHEDULE ABOVE FOR RESTRAINT LENGTH ON TEE "BRANCH" LINE. THE PROJECT ENGINEER CAN INCREASE THIS DISTANCE TO REDUCE THE RESTRAINS REQUIRED ON THE BRANCH SIDE. ANY CHANGES MUST BE APPROVED BY THE ENGINEER
6. HOPE TO D.I.P. TRANSITIONS: THE D.I.P. PIPE SIDE SHALL BE RESTRAINED 35 FT (MIN)

DUCTILE IRON PIPE RESTRAINT JOINT SCHEDULE

PLANS PREPARED UNDER THE DIRECTION OF: NICOLE B. BLANTZ, P.E. NO. 36192

REVISIONS

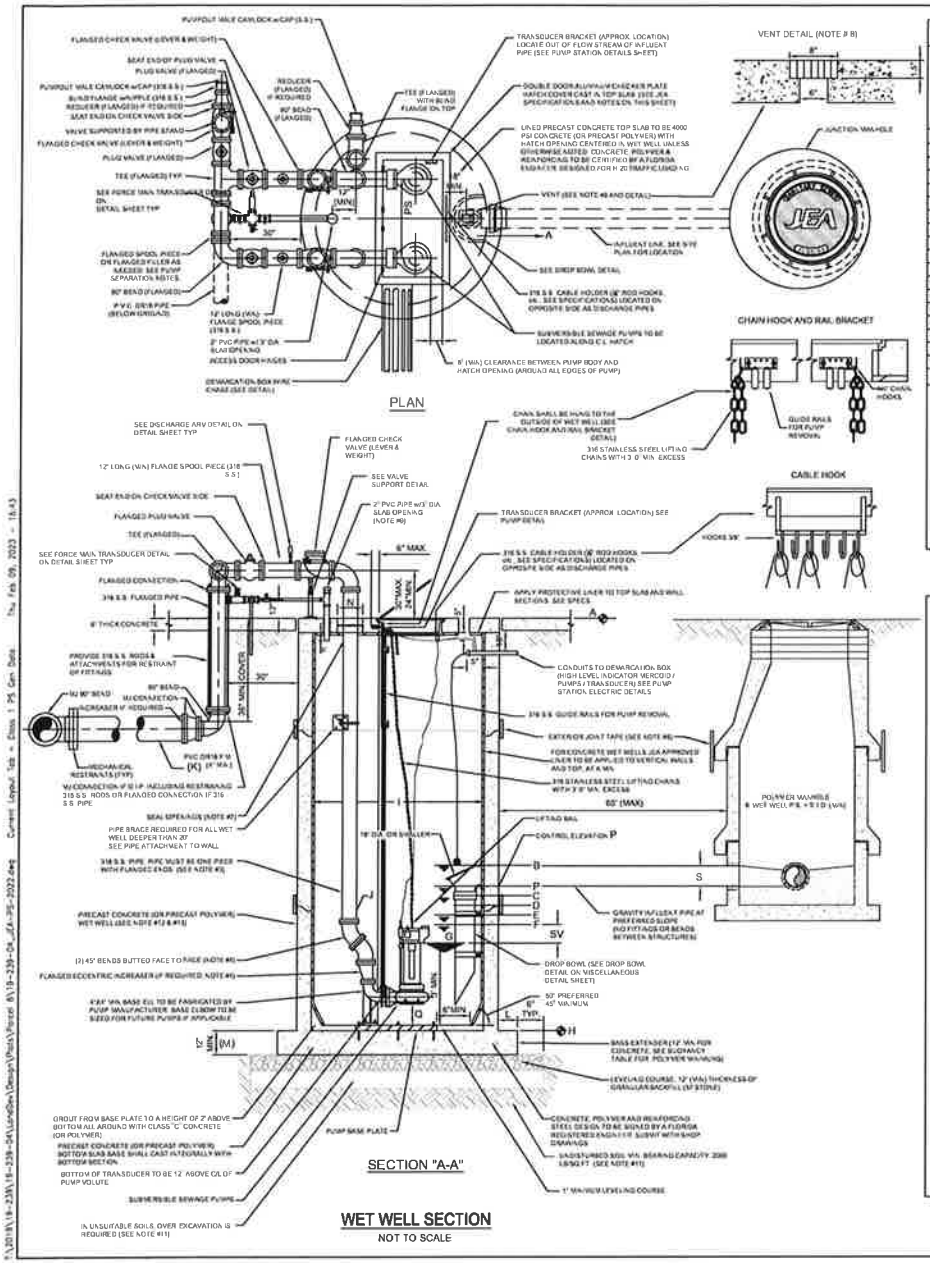
TM NO. 19-238-04 | DRAWN BY: A.C.O. | DESIGNED BY: N.J.S.M. | CHECKED BY: N.J.S.M. | DATE: OCTOBER 2022

ETM — Engineering Technology & Management, Inc. — VISION • EXPERIENCE • RESULTS

RESTRAINT JOINT DETAILS

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER **17**



PUMP STATION INFORMATION

SCHEDULE OF ELEVATIONS

PUMP STATION STREET ADDRESS	TOP SLAB (NOTE 9)	HIGHEST LEVEL	ALARM ELEVATION	LEFT BLANK	LEAD PUMP ON ELEVATION	LEAD PUMP OFF ELEVATION (NOTE #1)	PUMP OFF ELEVATION (NOTE #1)	BOTTOM ELEVATION (NOTE #1)	WET WELL DIA	DISCHARGE PIPE DIA	DISCHARGE TEE DIA	BASE EXTENDER	BOTTOM SLAB THICKNESS (INCHES)	PENETRATION (IN LESS NOTE 5)	CONTROL ELEVATION	PUMP SUCTION ELEVATION (INCHES NOTE 10)	BITE RADIUS ELEVATION (INCHES NOTE 10)	INFLUENT SIZE	HATCH SIZE (SEE TABLE BELOW)
	A	B	C	D	E	F	G	H	I	J	K	L	M	N	P	Q	R	S	
	R + 1.0	P + 0.5	P + 0.5		P - 1.0	P - 1.0	P - 2.0	Q - 2											42" HR
	25.00	10.00	9.00		8.10	8.60	8.00	3.00	8'	4"	4"	12"	12"	10"	10.10	(-0.5 + 3.0 PUMP)	22.70	8"	

ALL PUMPS

PUMP MANUFACTURER	FLOWT	HYDROMATIC	KSB	VYCON	SHIVAWANA	WILGEEM
MODEL	[illegible]					
IMPELLER	125 mm					
PUMP DISCHARGE	[illegible]					
MOTOR (RPM)	3600 rpm					
HORSEPOWER (HP)	7.2					
PHASE/VOLT/AMPS (NOTE #3)	3/208/17					
AIC (NOTE #4)						
DESIGN POINT (GPM) @ TDH (FT)	101 @ 68					
RUNOUT POINT (GPM) @ TDH (FT)	131 @ 63					
EMERGENCY MVA	200 A					
NORMAL SERVICE MVA	200 A					
CB #1 TO PUMP NO. 1	40 A					
CB #2 TO PUMP NO. 2	40 A					
CONTROL PANEL MCB	200 A					
STARTER (SIZE & TYPE)	NEMA 1					
ELECTRIC SERVICE (SIZE & TYPE)	[illegible]					

PUMP STATION INFORMATION NOTES:

1. SVP = STORAGE VOLUME PER DESIGN ENGINEER AND SHALL BE DESIGNED FOR 12 VALVE CYCLE TIME. MINIMUM STORAGE DEPTH SHALL BE 24"
2. IF PUMP MANUFACTURER REQUIRES A GREATER SEPARATION, THAT SEPARATION SHALL BE USED WITH THE ADDITION OF FLANGED FILLERS OR SPOOL PIECES. THE DIFFERENT SEPARATION MUST BE APPROVED BY JEA PRIOR TO CONSTRUCTION AND SHALL BE PROVIDED AT NO ADDITIONAL COST TO JEA
3. ALL PUMP MOTORS SHALL BE 3 PHASE
4. AMPERE INTERRUPTING CAPACITY (AIC) CONTACT THE ELECTRICAL UTILITY COMPANY FOR THIS DATA IF AVAILABLE
5. A MANUAL TRANSFER SWITCH SHALL BE PROVIDED

POLYMER CONCRETE FLOATATION COLLARS

	DEPTH 0 10FT		DEPTH 11 19FT		DEPTH 19 25FT		DEPTH 21 30FT	
WET WELL I.D.	MIN. BACK FILL HEIGHT (IN)	MIN. DIA OF FLOATATION COLLAR (IN)	MIN. BACK FILL HEIGHT (IN)	MIN. DIA OF FLOATATION COLLAR (IN)	MIN. BACK FILL HEIGHT (IN)	MIN. DIA OF FLOATATION COLLAR (IN)	MIN. BACK FILL HEIGHT (IN)	MIN. DIA OF FLOATATION COLLAR (IN)
8' 0"	3	30000	5	34 500	2	46000	—	5,200
10' 0"	5	37500	5	75000	5	78750	3	91100
12' 0"	8	82500	8	113300	8	130350	7	139800

DISCHARGE PIPE DATA (WITHIN WET WELL)

PIPE SIZE	PIPE HOLE DIA	PUMP SEPARATION	MIN. PUMPOUT SIZE	HATCH SIZE (VAL)
(J)	(N)	(PS)	(PO)	
4"	10"	20"	4"	42"x18"
6"	12"	30"	6"	42"x60"
FREE STANDING PUMP OUT FOR PIPE SIZES GREATER THAN 6"				
8"	15"	38"	8"	
10"	17"	44"	10"	
12"	20"	48"	12"	
16" & LARGER			10" & LARGER	

MANUAL TRANSFER SWITCH

☒ TC3048SWCOC	200 AMP
☐ TC3088SWCOC	400 AMP

MCC PANEL

THE COMBINED MOTOR CONTROL AND RTU PANEL SHALL BE AS NOTED BELOW. CONTRACTOR SHALL SUBMIT APPLICABLE SHOP DRAWING PACKAGE. SEE JEA CONFORM DETAILS

- ☒ FIXED SPEED PANEL 240/120 VOLT, 3 PHASE, OPEN DELTA, FULL VOLTAGE MOTOR STARTING, 15 STARTS PER HOUR
- ☐ FIXED SPEED PANEL 480 VOLT, 3 PHASE, FULL VOLTAGE MOTOR STARTING, 15 STARTS PER HOUR
- ☐ 10" 3P VFD PANEL 480/277 VOLT, 3 PHASE, WYE, FULL VOLTAGE MOTOR STARTING, 10 STARTS PER HOUR
- ☐ 3P VFD PANEL 480/277 VOLT, 3 PHASE, WYE, REDUCED VOLTAGE MOTOR STARTING, 10 STARTS PER HOUR

CONCRETE WET WELL DIMENSIONS

WET WELL I.D.	WALL THICKNESS (WA)	TOP SLAB THICKNESS (WB)
8' 0"	0' 8"	0' 10"
10' 0"	1' 0"	1' 0"
12' 0"	1' 0"	1' 0"

POLYMER WET WELL DIMENSIONS

WET WELL I.D.	WALL THICKNESS (WA)	TOP SLAB THICKNESS (WB)
8' 0"	0' 8"	0' 10"
10' 0"	0' 8 1/2"	0' 10"
12' 0"	0' 8"	1' 0"

GENERATOR

MANUFACTURER	AKSA	CATERPILLAR	CUMMINS	GENERAC
MODEL		SKDGC (C44)		
KW		40		

GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH SPECIFICATIONS, SECTION 433, "SUBMERSIBLE SEWAGE PUMPING STATIONS" IN JEA WATER AND SEWER STANDARDS MANUAL.
2. PENETRATION SOIL BORING INFORMATION, TAKEN AT WET WELL LOCATION, SHALL BE SUBMITTED PRIOR TO DESIGN SUBMITTAL. SOIL BORING SHALL BE A MINIMUM OF 15' DEEPER THAN WET WELL BOTTOM OR UNTIL SUITABLE SOIL IS LOCATED UP TO A MAXIMUM OF 25' BELOW WET WELL BOTTOM
3. ALL PIPING WITHIN AND EXTERNAL OF THE WET WELL SHALL BE FLANGED SCHEDULE 40, 316 STAINLESS STEEL. BUTT WELDING OF ANY PIPING (EXCEPT FOR THE EMERGENCY SUCTION PIPE IN THE WET WELL) IS NOT ALLOWED.
4. ALL DUCTILE IRON FITTINGS (90s, 45s, TEES ETC.) WITHIN AND EXTERNAL OF THE WET WELL SHALL BE FLANGED EPOXY LINED.
5. ALL NUTS, BOLTS AND ACCESSORIES WITHIN AND EXTERNAL OF THE WET WELL SHALL BE 316 STAINLESS STEEL AND SHALL BE COATED WITH A "NEVER SEIZE" TYPE COATING
6. ALL EXTERIOR JOINTS OF PRECAST CONCRETE AND PRECAST POLYMER WET WELLS AND MANHOLES SHALL BE SEALED WITH A 18" WIDE RUBBERIZED ASPHALT MEMBRANE TAPE. (SEE JEA SPEC)
7. THE VOID AREAS BETWEEN TOP SLAB AND FORCE MAIN PIPE SHALL BE SEALED W/ EUCOLASTIC BY EUCLID CITEM CO. OR APPROVED EQUAL SEAL. ALL OTHER OPENINGS IN CONCRETE TOP WITH NON SHRINK GROUT, EXCEPT AS DESCRIBED IN NOTE #8. PROVIDE INSECT SCREEN SECURED TO TOP.
8. PROVIDE 8" x 6" OPENING THROUGH THE CONCRETE TOP OF THE WET WELL AND INSERT 8" x 6" x 1 1/2" THICK ALUMINUM GRATE VENT CONSTRUCTED OF 1 1/2" WIDE x 1/2" MATERIAL.
9. PROVIDE 2" PIPE (PVC, SCH. 80) THROUGH CONCRETE TOP WITH CAPPED TOP AD OPEN END BOTTOM SEAL AROUND CONCRETE TOP WITH NON SHRINK GROUT. IN THE FUTURE, THIS PIPE WILL BE UTILIZED FOR THE CONSTRUCTION OF THE AIR RELEASE VALVE PIPING. EXTEND 18" ABOVE THE TOP OF WET WELL.
10. SITE GRADE IS 6" (MIN) BELOW TOP ELEVATION OF PUMP STATION SLAB.
11. IN SILTS, CLAY OR HIGHLY ORGANIC SOILS (FINE-GRAINED SOILS INCLUDING SOIL GROUPS ML, CL, OL, MH, OH AND PT) THE SOILS SHALL BE OVER EXCAVATED AN ADDITIONAL 12" (AT A MIN.) AND BACKFILL WITH GRANULAR BACKFILL (57 STONE)
12. PRECAST CONCRETE WET WELL SHALL MEET A.S.T.M. C-478 STANDARD, ENTIRE INSIDE SURFACE OF WET WELL & TOP SLAB SHALL BE LINED WITH APPROVED LINER. LINER INSTALLER MUST BE CERTIFIED BY LINER MANUFACTURER. SUBMIT CERTIFICATION WITH SHOP DRAWING SUBMITTAL. SEE SPECIFICATIONS. THE EXCAVATED HOLE SHALL BE DRY (DE-WATERED) DURING THE WET WELL INSTALLATION. (SEE WET WELL DIMENSIONS TABLE)
13. PRECAST POLYMER CONCRETE WET WELL SHALL MEET JEA POLYMER PRECAST STANDARD. THE EXCAVATED HOLE SHALL BE DRY (DE-WATERED) DURING THE WET WELL INSTALLATION. (SEE WET WELL DIMENSIONS TABLE)
14. SEE REFERENCE FACILITIES STANDARDS FOR GENERATOR, ATS, BACKFLOW, BOLLARDS AND PAVEMENT SPECIFICATIONS (HTTPS://WWW.JEA.COM/ENGINEERING AND CONSTRUCTION/FACILITIES/)
15. SEE JEA STANDARD SHEETS (AVAILABLE AT JEA.COM) FOR CONSTRUCTION DETAILS OF SPECIFIC COMPONENTS, INCLUDING ELECTRICAL

CONSTRUCTION NOTES:

1. SLOPE SITE CONCRETE 1" PER 8' TO DRAIN TOWARDS STREET OR OTHER ADJACENT CITY OR JEA OWNED DRAINAGE FACILITY. THE DRIVEWAY SLOPE SHALL BE LESS THEN 6%, UNLESS SPECIFICALLY APPROVED BY JEA.
2. CONTRACTOR MUST MAINTAIN LANDSCAPING UNTIL FINAL ACCEPTANCE AND SUPPLY ONE (1) YEAR WARRANTY FROM NURSERY SUPPLYING PLANTS FROM DATE OF ACCEPTANCE.
3. DEMARCATION BOX SHALL BE PLACED AS CLOSE AS POSSIBLE TO WET WELL. IT SHALL BE PLACED AT LEAST 3' FROM WET WELL HATCH AND AT LEAST 5' FROM VENTS. IT SHALL BE PLACED SO AS NOT TO INTERFERE WITH ACCESS TO THE WET WELL OR DISCHARGE APPARATUS, AND DOOR SHALL FACE AWAY FROM WET WELL.
4. SEE GROUNDING PLAN FOR ELECTRICAL SERVICE GROUNDING REQUIREMENTS (SEE GROUNDING DETAIL SHEET).
5. CONTRACTOR MUST KEEP COMPANY SIGN AND PHONE NUMBER ON FENCE UNTIL STATION ACCEPTED.
6. TRANSFORMERS SHALL BE LOCATED ON THE SAME SIDE OF PROPERTY AS METER CAN AND ELECTRICAL PANELS.
7. WET WELL LID SHALL UTILIZE STAPLE ASSEMBLY FOR LOCKING THE WET WELL.

NOTES

CONTRACTOR TO REFERENCE THE LATEST VERSION OF THE FOLLOWING STANDARD DETAIL SHEETS FROM JEA.COM FOR CONSTRUCTION OF THE ELECTRIC COMPONENTS OF THE LIFT STATION:

JEA STANDARD PUMP STATION ELECTRIC DETAILS, ELECTRIC DETAILS, DEMARCATION BOX AND POWER DISTRIBUTION PANEL, SCADA INSTALLATION, PONY PUMP DISTRIBUTED I/O PANEL, SCADA INSTALLATION, GROUNDING PLAN, GROUNDING DETAILS, AND ELECTRIC SINGLE LINE DIAGRAM.

CONTRACTOR TO PROVIDE DETAILS AT JEA PRECONSTRUCTION MEETING TO ADD TO CONSTRUCTION SET. IF CONTRACTOR DOES NOT HAVE THE ABILITY TO PRINT OR DOWNLOAD, CONTRACTOR SHALL CONTACT THE EOR FOR A COPY OF THE DETAILS.

THE PUMP STATION LANDSCAPE PLAN MUST ALSO COMPLY WITH THE REQUIRED [illegible] (D)(E). REFER TO LANDSCAPE PLANS.

THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN

ETM
Engineered - Tilting & Millner, Inc.
Jacksonville, Jacksonville Beach
Nassau County, Fernandina Beach
FBL: [illegible]
JAX: [illegible]
FBL: [illegible]
CA: [illegible] LC: [illegible]
VERSION 4 - SUPPORTED BY REVIT 2019

NO.	DATE	BY	REVISIONS
1			
2			
3			
4			

REGISTERED PROFESSIONAL ENGINEER
NICOLE D. BOLATTE
FLORIDA REGISTRATION NO. 74901

DESIGNED BY: [illegible]
DRAWN BY: [illegible]
CHECKED BY: [illegible]
APPROVED BY: [illegible]
DATE: [illegible]

JEA Building Community

JEA STANDARD CLASS ONE PUMP STATION WITH GENERATOR FOR PEAK FLOWS BETWEEN 0 TO 440 GPM
WILDLIGHT PDP #5 PARCEL 6

NO. SHEETS
PROJ. NO. 19-239-04
SHEET NO.
DATE:
SCALE
DRAWING NO. N/A

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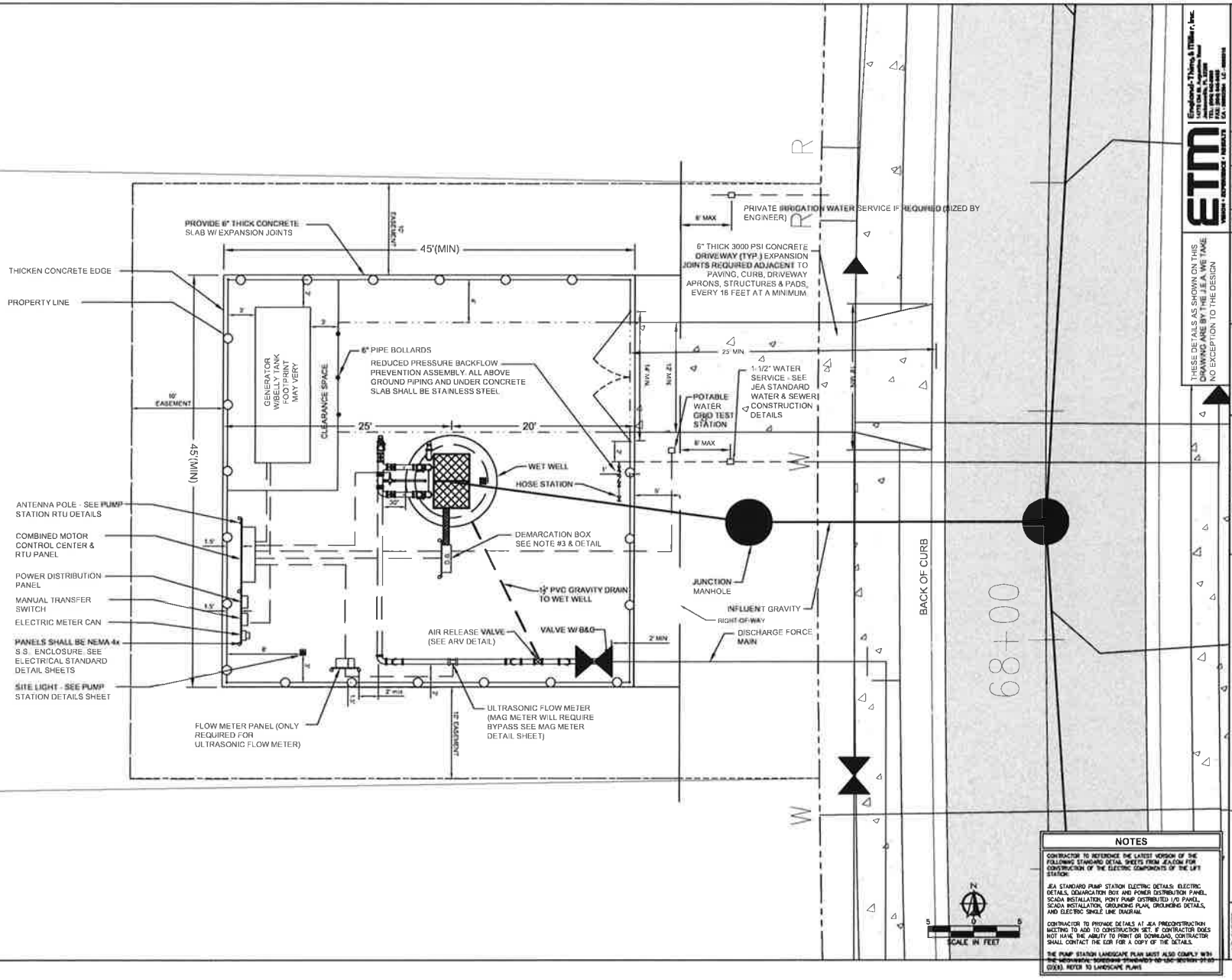

NOTES

CONTRACTOR TO REFERENCE THE LATEST VERSION OF THE FOLLOWING STANDARD DETAIL SHEETS FROM JEA.COM FOR CONSTRUCTION OF THE ELECTRIC COMPONENTS OF THE LIFT STATION:

JEA STANDARD PUMP STATION ELECTRIC DETAILS, ELECTRIC DETAILS, DEMARCATION BOX AND POWER DISTRIBUTION PANEL, SCADA INSTALLATION, PONY PUMP DISTRIBUTED I/O PANEL, SCADA INSTALLATION, GROUNDING PLAN, GROUNDING DETAILS, AND ELECTRIC SINGLE LINE DIAGRAM.

CONTRACTOR TO PROVIDE DETAILS AT JEA PRECONSTRUCTION MEETING TO ADD TO CONSTRUCTION SET. IF CONTRACTOR DOES NOT HAVE THE ABILITY TO PRINT OR DOWNLOAD, CONTRACTOR SHALL CONTACT THE EOR FOR A COPY OF THE DETAILS.

THE PUMP STATION LANDSCAPE PLAN MUST ALSO COMPLY WITH THE ~~LANDSCAPE STANDARDS IN UDC SECTION 31.03 (X)(6)~~. REFER TO LANDSCAPE PLANS.

ETM Engineers • Planners • Surveyors
England-Thims & Miller, Inc.
14775 Old St. Augustine Road
Jacksonville, Florida 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
CERTIFICATE OF AUTHORIZATION NO. 2708
CERTIFICATE OF AUTHORIZATION NO. LC-26000154

NO.	BY	DATE	REVISIONS
4			
3			
2			
1			

THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN

REVIEWED BY
NICOLE D. BOLATETE
LICENSE NO. LA0916 (EXPIRES 02/28/2023)
74281

JEA Building Community

JEA STANDARD CLASS ONE PUMP STATION
WITH GENERATOR
FOR PEAK FLOWS BETWEEN 0 TO 440 GPM
PLAN AND SECTION
WILDLIGHT FDP #3 PARCEL 6

PROJ. NO. 18-238-01
DATE
SCALE
NO. SHEETS
SHEET NO.
DRAWING NO. 485

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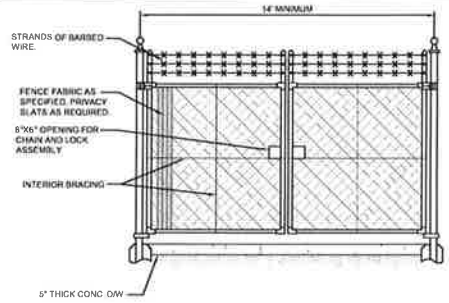
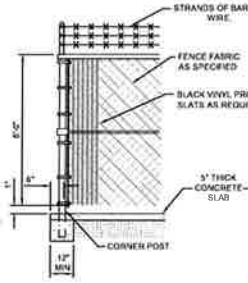
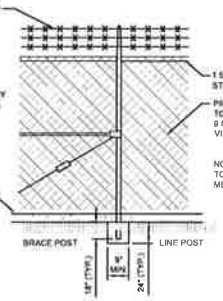


DOUBLE GATE DETAIL



CORNER POST DETAIL



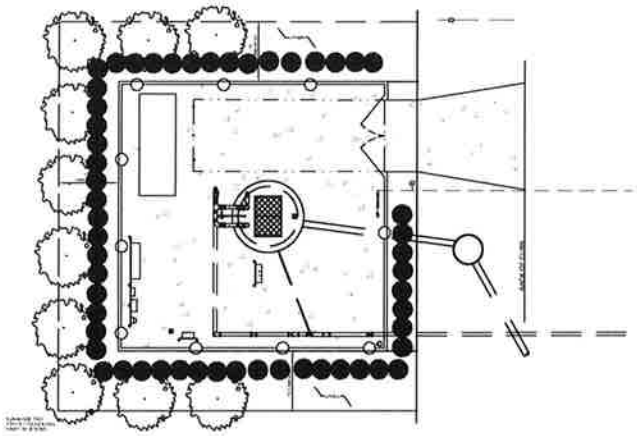
LINE POST DETAIL

FENCE DETAILS

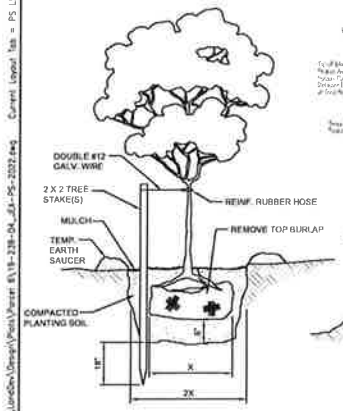
NOT TO SCALE

FENCE NOTES

1. FENCE TO BE INSTALLED AS INDICATED ON SITE PLAN.
2. GATE POST TO BE 4" O.D. PVC COATED GALVANIZED STEEL PIPE. CORNER POST TO BE 3" O.D. PVC COATED GALVANIZED STEEL PIPE. LINE POST TO BE 2 1/2" O.D. PVC COATED GALVANIZED STEEL PIPE.
3. ALL FENCE SHALL BE GROUNDED IN ACCORDANCE WITH JEA GROUNDING STANDARDS.
4. BONDING WIRE BETWEEN GATE POST IS NOT REQUIRED WHERE EXISTING ROAD PAVING OR RAILROAD TRACKS WOULD MAKE INSTALLATION IMPRACTICAL.
5. ALL FENCING SHALL BE IN ACCORDANCE WITH JEA SPECIFICATION NO 482.
6. EMBEDDED CONCRETE PORTION OF FENCE POST SHALL HAVE MASTIC SEAL OR EQUAL COATING TO A MINIMUM OF 6" ABOVE FINISH GRADE.
7. AN INTERIOR DOUBLE 14' WIDE SLIDING/ROLLING GATE IS AN ACCEPTABLE OPTION.
8. FENCE FABRIC SHALL BE KNUCKLED ON TOP AND TWIST ON BOTTOM.
9. ALL FENCING, RAILS, POSTS, BRACKETS, BOLTS ETC WILL BE PVC COATED.
10. CONTACT SECURITYSERVICE@JEA.COM FOR THE LATEST SECURITY FENCE UPDATES.



STANDARD PUMP STATION SITE

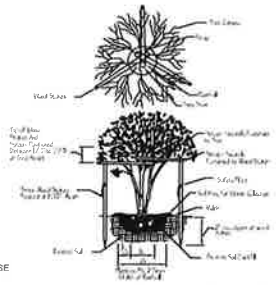


NOTES:

1 STAKE FOR TREES 2" CAL. & LESS
2 STAKES FOR TREES 2 1/2" - 4" CAL.
3 STAKES FOR TREES GREATER THAN 4" CAL.

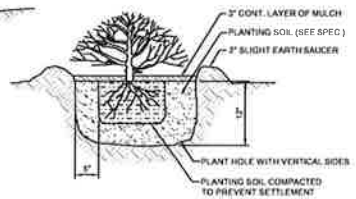
TREE PLANTING DETAIL

NOT TO SCALE



MULTI-TRUNK TREE PLANTING

NOT TO SCALE



NOTE: REMOVE CONTAINER BEFORE PLANTING.

CONTAINER GROWN SHRUB DETAIL

NOT TO SCALE

NOTES

CONTRACTOR TO REFERENCE THE LATEST VERSION OF THE FOLLOWING STANDARD DETAIL SHEETS FROM JEA.COM FOR CONSTRUCTION OF THE ELECTRIC COMPONENTS OF THE LIFT STATION:

JEA STANDARD PUMP STATION ELECTRIC DETAILS; ELECTRIC DETAILS, DEMARCATION BOX AND POWER DISTRIBUTION PANEL, SCADA INSTALLATION, PONY PUMP DISTRIBUTED I/O PANEL, SCADA INSTALLATION, GROUNDING PLAN, GROUNDING DETAILS, AND ELECTRIC SINGLE LINE DIAGRAM.

CONTRACTOR TO PROVIDE DETAILS AT JEA PRECONSTRUCTION MEETING TO ADD TO CONSTRUCTION SET. IF CONTRACTOR DOES NOT HAVE THE ABILITY TO PRINT OR DOWNLOAD, CONTRACTOR SHALL CONTACT THE EOR FOR A COPY OF THE DETAILS.

THE PUMP STATION LANDSCAPE PLAN MUST ALSO COMPLY WITH THE MECHANICAL SCREENING STANDARDS OF LDC SECTION 37.05 (D)(6). REFER TO LANDSCAPE PLANS.

THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN

ETM

NO.	BY	DATE	REVISIONS
4			
3			
2			
1			LICENSE PLANS

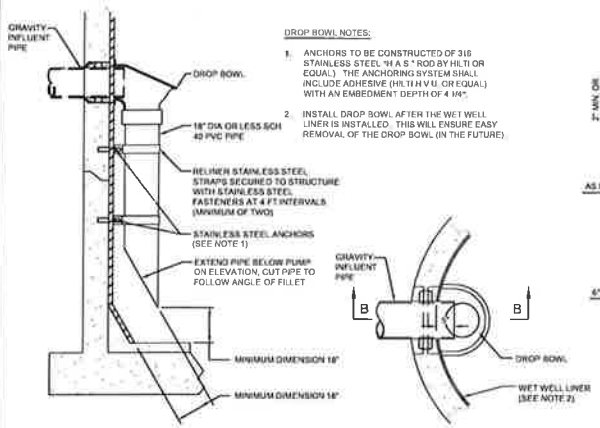
PROJECT MANAGER: NICOLE D. SOLATTE
FLORIDA PE LICENSE NO. 74021

JEA Building Community

JEA STANDARD PUMP STATION LANDSCAPE PLAN
WILDLIGHT PDP #3 PARCEL 6

PROJ. NO. 19-239-04
DATE
SCALE
NO. SHEETS
SHEET NO.
DRAWING NO. 1802

J:\2019\19-239\19-239-04\LandDev\Design\Plans\Parcel 6\19-239-04_JEA-PS-2022.dwg Current Layout Tab = PS LS Plan Thu, Feb 09, 2023 - 16:43

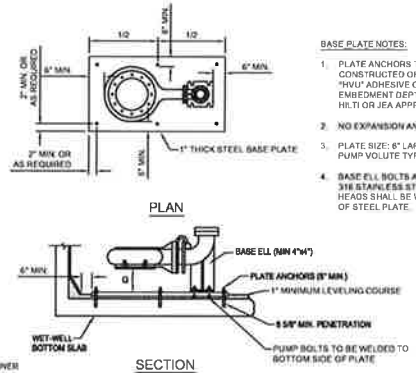


DROP BOWL NOTES:

1. ANCHORS TO BE CONSTRUCTED OF 316 STAINLESS STEEL "H A S " ROD BY HILTI OR EQUAL) THE ANCHORING SYSTEM SHALL INCLUDE ADHESIVE (HILTI H V U, OR EQUAL) WITH AN EMBEDMENT DEPTH OF 4 1/4".
2. INSTALL DROP BOWL AFTER THE WET WELL LINER IS INSTALLED. THIS WILL ENSURE EASY REMOVAL OF THE DROP BOWL (IN THE FUTURE)

DROP BOWL DETAIL

NOT TO SCALE

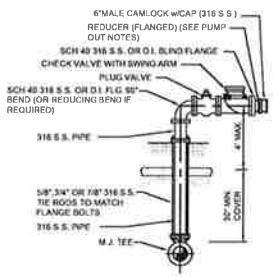


BASE PLATE NOTES:

1. PLATE ANCHORS TO BE 3/4" DIAMETER, CONSTRUCTED OF 316 S.S. (H.A.S. NO2) w/ "HVU" ADHESIVE CAPSULE PROVIDING AN EMBEDMENT DEPTH OF 6 5/8". ACCEPTABLE: HILTI OR JEA APPROVED EQUAL.
2. NO EXPANSION ANCHORS ALLOWED.
3. PLATE SIZE: 6" LARGER THAN BASE ELL & PUMP VOLUTE TYP. ALL AROUND.
4. BASE ELL BOLTS AND STUDS TO BE TYPE 316 STAINLESS STEEL. S. BASE ELL BOLT HEADS SHALL BE WELDED TO UNDER SIDE OF STEEL PLATE.

SUBMERSIBLE PUMP BASE PLATE DETAIL

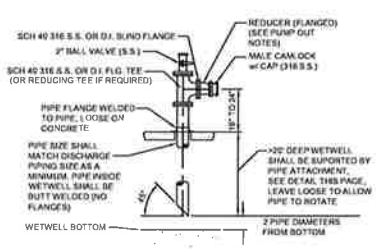
NOT TO SCALE



FOR FLOWS GREATER THAN 1000 GPM OR DISCHARGE PIPING GREATER THAN 6"

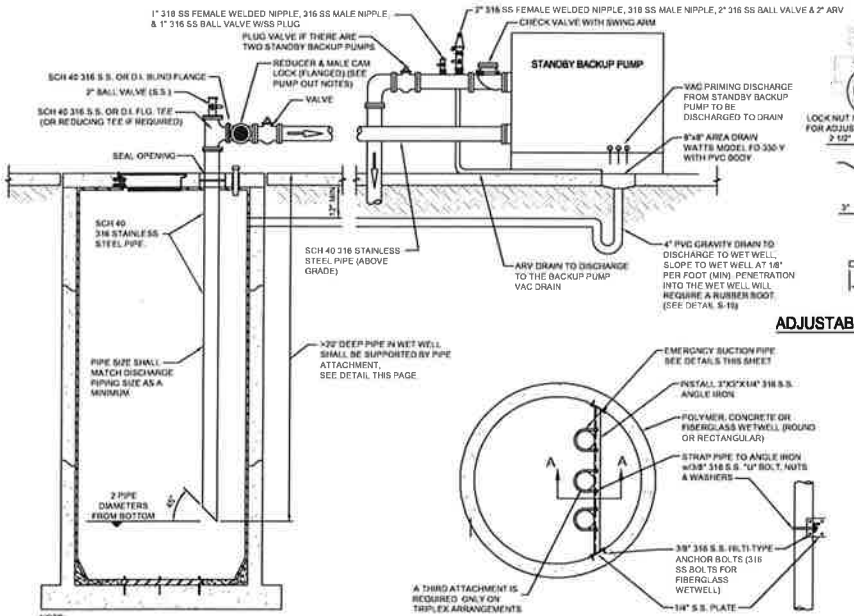
FREE STANDING PUMP OUT DETAIL

NOT TO SCALE



EMERGENCY SUCTION PIPE DETAIL

NOT TO SCALE

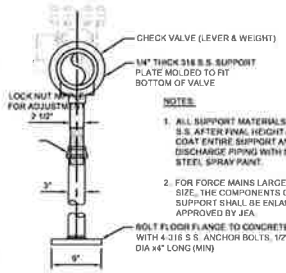


NOTE:
ENGINEER SHALL BE RESPONSIBLE FOR SIZING PIPING FOR NET POSITIVE SUCTION HEAD REQUIRED.

THE ABOVE PIPING IS SHOWN FOR CLARITY, SEE PLAN VIEW FOR PIPE ORIENTATION

WETWELL CONNECTION TO STANDBY BACKUP PUMP DETAIL

NOT TO SCALE

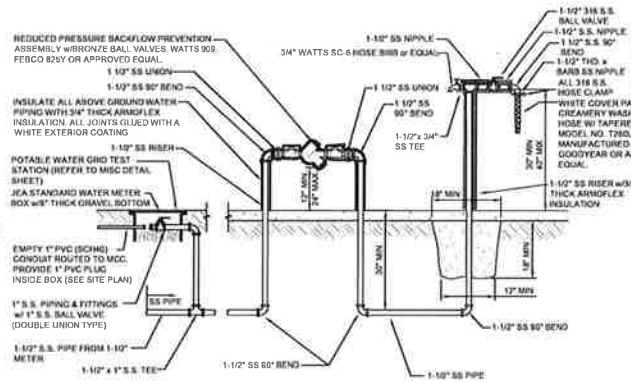


NOTES:

1. ALL SUPPORT MATERIALS SHALL BE 316 S.S. AFTER FINAL HEIGHT ADJUSTMENT, COAT ENTIRE SUPPORT AND DISCHARGE PIPING WITH STAINLESS STEEL SPRAY PAINT.
2. FOR FORCE MAINS LARGER THAN 10" SIZE,, THE COMPONENTS OF THE VALVE SUPPORT SHALL BE ENLARGED AS APPROVED BY JEA.

ADJUSTABLE VALVE SUPPORT DETAIL

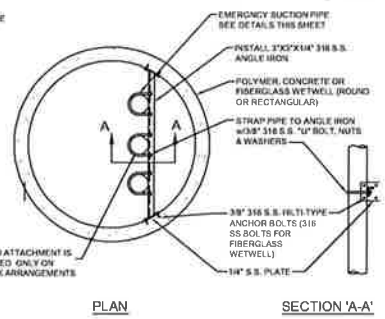
NOT TO SCALE



NOTE:
1. ALL PIPING ABOVE AND UNDER CONCRETE SLAB SHALL BE 316 SS SCHEDULE 40.
2. ALL EXTERNAL LONG RUNS OF PIPE SHALL BE SCHEDULE 80 PVC.

1-1/2" HOSE STATION DETAIL

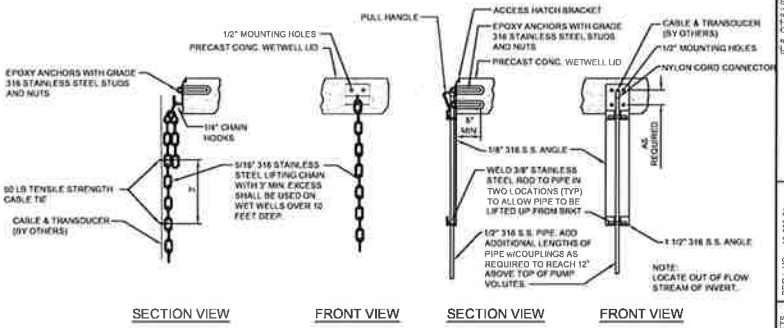
NOT TO SCALE



PIPE ATTACHMENT TO WALL DETAIL

REQUIRED FOR ALL PUMPING STATIONS WITH WETWELL 20' DEEP AND GREATER (INSTALLED PRIOR TO SPECIALTY LINER)

NOT TO SCALE



TRANSDUCER BRACKET DETAIL

NOT TO SCALE

THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN

NO.	BY	DATE	REVISIONS
4			
3			
2			
1			

ETM — England-Thims & Miller, Inc.

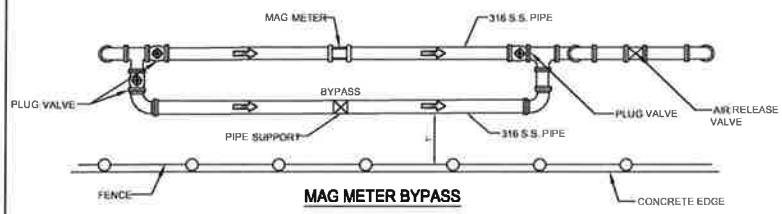
JEA — Building Community

JEA STANDARD CONSTRUCTION DETAILS
MISCELLANEOUS DETAILS
WILDLIGHT PDP #3 PARCEL 6

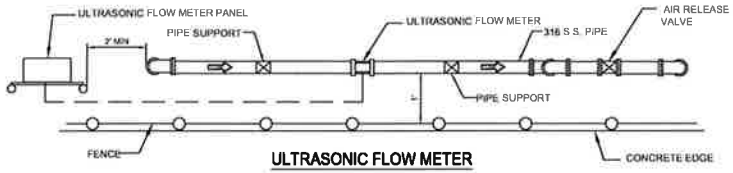
PUMP STATION CONSTRUCTION DETAILS

NICOLE D. BOLATETE
74821

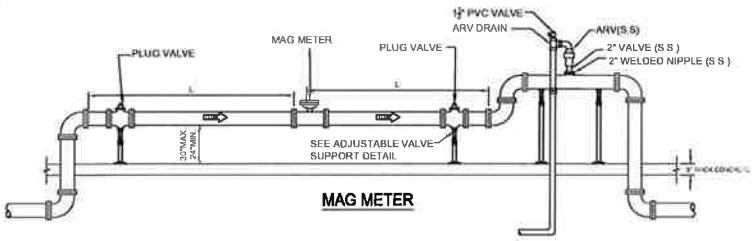
PROJ. NO. 18-239-03
DATE
SCALE
NO. SHEETS
SHEET NO.
DRAWING NO. 8B3



MAG METER BYPASS



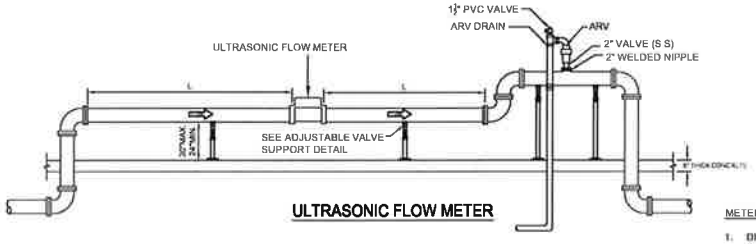
ULTRASONIC FLOW METER



MAG METER

MAG METER DETAIL

NOT TO SCALE



ULTRASONIC FLOW METER

METER NOTES:

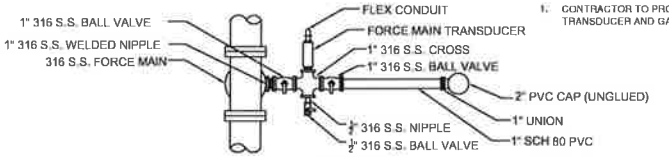
1. DIMENSION "L" TO BE DESIGNED BY ENGINEER.

ULTRASONIC FLOW METER DETAIL

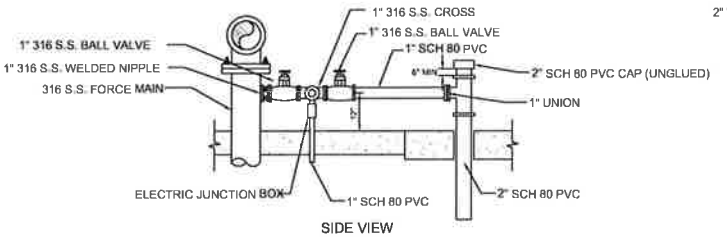
NOT TO SCALE

NOTES:

1. CONTRACTOR TO PROVIDE AND INSTALL TRANSDUCER AND GAUGE PER JEA SPECIFICATIONS.



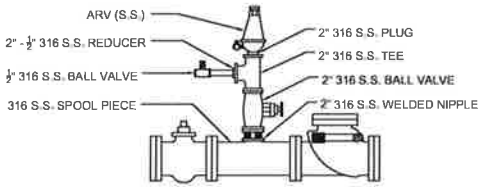
TOP VIEW



SIDE VIEW

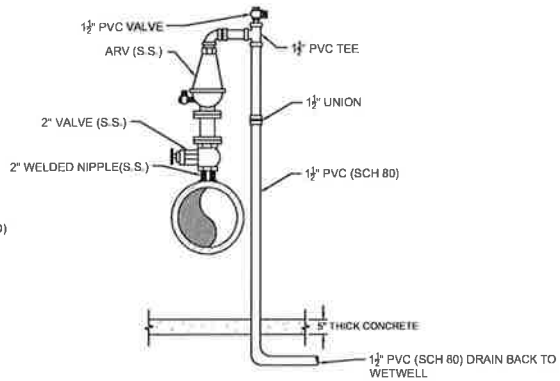
FORCE MAIN TRANSDUCER DETAIL

NOT TO SCALE



DISCHARGE ARV DETAIL

NOT TO SCALE



ARV DRAIN DETAIL

NOT TO SCALE

ETM

THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN

NICOLE D. BOLATETE

7401

JEA Building Community

PUMP STATION CONSTRUCTION DETAILS
MISCELLANEOUS DETAILS 2
WILDLIGHT PDP #3 PARCEL 6

PROJ. NO. 19-239-01

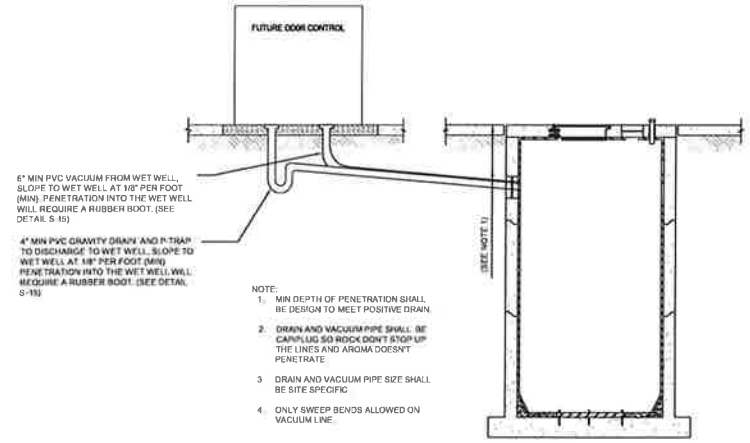
NO. SHEETS

SHEET NO.

DATE

SCALE

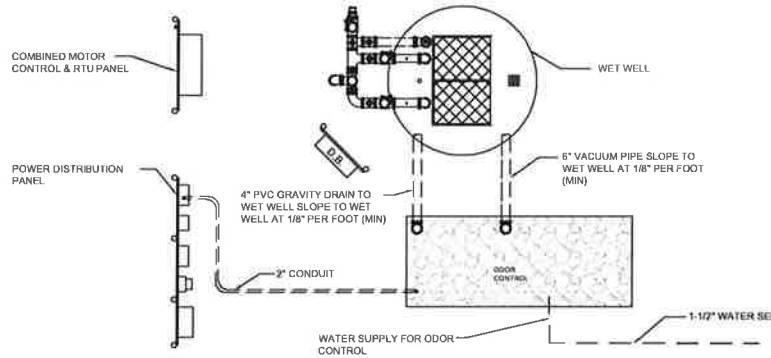
DRAWING NO. 16E



NOTE:
1. MIN DEPTH OF PENETRATION SHALL BE DESIGN TO MEET POSITIVE DRAIN.
2. DRAIN AND VACUUM PIPE SHALL BE CAPPLUG SO ROCK DON'T STOP UP THE LINES AND AROMA DOESN'T PENETRATE
3. DRAIN AND VACUUM PIPE SIZE SHALL BE SITE SPECIFIC
4. ONLY SWEEP BENDS ALLOWED ON VACUUM LINE

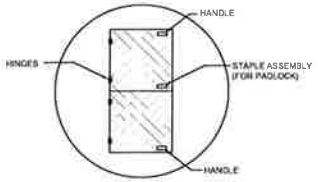
ODOR CONTROL DRAIN AND VACUUM CONNECTION TO WET WELL DETAIL

NOT TO SCALE



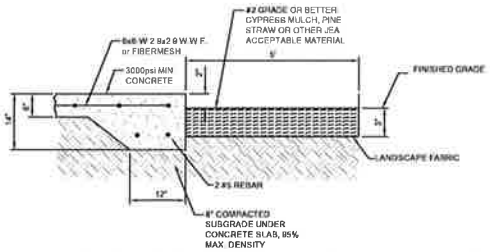
ODOR CONTROL STUB OUT DETAIL

NOT TO SCALE



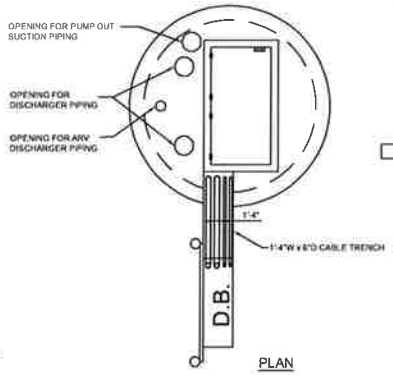
WET WELL HATCH DETAIL

NOT TO SCALE

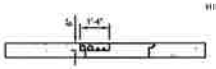


CONCRETE SLAB AND GROUND COVER DETAIL

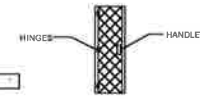
NOT TO SCALE



PLAN



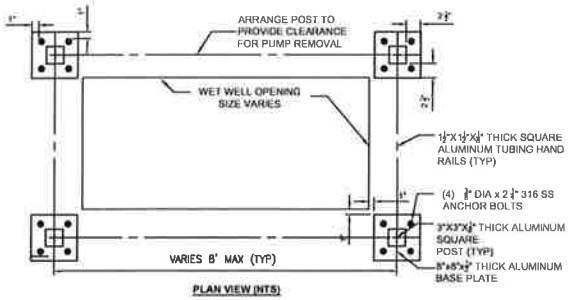
SECTION

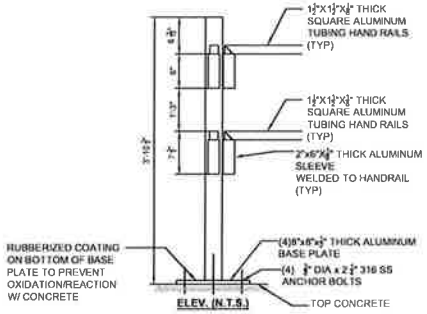


CHASE HATCH DETAIL

DEMARCATION BOX WIRE CHASE DETAIL

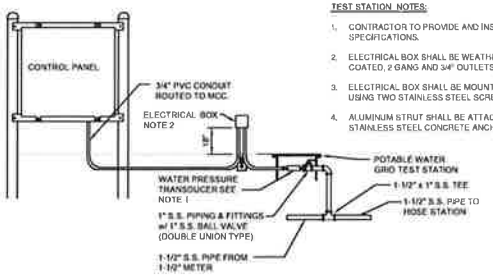
NOT TO SCALE





PUMP STATION HANDRAIL DETAIL

NOT TO SCALE



TEST STATION NOTES:

1. CONTRACTOR TO PROVIDE AND INSTALL TRANSDUCER PER JEA SPECIFICATIONS.
2. ELECTRICAL BOX SHALL BE WEATHERPROOF, ALUMINUM, GRAY POWDER COATED, 2 GANG AND 3/4" OUTLETS.
3. ELECTRICAL BOX SHALL BE MOUNT ON A 1/2" x 3" WIDE ALUMINUM STRUT USING TWO STAINLESS STEEL SCREWS.
4. ALUMINUM STRUT SHALL BE ATTACHED TO SLAB USING 3 RED HEAD STAINLESS STEEL CONCRETE ANCHORS.

WATER TEST STATION DETAIL

NOT TO SCALE

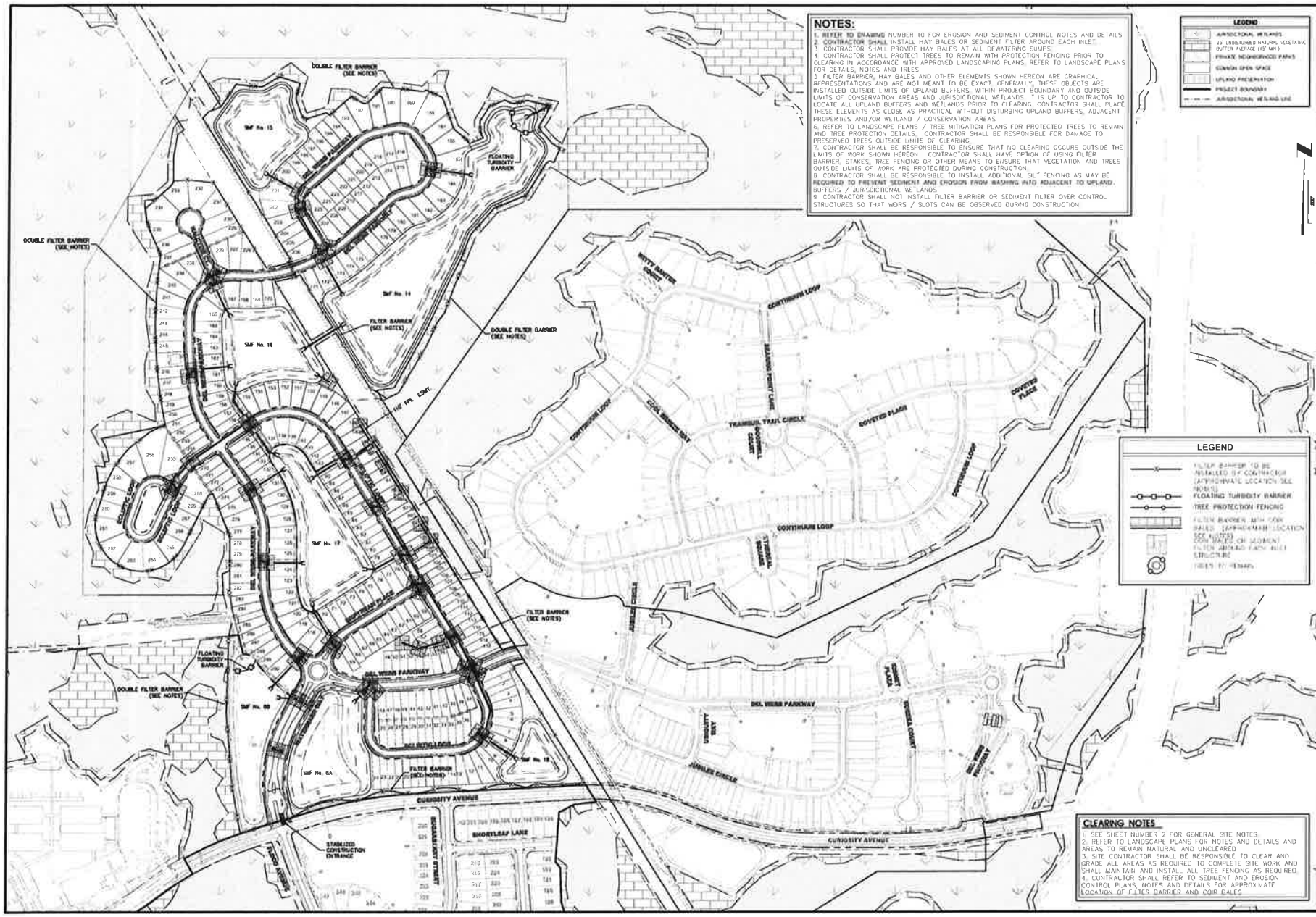
THESE DETAILS AS SHOWN ON THIS DRAWING ARE BY THE J.E.A. WE TAKE NO EXCEPTION TO THE DESIGN

NICOLE D. SCATETTE
74921

JEA Building Community

JEA STANDARD
PUMP STATION CONSTRUCTION DETAILS
MISCELLANEOUS DETAILS 2
WILDLIGHT PDP #3 PARCEL 6

PROJ. NO. 19-239-01
DATE
SCALE
NO. SHEETS
SHEET NO.
DRAWING NO. 18F



NOTES:

1. REFER TO DRAWING NUMBER 10 FOR EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
2. CONTRACTOR SHALL INSTALL HAY BALES OR SEDIMENT FILTER AROUND EACH INLET.
3. CONTRACTOR SHALL PROVIDE HAY BALES AT ALL DEWATERING SUMPS.
4. CONTRACTOR SHALL PROTECT TREES TO REMAIN WITH PROTECTION FENCING PRIOR TO CLEARING IN ACCORDANCE WITH APPROVED LANDSCAPING PLANS. REFER TO LANDSCAPE PLANS FOR DETAILS, NOTES AND TREES.
5. FILTER BARRIER, HAY BALES AND OTHER ELEMENTS SHOWN HEREON ARE GRAPHICAL REPRESENTATIONS AND ARE NOT MEANT TO BE EXACT. GENERALLY, THESE OBJECTS ARE INSTALLED OUTSIDE LIMITS OF UPLAND BUFFERS, WITHIN PROJECT BOUNDARY AND OUTSIDE LIMITS OF CONSERVATION AREAS AND JURISDICTIONAL WETLANDS. IT IS UP TO CONTRACTOR TO LOCATE ALL UPLAND BUFFERS AND WETLANDS PRIOR TO CLEARING. CONTRACTOR SHALL PLACE THESE ELEMENTS AS CLOSE AS PRACTICAL WITHOUT DISTURBING UPLAND BUFFERS, ADJACENT PROPERTIES AND/OR WETLAND / CONSERVATION AREAS.
6. REFER TO LANDSCAPE PLANS / TREE MITIGATION PLANS FOR PROTECTED TREES TO REMAIN AND TREE PROTECTION DETAILS. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO PRESERVED TREES OUTSIDE LIMITS OF CLEARING.
7. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT NO CLEARING OCCURS OUTSIDE THE LIMITS OF WORK SHOWN HEREON. CONTRACTOR SHALL HAVE OPTION OF USING FILTER BARRIER, STAKES, TREE FENCING OR OTHER MEANS TO ENSURE THAT VEGETATION AND TREES OUTSIDE LIMITS OF WORK ARE PROTECTED DURING CONSTRUCTION.
8. CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL ADDITIONAL SILT FENCING AS MAY BE REQUIRED TO PREVENT SEDIMENT AND EROSION FROM WASHING INTO ADJACENT TO UPLAND BUFFERS / JURISDICTIONAL WETLANDS.
9. CONTRACTOR SHALL NOT INSTALL FILTER BARRIER OR SEDIMENT FILTER OVER CONTROL STRUCTURES SO THAT WEIRS / SLOTS CAN BE OBSERVED DURING CONSTRUCTION.

CLEARING NOTES

1. SEE SHEET NUMBER 2 FOR GENERAL SITE NOTES.
2. REFER TO LANDSCAPE PLANS FOR NOTES AND DETAILS AND AREAS TO REMAIN NATURAL AND UNCLEARED.
3. SITE CONTRACTOR SHALL BE RESPONSIBLE TO CLEAR AND GRADE ALL AREAS, AS REQUIRED TO COMPLETE SITE WORK AND SHALL MAINTAIN AND INSTALL ALL TREE FENCING AS REQUIRED.
4. CONTRACTOR SHALL REFER TO SEDIMENT AND EROSION CONTROL PLANS, NOTES AND DETAILS FOR APPROXIMATE LOCATION OF FILTER BARRIER AND COIR BALES.

PLANS PREPARED UNDER THE DIRECTION OF:

REG. J.D. MILLIGAN
P.E. NUMBER 43531

REVISIONS

TM NO. 19-239-3A	
DRAWN BY: A.C.C.	
DESIGNED BY: M.J.D.M.	
CHECKED BY: M.J.D.M.	
DATE: OCTOBER 2022	

ETM
Engineered Transportation Methods, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
REG. CBA - LC - 0000026
VISION • EXPERIENCE • RESULTS

SEDIMENT AND EROSION CONTROL PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
19

PLOTTED: February 8, 2023 - 4:43 PM BY: M. Dunn

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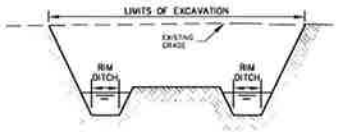
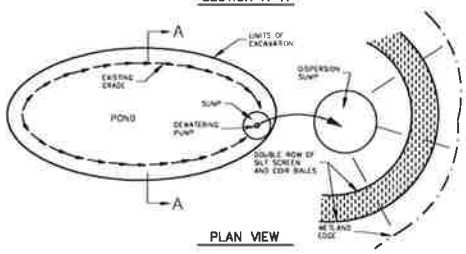
SEDIMENT AND EROSION CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED
3. ADDITIONAL PROTECTION – ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS
4. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE
5. WIRE MESH SHALL BE LAID OVER THE DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS REQUIRED, THE STRIPS SHALL BE OVERLAPPED.
6. FOOT NO. 1 COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH AS INDICATED ON SEDIMENT FILTER DETAIL (SEE DETAIL THIS SHEET). THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
7. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED
8. BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH THE BINDINGS ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES
9. BALES SHALL BE PLACED LENGTHWISE IN A SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER
10. FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 4 INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER
11. EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE.
12. LOOSE COIR SHOULD BE WEDGED BETWEEN BALES TO PREVENT WATER FROM ENTERING BETWEEN BALES.
13. COIR BALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL
14. CLOSE ATTENTION SHALL BE GIVEN TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.
15. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
16. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. IT MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER
17. ANY SEDIMENT DEPOSITS REMAINING IN PLACE, AFTER THE COIR BALE OR FILTER BARRIERS, AND OR SILT FENCES ARE NO LONGER REQUIRED, SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED
18. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY
19. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED IMMEDIATELY.
20. STRUCTURES SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS REQUIRED
21. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE
22. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT RULES AND REGULATIONS
23. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL – A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION (F.D.E.P.) CHAPTER 6
24. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. SEE DETAILS (THIS SHEET) FOR TYPICAL CONSTRUCTION
25. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED
26. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
27. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
28. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED AND MULCHED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED. CONTRACTOR SHALL USE ADDITIONAL MEASURES TO STABILIZE DISTURBED AREAS THROUGH COMPACTION, SILT SCREENS, HAY BALES, AND GRASSING ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOLID SOD
29. ALL DEWATERING, EROSION, AND SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL AFTER COMPLETION OF CONSTRUCTION, AND REMOVED ONLY WHEN AREAS HAVE BEEN STABILIZED
30. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS
31. THE CONTRACTOR SHALL BE REQUIRED TO RESPOND TO ALL WATER MANAGEMENT DISTRICT INQUIRIES, RELATIVE TO COMPLIANCE OF SJRWMD FOR EROSION AND SEDIMENTATION CONTROL. THE COST OF THIS COMPLIANCE SHALL BE PART OF THE CONTRACT
32. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS AND PRESERVATION EASEMENTS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A PERMANENT STAND OF SOD AND/OR GRASS PER THE CONTRACT DOCUMENTS. THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND NASSAU COUNTY, FLORIDA AND MEETING THE MINIMUM FINAL STABILIZATION REQUIREMENTS
34. THESE PLANS INCLUDING THE POLLUTION PREVENTION PLAN INDICATE THE MINIMUM EROSION & SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL – A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (F.D.E.P.) CHAPTER 6. CONTRACTOR SHALL PROVIDE EROSION PROTECTION AND TURBIDITY CONTROL AS REQUIRED TO INSURE CONFORMANCE TO STATE AND FEDERAL WATER QUALITY STANDARDS AND MAY NEED TO INSTALL ADDITIONAL CONTROLS TO CONFORM TO AGENCIES REQUIREMENTS. IF A WATER QUALITY VIOLATION OCCURS, THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ALL DAMAGE AND ALL COSTS WHICH MAY RESULT INCLUDING LEGAL FEES, CONSULTANT FEES, CONSTRUCTION COSTS AND FINES
35. 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR WILL SUBMIT A "NOTICE OF INTENT" TO THE EPA IN ACCORDANCE WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM RULES AND REGULATIONS (FOR ANY CONSTRUCTION NOT COVERED BY THE OWNER'S "NOTICE OF INTENT" PERMIT)



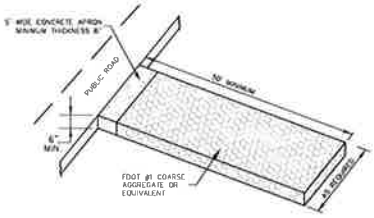
SECTION A–A



PLAN VIEW

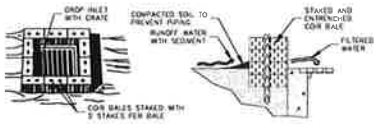
TEMPORARY DEWATERING DETAIL

N.T.S



STABILIZED CONSTRUCTION ENTRANCE

N.T.S

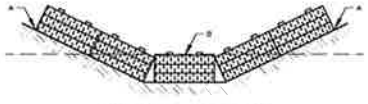


SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 cfs) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS

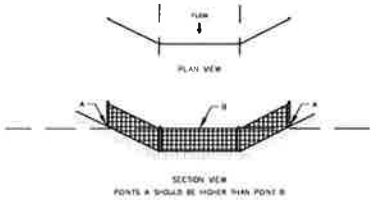
COIR BALE DROP INLET SEDIMENT FILTER

N.T.S



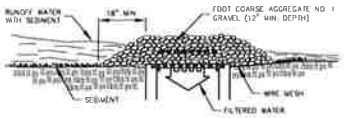
PROPER PLACEMENT OF COIR BALE IN A DRAINAGE WAY

N.T.S



PROPER PLACEMENT OF A FILTER BARRIER IN DRAINAGE WAY

N.T.S

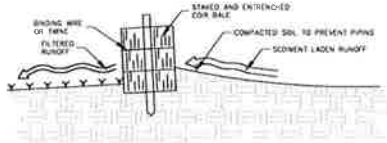


SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS

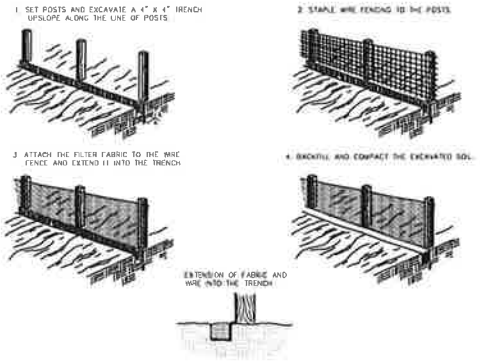
GRAVEL AND WIRE MESH DROP INLET SEDIMENT FILTER

N.T.S



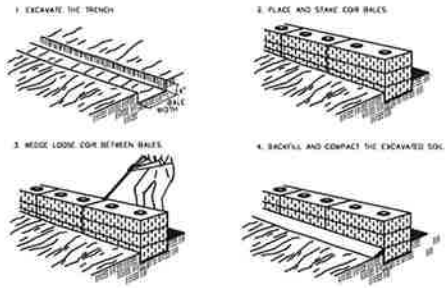
CROSS-SECTION OF A PROPERLY INSTALLED COIR BALE

N.T.S



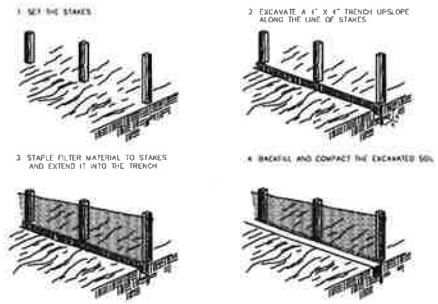
CONSTRUCTION OF SILT FENCE

N.T.S



CONSTRUCTION OF A COIR BALE BARRIER

N.T.S



CONSTRUCTION OF A FILTER BARRIER

N.T.S

PLANS PREPARED UNDER THE DIRECTION OF

NEAL J.D. MELIGAN
P.E. NUMBER 43931

PLOTTED February 8, 2023 – 4:43 PM, BY: A. Dyer

REVISIONS

JOB NO. 18-238-04	
DRAWN BY: A.C.D.	
DESIGNED BY: N.J.D.M.	
CHECKED BY: N.J.D.M.	
DATE: OCTOBER 2022	

Engineering Training & Management, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8550
FAX: (904) 642-8551
CA - 0000284 LC - 0000016
ETM
VISION • EXPERIENCE • RESULTS

SEDIMENT AND EROSION CONTROL DETAILS

WILDLIGHT POD #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER

20

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OWNER'S REQUIREMENTS

SITE DESCRIPTION

PROJECT NAME AND LOCATION:
WILDLIGHT PDP #3 PARCEL 6
NASSAU COUNTY, FLORIDA

OWNER/DEVELOPER NAME AND ADDRESS:
PULTE HOME COMPANY, LLC
12724 GRAN BAY PARKWAY W
JACKSONVILLE, FLORIDA 32258

DESCRIPTION:

THIS PROJECT WILL CONSIST OF:

CONSTRUCTION OF A SINGLE FAMILY RESIDENTIAL SUBDIVISION DEVELOPMENT. CONSTRUCTION WILL CONSIST OF INSTALLATION OF UNDERGROUND UTILITIES, CLEARING, GRADING, STORMWATER MANAGEMENT FACILITIES ROADWAYS, PARKING AREAS, PARKS AND ASSOCIATED CONSTRUCTION

SOIL DISTURBING ACTIVITIES WILL INCLUDE:
CLEARING AND GRUBBING; INSTALLING A STABILIZED CONSTRUCTION ENTRANCE, PERIMETER, AND OTHER EROSION AND SEDIMENT CONTROLS, GRADING, EXCAVATION FOR THE SEDIMENTATION POND, STORM SEWER, UTILITIES, AND BUILDING FOUNDATION, CONSTRUCTION OF CURB AND GUTTER, ROAD, AND PARKING AREAS, AND PREPARATION FOR FINAL PLANTING AND SEEDING

GENERALIZED RUNOFF CURVE NUMBERS (REFER TO DRAINAGE CALCULATIONS FOR ACTUAL CURVE NUMBER FOR EACH BASIN)

1. PRE-CONSTRUCTION = TBD
2. DURING CONSTRUCTION = TBD
3. POST-CONSTRUCTION = TBD

SOILS:
* SEE ATTACHED FOR SOILS DATA

SITE MAPS:

* SEE ATTACHED SHEET No. FOR POST DEVELOPMENT GRADES AREAS OF SOILS, DISTURBANCE, LOCATION OF SURFACE WATERS, WETLANDS, PROTECTED AREAS, MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS AND STORM WATER DISCHARGE POINTS
* SEE ATTACHED SHEET No 19 THROUGH FOR LOCATION OF TEMPORARY STABILIZATION PRACTICES, AND TURBIDITY BARRIERS

SITE AREA

1. TOTAL AREA OF SITE = 132.36 AC±
2. TOTAL AREA TO BE DISTURBED = 62.24 AC±

NAME OF RECEIVING WATERS: Plummers Creek

CONTROLS

THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN OFF. SHEET No. 9 AND 18 HAVE BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL AND MAINTAIN THE CONTROLS AS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS. REFER TO 'CONTRACTORS REQUIREMENTS' FOR A VERBAL DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.

AREAS WHICH ARE NOT DEVELOPED BUT WILL BE REGRADED SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE.

REFER TO " CONTRACTORS REQUIREMENTS" FOR THE TIMING OF CONTROL/MEASURES

CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS

IN AN EFFORT TO ENSURE COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS REGARDING EROSION AND TURBIDITY CONTROLS, THE FOLLOWING PERMITS HAVE BEEN OBTAINED:

D.E.P. DREDGE/FILL PERMIT #_____
C.O.E. DREDGE/FILL PERMIT #_____
S.J.R.W.M.D. W.S.S.R. PERMIT #_____

POLLUTION PREVENTION PLAN CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNED: _____

TITLE: _____
CORPORATE OFFICER, GENERAL PARTNER, PROPRIETOR, EXECUTIVE OFFICER, OR RANKING ELECTED OFFICIAL

DATE: _____

CONTRACTOR'S REQUIREMENTS

GENERAL

THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULANTS TO THE RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION

SEQUENCE OF MAJOR ACTIVITIES

THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE
2. INSTALL SILT FENCES AND HAY BALES AS REQUIRED
3. CLEAR AND GRUB FOR DIVERSION SWALES/DIKES AND SEDIMENT BASIN
4. CONSTRUCT SEDIMENTATION BASIN
5. CONTINUE CLEARING AND GRUBBING
6. STOCK PILE TOP SOIL IF REQUIRED
7. PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED
8. STABILIZE DENUDED AREAS AND STOCKPILES AS SOON AS PRACTICABLE
9. INSTALL UTILITIES, STORM SEWER, CURBS & GUTTER
10. APPLY BASE TO PARKING AREAS
11. COMPLETE GRADING AND INSTALL PERMANENT SEEDING/SOD AND PLANTING
12. COMPLETE FINAL PAVING
13. REMOVE ACCUMULATED SEDIMENT FROM BASINS
14. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALES/DIKES AND RESTEP/SOD AS REQUIRED

NOTE: VERTICAL CONSTRUCTION OF THE BUILDING WILL BE TAKING PLACE DURING ALL THE SEQUENCE STEPS LISTED ABOVE

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND HAY BALES, STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDANCE WITH THE PLANS. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAPS AND THE EARTH DIKE/SWALES WILL BE REGRADED/REMOVED AND STABILIZED IN ACCORDANCE WITH THE SEDIMENT AND EROSION CONTROL PLAN (DRAWING NO 19).

CONTROLS

IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE EROSION AND SEDIMENT CONTROL PLAN AND AS REQUIRED TO MEET THE SEDIMENT AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.

EROSION AND SEDIMENT CONTROLS

STABILIZATION PRACTICES

1. STRAW BALE BARRIER: STRAW BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
   A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT
   B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES
   C. WHERE EFFECTIVENESS LASTS LESS THAN 3 MONTHS
   D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT
2. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
   A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT
   B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES
3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.
4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED STABILIZED AREAS. THIS PRACTICE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL LIP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE
5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.
6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREAS WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS
7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET
8. TEMPORARY SEEDING: AREAS GRADED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 7 DAYS SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER CONFLICT WITH THE PERMANENT GRASSING
9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH
10. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER
11. TEMPORARY REGRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER
12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED
13. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES
14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDED AND MULCHED OR SODDED

STRUCTURAL PRACTICES

1. TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.
2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP IS USUALLY INSTALLED IN AN DRAINAGEWAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA WITH THE FOLLOWING LIMITATIONS
   A. THE SEDIMENT TRAP MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE
3. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE VELOCITY OF FLOW AT DESIGN CAPACITY OF THE OUTLET WILL EXCEED THE PERMISSIBLE VELOCITY OF THE RECEIVING CHANNEL OR AREA
4. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE. THE 3,600 CUBIC FEET OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS FROM ONSITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION

OTHER CONTROLS

WASTE DISPOSAL

WASTE MATERIALS
ALL WASTE MATERIALS (EXCEPT LAND CLEARING DEBRIS) SHALL BE COLLECTED AND STORED IN A SECURELY LOADED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED

HAZARDOUS WASTE
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED

SANITARY WASTE
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS

OFFSITE VEHICLE TRACKING
A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEPT DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION.

Concrete	Fertilizers	Wood
Asphalt	Petroleum Based Products	Masonry Blocks
Tar	Cleaning Solvents	Roofing Materials
Detergents	Paints	Metal Studs

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES
THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF

GOOD HOUSEKEEPING
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT

* AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB
* ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE
* PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL
* SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER
* WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER
* MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED
* THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL

HAZARDOUS PRODUCTS
THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

* PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
* ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
* IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED

PRODUCT SPECIFIC PRACTICES
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE.

PETROLEUM PRODUCTS
ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS

FERTILIZERS
FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS

PAINTS
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS

CONCRETE TRUCKS
CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO: BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (E.G. KITTY LITTER OR EQUAL), SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ONSITE.

MAINTENANCE/INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

* NO MORE THAN 10 ACRES OF THE SITE WILL BE DENUDED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER
* ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER
* ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT
* BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE
* SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND
* THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB
* DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED
* TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH
* A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM SHALL BE COMPLETED BY THE INSPECTOR. THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND AND EROSION PLANS, OR STORM WATER MANAGEMENT PLANS. THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED. THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE
* THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.
* PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER

NON-STORM WATER DISCHARGES

* IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:
* WATER FROM WATER LINE FLUSHING
* PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED)
* UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION)

ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION

DEWATERING

PRIOR TO ANY DISCHARGE OF GROUND WATER (DEWATERING) FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT TO WATERS OF THE STATE (INCLUDING, BUT NOT LIMITED TO WETLANDS, SWALES AND MUNICIPAL STORM SEWERS), THE CONTRACTOR SHALL TEST THE EFFLUENT (WATER TO BE DISCHARGED) IN ACCORDANCE WITH RULE 62-621.300(2), F.A.C. IF THE TEST RESULTS ON THE EFFLUENT ARE BELOW THE SCREENING VALUES OF RULE 62-621.300(2) F.A.C. THE CONTRACTOR SHALL SUBMIT A SUMMARY OF THE PROPOSED CONSTRUCTION ACTIVITY AND THE TEST RESULTS TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION DISTRICT OFFICE, WITHIN ONE (1) WEEK AFTER DISCHARGE BEGINS. THE CONTRACTOR SHALL CONTINUE TO SAMPLE THE EFFLUENT AS REQUIRED THROUGHOUT THE PROJECT AND COMPLY WITH ALL CONDITIONS OF RULE 62-621.300(2), F.A.C. IF THE GROUND WATER EXCEEDS THE SCREENING VALUES OF RULE 62-621.300(2) F.A.C. THE CONTRACTOR SHALL COMPLY WITH OTHER APPLICABLE RULES AND REGULATIONS PRIOR TO DISCHARGE OF THE EFFLUENT (GROUND WATER) TO SURFACE WATERS OF THE STATE

SIGNATURE	BUSINESS NAME AND ADDRESS OF CONTRACTOR & ALL SUBS	RESPONSIBLE FOR/DUTIES
		GENERAL CONTRACTOR
		SUB-CONTRACTOR
		SUB-CONTRACTOR
		SUB-CONTRACTOR
		SUB-CONTRACTOR

PLANS PREPARED UNDER THE DIRECTION OF:
NEAL J.D. MULCAHY
P.E. NUMBER 65552

REVISIONS
FILE NO. 18-239-04
DRAWN BY: A.C.S.
CHECKED BY: N.J.D.M.
CHECKED BY: N.J.D.M.
DATE OCTOBER 2022

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VISION • EXPERIENCE • RESULTS

STORMWATER POLLUTION PREVENTION PLAN
WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
21

PLOTTED: February 8, 2023 - 4:43 PM, BY: JCarter

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WILDLIGHT PDP #3 - PARCEL 7

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM

THIS IS THE CONTRACTORS CERTIFICATION REQUIRED BY THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES), STORM WATER POLLUTION PREVENTION PLAN FOR CONSTRUCTION SITES OVER 5 ACRES. THIS CERTIFICATION MUST BE COMPLETED WEEKLY AND AFTER EVERY RAINFALL EVENT OVER 0.25 INCHES

INSPECTOR _____

INSPECTOR'S QUALIFICATIONS _____

DAYS SINCE LAST RAINFALL _____ AMOUNT OF LAST RAINFALL _____ INCHES

STABILIZATION MEASURES

INSPECTION AREA (DESCRIPTION OF LOCATION)	DATE SINCE LAST DISTURBED	DATE OF NEXT DISTURBANCE	STABILIZED ? (YES/NO)	STABILIZED WITH	CONDITION

STABILIZATION REQUIRED _____

TO BE PERFORMED BY _____ ON OR BEFORE _____

PAGE 1 OF 4

WILDLIGHT PDP #3 - PARCEL 7

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM

STRUCTURAL CONTROLS

DATE _____

EARTH DIKES/SWALES

DIKE OR SWALE	FROM	TO	IS DIKE/SWALE STABILIZED ?	IS THERE EVIDENCE OF WASHOUT OR OVERTOPPING

MAINTENANCE REQUIRED FOR EARTH DIKE/SWALE _____

TO BE PERFORMED BY _____ ON OR BEFORE _____

CATCH BASIN/CURB INLET/OUTFALL TURBIDITY CONTROLS

STRUCTURE/ OUTFALL	ARE TURBIDITY CONTROLS IN PLACE	ANY EVIDENCE OF CLOGGING/WASHOUT OR BYPASSING ?	ARE TURBIDITY CONTROLS IN NEED OF REPLACING	DOES SILT NEED TO BE REMOVED FROM AROUND CONTROL

MAINTENANCE REQUIRED FOR CATCH BASIN/CURB INLETS/OUTFALLS TURBIDITY CONTROLS _____

TO BE PERFORMED BY _____ ON OR BEFORE _____

PAGE 2 OF 4

WILDLIGHT PDP #3 - PARCEL 7

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM

SEDIMENT BASIN

DEPTH OF SEDIMENT IN BASIN	DEPTH OF SEDIMENT SIDE BASIN	ANY EVIDENCE OF OVERTOPPING OF THE EMBANKMENT ?	CONDITION OF OUTFALL FROM SEDIMENT BASIN

MAINTENANCE REQUIRED FOR SEDIMENT BASIN _____

TO BE PERFORMED BY _____ ON OR BEFORE _____

OTHER CONTROLS

STABILIZED CONSTRUCTION ENTRANCE

DOES MUCH SEDIMENT GET TRACKED ON TO ROAD ?	IS THE GRAVEL CLEAN OR IS IT FILLED WITH SEDIMENT?	DOES ALL TRAFFIC USE THE STABILIZED ENTRANCE TO LEAVE THE SITE ?	IS THE CULVERT BENEATH THE ENTRANCE WORKING? (IF APPLICABLE)

MAINTENANCE REQUIRED FOR STABILIZED CONSTRUCTION ENTRANCE _____

TO BE PERFORMED BY _____ ON OR BEFORE _____

PAGE 3 OF 4

WILDLIGHT PDP #3 - PARCEL 7

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM

CHANGES REQUIRED TO THE POLLUTION PREVENTION PLAN _____

REASONS FOR CHANGES _____

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNATURE _____

DATE _____

PAGE 4 OF 4

DRAWING NUMBER **21**

CONTRACTOR CERTIFICATIONS

WILDLIGHT PARCEL 6
FOR
PULTE HOME COMPANY, LLC

ETM
VISION • EXPERIENCE • RESULTS

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ETM NO.	19-239-04
DRAWN BY	A.C.D.
DESIGNED BY	N.J.D.M.
CHECKED BY	N.J.D.M.
DATE	OCTOBER 2020

REVISIONS:

PLANS PREPARED UNDER THE DIRECTION OF:

NEAL J.D. MILLIGAN
P.E. NUMBER: 45851

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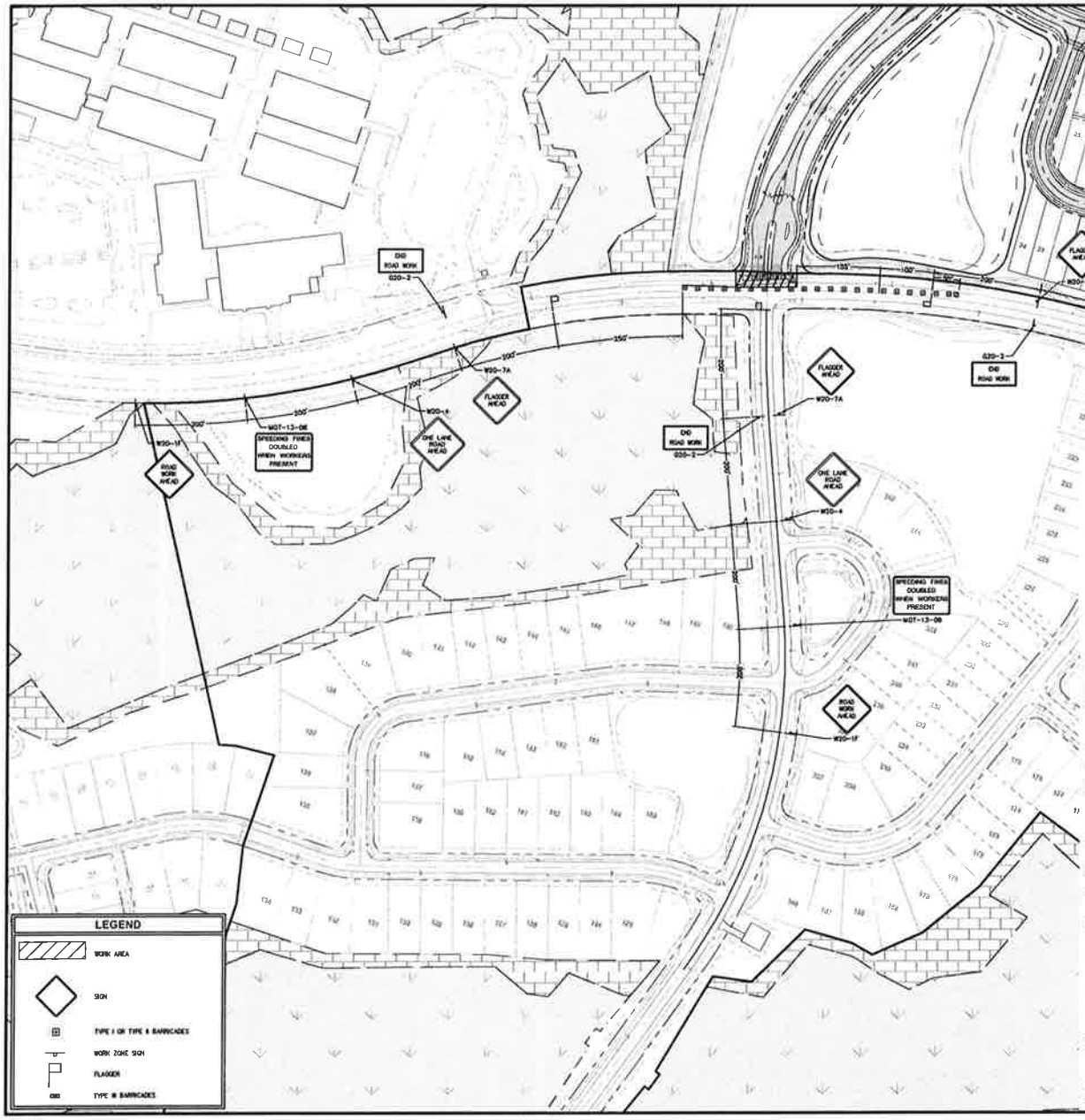
PLOTTED: February 8, 2023 – 4:43 PM, BY: Al Grener



TEMPORARY TRAFFIC CONTROL NOTES

1. FOR TEMPORARY TRAFFIC CONTROL, THE CONTRACTOR SHALL:
   1.1. REFERENCE FDOT INDEX 102-600 FOR GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES.
   1.2. REFERENCE FDOT INDEX 102-603 FOR ALL SEGMENTS WHERE WORK WILL BE ACCOMPLISHED ON THE SHOULDER AND NO TRAVEL LANE IS EXPECTED TO BE CLOSED OR IMPACTED.
   1.3. REFERENCE FDOT INDEX 102-603 FOR ALL SEGMENTS WHERE ONE TRAVEL LANE IS EXPECTED TO BE CLOSED OR IMPACTED.
   1.4. REFERENCE FDOT INDEX 102-640 FOR ALL SEGMENTS WHERE A SIDEWALK IS EXPECTED TO BE CLOSED OR IMPACTED.
   1.5. SEE SHEETS 23-36 FOR FDOT STANDARD INDEXES.
2. THE CONTRACTOR SHALL PROVIDE FOR ALL LANES OF TRAFFIC TO BE OPEN IN THE CASE OF AN EMERGENCY. THE CONTRACTOR SHALL RESPOND AND PROVIDE ADJUSTMENTS AS DIRECTED BY NASSAU COUNTY WITHOUT DELAY UNDER THESE CONDITIONS. THE CONTRACTOR SHALL ALSO RESPOND WITHIN 30 MINUTES UPON NOTIFICATION BY NASSAU COUNTY TO ANY REQUESTS FOR CORRECTION, IMPROVEMENT OR MODIFICATION TO THE TRAFFIC CONTROL PLAN AND/OR DEVICES.
3. THE CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) 2009 EDITION" AND SERIES 102 OF THE STANDARD PLANS FY 2020-2021 EDITION AT ALL TIMES.
4. ALL TRAFFIC CONTROL DEVICES (TEMPORARY SIGNS, PAVEMENT MARKINGS, BARRIER WALLS, ETC.) REQUIRED DURING A CONSTRUCTION PHASE SHALL BE INSTALLED AND APPROVED BY NASSAU COUNTY OR REPRESENTATIVE PRIOR TO THE DIVERSION OF TRAFFIC AND THE COMMENCEMENT OF CONSTRUCTION AND SHALL BE MAINTAINED IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 102-600, FDOT STANDARD PLANS INDEX 102-600 SHALL BE USED IN CONJUNCTION WITH ALL OTHER INDICES SPECIFICALLY MENTIONED IN EACH TRAFFIC CONTROL PHASE.
5. ALL EXISTING SIGNS AND PAVEMENT MARKINGS, WHICH CONFLICT WITH THE TRAFFIC CONTROL PLAN DURING A CONSTRUCTION PHASE, SHALL BE REMOVED OR TEMPORARILY RELOCATED AS NECESSARY PRIOR TO THE DIVERSION OF TRAFFIC AND THE COMMENCEMENT OF CONSTRUCTION. THE REMOVAL OF EXISTING PAVEMENT MARKINGS CAN BE ACCOMPLISHED BY ANY METHOD APPROVED BY NASSAU COUNTY. PAINTING OVER EXISTING MARKINGS IS NOT ACCEPTABLE.
6. MINIMUM TRAVEL LANE WIDTHS SHALL BE 10'.
7. ARROWS DENOTE DIRECTION OF TRAFFIC ONLY AND DO NOT REPRESENT PAVEMENT MARKINGS.
8. THE REMOVAL AND REPLACEMENT OF ANY TEMPORARY STRIPING OR R.P.M.'S SHALL BE DONE WITH THE CLOSURE OF THE AFFECTED LANE.
9. ACCESS TO ALL PROPERTIES SHALL BE MAINTAINED AT ALL TIMES. CONSTRUCTION IN THE VICINITY OF DRIVEWAYS AND SIDESTREETS MAY REQUIRE FLAGGING OPERATIONS, LANE CLOSURES & INTERIM PAVEMENT REPAIRS NOT DETAILED IN THE PLANS. PAVEMENT REPAIRS SHALL MATCH EXISTING PAVEMENT.
10. THE CONTRACTOR SHALL MAKE PROVISIONS FOR THE REMOVAL OF STORM WATER FROM THE ROADWAY DURING CONSTRUCTION. PROVISIONS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL BEFORE USE.
11. THE CONTRACTOR SHALL MATCH EXISTING CONDITIONS AT PROJECT BEGINNING AND ENDING.
12. THE CONTRACTOR SHALL NOT MILL MORE THAN CAN BE RESURFACED IN THE SAME DAY'S/NIGHT'S OPERATION. THE FIRST LIFT OF ASPHALT SHALL BE PLACED BEFORE ROADWAY IS OPEN TO TRAFFIC FOLLOWING MILLING.
13. TEMPORARY STOP SIGNS FOR CROSS STREETS SHALL BE IN LINE WITH, OR BEHIND, CHANNELIZING DEVICES.
14. ALL COSTS TO MAINTAIN TRAFFIC SHALL BE INCLUDED IN THE LUMP SUM PRICE FOR MAINTENANCE OF TRAFFIC.
15. ANY DAMAGE TO EXISTING ROADWAYS SHALL BE REPAIRED BY THE CONTRACTOR AND RESTORED TO PRIOR CONDITION. DAMAGE SHALL BE MILLED AND RESURFACED NOT PATCHED.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR RIGHT OF WAY MAINTENANCE WITHIN THE CONSTRUCTION AREA AND AREAS MADE INACCESSIBLE DUE TO CONSTRUCTION THROUGHOUT THE TERM OF CONSTRUCTION.
17. THE CONTRACTOR SHALL MAINTAIN THE ACTUATED OPERATION OF THE SIGNALIZED INTERSECTIONS THROUGHOUT THE LIFE OF THE CONTRACT. PLANNED DETECTION DISRUPTIONS ARE NOT ALLOWED. ANY UNPLANNED DISRUPTION TO THE VEHICULAR DETECTION SYSTEM AT EXISTING SIGNALIZED INTERSECTIONS SHALL BE RE-ACTIVATED WITHIN 24 HOURS (AT THE CONTRACTOR'S EXPENSE). THIS INCLUDES FURNISHING AND INSTALLING OVERHEAD OPTICAL DETECTION DEVICES AS REQUIRED TO MAINTAIN ALL EXISTING ACTUATED SIGNAL OPERATIONS.
18. RAISED PAVEMENT MARKERS SHALL BE PLACED ON ALL LANE LINES, EDGE LINES IN TRANSITION AND APPROACH AREAS AS SHOWN IN FDOT INDEX 706-001.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PEDESTRIAN TRAFFIC DURING CONSTRUCTION. ALL TEMPORARY PEDESTRIAN WALKWAYS SHALL MEET A.D.A. REQUIREMENTS, INCLUDING A MAXIMUM CROSS SLOPE OF 2% WHICH TEMPORARY PEDESTRIAN WALKWAYS CROSS SIDE STREET & DRIVEWAY CONNECTIONS. WHICH AN ALTERNATIVE PAVED PEDESTRIAN ROUTE IS NOT FEASIBLE, THE CONTRACTOR SHALL MAINTAIN A 4' WIDE STABLE PEDESTRIAN PATHWAY IN ACCORDANCE WITH FDOT INDEX #102-640.
20. NOTIFY THE ENGINEERING DIVISION (904-530-6825) A MINIMUM OF 5 WORKING DAYS PRIOR TO IMPLEMENTATION OF THE TRAFFIC CONTROL PLAN.
21. IF SIGNS ARE DAMAGED DURING CONSTRUCTION ACTIVITY, THE CONTRACTOR IS REQUIRED TO REPLACE THEM IMMEDIATELY IN ACCORDANCE WITH THE CURRENT COUNTY STANDARD SPECIFICATIONS.
22. CONFLICTING OR MISLEADING PAVEMENT MARKINGS SHALL BE REMOVED BY HYDROBLASTING OR GRINDING. ALL EXISTING PAVEMENT MARKINGS OUTSIDE OF THE LIMITS OF CONSTRUCTION WHICH ARE ALTERED OR MISLEADING SHALL BE RESTORED UPON COMPLETION OF THE PROJECT.
23. ANY MODIFICATIONS OF THIS TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO NASSAU COUNTY ENGINEERING DIVISION FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION.
24. THE ROADWAY SHALL BE RESTORED TO AT LEAST A LIMEROCK SURFACE BEFORE IT IS REOPENED TO TRAFFIC AND BEFORE THE CONTRACTOR MOVES TO THE NEXT CONSTRUCTION ZONE.
25. FIRE RESCUE DIVISION SHALL BE NOTIFIED OF ROAD CLOSURES/DETOURS.
26. LANE CLOSURES ARE NOT PERMITTED ON WEEKENDS OR HOLIDAYS, NOR WILL THEY BE PERMITTED DURING THE HOURS OF 7:00 AM TO 9:00 AM AND 5:00PM TO 7:00PM. NASSAU COUNTY ENGINEERS MAY ADJUST THESE TIMES TO REFLECT ACTUAL FIELD CONDITIONS.
27. NOTIFY THE ENGINEERING DIVISION (904-530-6825) A MINIMUM OF 5 WORKING DAYS PRIOR TO IMPLEMENTATION OF MOT.
28. THE PROJECT WORK HOURS SHALL BE BETWEEN 7:00 AM AND 7:00 PM ON RESIDENTIAL STREETS AND 9:00 AM TO 4:00 PM ON COLLECTOR OR ARTERIAL STREETS. THERE SHALL BE NO LANE CLOSURES BETWEEN 7:00 AM AND 9:00 AM AND BETWEEN 4:00 PM AND 7:00 PM ON WEEKDAYS.
29. THE CONTRACTOR SHALL CONFIRM THAT EXISTING SIGNAGE WILL NOT POSE A CONFLICT FOR WORK ZONE TRAFFIC CONTROL. THE CONTRACTOR SHALL COVER OR REMOVE ALL SIGNING IN CONFLICT WITH THE TRAFFIC CONTROL DURING CONSTRUCTION OPERATIONS.
30. ACCESS TO SIDE STREETS, PRIVATE AND COMMERCIAL DRIVEWAYS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
31. THIS REVIEW APPROVAL IS FOR NASSAU COUNTY MAINTAINED RIGHT OF WAY ONLY.

PLANS PREPARED UNDER THE DIRECTION OF:

ADRIANN LEBLANC
P.E. NUMBER 075810

PLOTTED February 8, 2023 - 4:46 PM, BY: Brian

REVISIONS

FIM NO. 18-239-34	
DRAWN BY	A.C.D.
DESIGNED BY	N.J.B.M
CHECKED BY	N.J.B.M
DATE	OCTOBER 2022

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REG. CODE: LC-0000518

MAINTENANCE OF TRAFFIC

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
23

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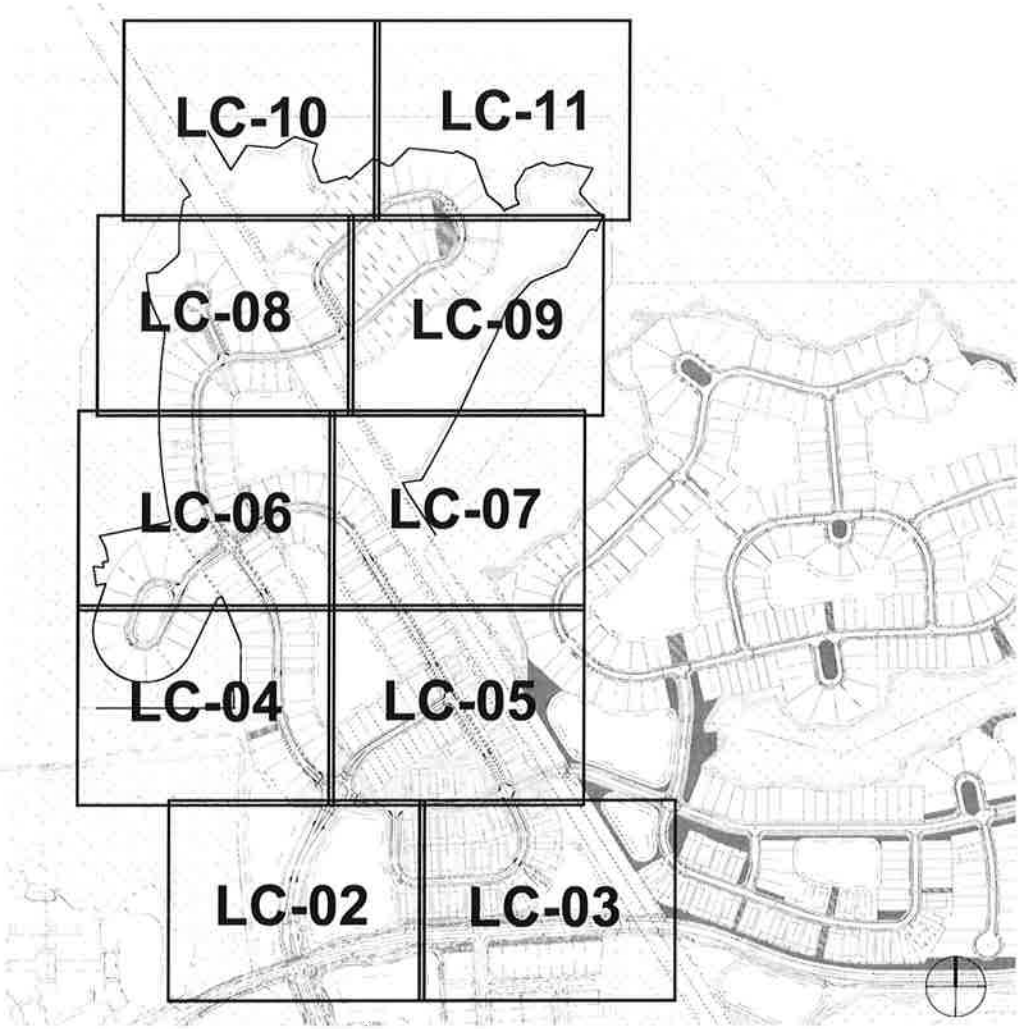
WILDLIGHT - PARCEL 6

LANDSCAPE ARCHITECTURE DOCUMENTS



INDEX PLAN

LANDSCAPE SHEET INDEX:

SHEET NO.:	DRAWING DESCRIPTION
LC-00	LANDSCAPE COVER SHEET
LC-01	LANDSCAPE CODE SUMMARY
LC-02	LANDSCAPE PLAN
LC-03	LANDSCAPE PLAN
LC-04	LANDSCAPE PLAN
LC-05	LANDSCAPE PLAN
LC-06	LANDSCAPE PLAN
LC-07	LANDSCAPE PLAN
LC-08	LANDSCAPE PLAN
LC-09	LANDSCAPE PLAN
LC-10	LANDSCAPE PLAN
LC-11	LANDSCAPE PLAN
LC-12	LANDSCAPE SPECIFICATIONS AND DETAILS
LC-13	LANDSCAPE CODE CALCULATIONS AND NOTES

PERMIT SET

CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING WITH THE LANDSCAPE ARCHITECT THAT CURRENT PLANS ARE BEING USED FOR BIDDING AND INSTALLATION

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PLANS PREPARED UNDER THE DIRECTION OF
DANIEL A. KINNORTH, JR., PLA
LA # [illegible]
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REVISIONS

File NO. 19-239-24
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LANDSCAPE COVER SHEET

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
LC-00

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LANDSCAPE CODE SUMMARY

Article 37 – NATURAL RESOURCE PROTECTION

REFERENCE	DESCRIPTION	NOTES/ COMPLIANCE?
Section 37.05. – LANDSCAPING		
37.05.B	All installed trees, shrubs and groundcovers shall conform to the standards for Florida Grade #1 or better.	YES
37.05 B.1	The minimum number of trees required by this section shall be either qualifying existing trees preserved on-site or more than one species listed in Tables 37-1 or 37-2. new landscaping should not include more than fifty (50) percent of any one genus or twenty-five (25) percent of any one species. All trees shall be planted in a minimum dimension of ten (10) feet.	YES
37.05 B.2	Shrubs shall have a minimum height of eighteen (18) inches when planted. When planted as a hedge, the maximum spacing is 30 inches on center. All shrubs used for visual screening shall be of a plant species that is capable of reaching a height of four (4) feet within twenty-four (24) months under normal growing conditions.	YES
37.05 B.3	Groundcovers shall be planted in such manner as to present a finished appearance and complete coverage within one (1) year after planting.	YES
37.05 C.1	One and two-family dwellings. Each single-family and two-family lot must provide at least one (1) tree per three thousand (3,000) square feet of lot area for the first quarter acre of lot area. For lots exceeding one-quarter (¼) acre, one (1) tree for every additional one-quarter (¼) acre, or major fraction thereof, must be preserved or planted. Existing canopy trees, sabal palms and pine trees may be used to satisfy this requirement, in whole or in part, provided that they have a minimum caliper of four (4) inches DBH. When trees are planted to meet the minimum requirement they must be more than one species of tree listed in Tables 37-1 or 37-2 and meeting the material standards of this section. The foregoing represent the entire requirement applicable to individual one and two-family dwellings.	YES
37.05 C.2	Multi-family, mobile home park and travel trailer parks. In addition to the use buffer and perimeter landscaping adjacent to a right-of-way requirements found in this section, each multi-family, mobile home park and travel trailer park must plant or preserve an additional one tree for every two (2) dwelling units. When trees are planted to meet the minimum requirement they must be more than one species of tree listed in Tables 37-1 or 37-2 and meeting the material standards of this section.	N/A
37.05 C.3	Non-residential developments. In addition to the buffer and perimeter landscaping adjacent to a right-of-way requirements found in this section, each commercial and/or industrial development must provide a minimum of ten (10) percent of the lot or parcel as pervious green space planted with one or more species of tree listed in Tables 37-1 or 37-2 for every five hundred (500) square feet of such green space.	N/A
37.05 D.1	A1A/S.R. 200, U.S. Highway 1 and U.S. 301. A strip parallel to the right-of-way line having an average width of twenty-five (25) feet and a minimum width of ten feet along the entire street frontage except for permitted driveways. This perimeter landscaping strip shall contain a minimum of three (3) canopy trees per one hundred (100) linear feet of property frontage and three (3) understory trees per one hundred (100) linear feet of property frontage. The canopy trees shall consist of more than one (1) species listed in Tables 37-1 or 37-2. Planted trees are not meant to be spaced evenly but rather randomly distributed by species.	N/A
37.05 D.2	Other arterial and collector roadways. All other arterial and collector roadways, as identified by the comprehensive plan, shall provide a strip parallel to the right-of-way line having an average width of fifteen (15) feet and a minimum width of seven and one-half (7½) feet along the entire street frontage except for permitted driveways. This perimeter landscaping strip shall contain a minimum of three (3) canopy trees per one hundred (100) linear feet of property frontage and three (3) understory trees per one hundred (100) linear feet of property frontage. The canopy trees shall consist of more than one species listed in Tables 37-1 or 37-2. Planted trees are not meant to be spaced evenly but rather randomly distributed by species within the largest open spaces.	YES
37.05 D.3	Local streets. A strip parallel to the street line having a minimum width of ten (10) feet along the entire street frontage except for permitted driveways. This perimeter landscaping strip shall contain a minimum of two (2) canopy trees per one hundred (100) linear feet of property frontage and three (3) understory trees per one hundred (100) linear feet of property frontage. The canopy trees shall consist of more than one species listed in Tables 37-1 or 37-2.	YES
37.05 D.5	Except for one- and two-family dwellings, all off-street parking areas, drive aisles, and paved storage areas lying within fifty (50) feet of, and visible from any street right-of-way, the perimeter landscaping requirement of this section shall also include shrubs	YES
37.05 D.6	Dumpsters and mechanical equipment shall be screened through the use of a wall, which is one hundred (100) percent opaque in conjunction with landscaping. Minimum landscaping shall include one (1) shrub every two (2) feet. The shrub shall be maintained at a minimum of four (4) feet in height. One (1) canopy tree or understory tree per ten (10) linear feet of wall or fence unless said fence or wall is less than eight (8) feet in length. Where a transformer pad is located along a public right-of-way, it shall be screened using a hedge meeting the standards of section 37.05.B.2 of this Code along the sides visible from the right-of-way.	N/A
37.05 D.7	Use of understory trees (ref. Table 37-4 LDC) are permitted in lieu of native canopy trees listed in Table 37-1 and 37-2 as determined to be practical by the director of planning and economic opportunity or designee because of overhead utility lines or other overhead restrictions that cannot otherwise be mitigated through design modifications. Understory trees may be permitted at a rate of one (1) tree for every fifteen (15) feet of site/lot frontage along the right-of-way or street. At the time of planting, Crape Myrtles shall be a minimum of eight (8) feet in height and measure three (3) caliper inches if a single trunk or an aggregate of six (6) inches if a multi-trunk.	YES
37.05.D.10	Back flow preventer(s) and lift stations shall generally be to the side or rear of a building. Where they cannot be placed at the side or rear of a building, it shall be screened from public rights-of-way through the use of shrubs planted as a hedge meeting the standards of section 37.05.B.2 of the Code.	YES
37.05 E.1	At the intersection of two (2) streets, all landscaping within that area defined by the Florida Department of Transportation sight triangle, as outlined in the FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on the State Highway System shall be installed and maintained below three (3) feet in height or above eight (8) feet in height.	YES
37.05.E.2	When a driveway intersects a right-of-way, clear unobstructed cross visibility shall be provided within the site triangle formed by such intersection. The sight triangle shall be measured from the point of intersection, fifteen (15) feet along the access way and then fifteen (15) feet along the right-of-way, with the third side being a line connecting the two (2) points. Cross visibility within the sight triangle shall be unobstructed between the height of three (3) feet and eight (8) feet measured from the ground line. Only ground cover type plants shall be allowed within the sight triangle.	YES
37.05.F.1	Except for one- and two-family dwellings, all off-street parking areas shall contain interior landscaping islands at a ratio of one (1) island for each ten (10) parking spaces. Rows of parking spaces abutting a sidewalk adjacent to a building are exempt from required landscape islands except for terminal islands at the end of each row.	N/A
37.05.F.2	Each separate interior landscaped island shall contain a minimum of one hundred sixty-six (166) square feet and shall be at least ten (10) feet wide as measured from back of curb. A minimum of one (1) canopy tree shall be planted in each interior landscaping island.	N/A
37.05.H.2	Fifty (50) percent of the plants used in all vehicular use area landscape designs should be drought tolerant and located in groupings according to zones designated by the water requirements.	N/A
37.05 H.3	Turf grass areas should be consolidated and limited to those areas on the site that receive pedestrian traffic, provide for recreational uses, provide soil erosion control such as berms, slopes and swales, where turf grass is used as a design unifier or other similar practical use.	YES
37.05 H.4	All planting areas shall be mulched with approximately three (3) inches of organic mulch, such as pine bark or shredded hardwood chips.	YES
Section 37.06. – BUFFERS BETWEEN CERTAIN USES		
37.06.4.a	Medium and fast growing canopy trees shall be chosen from Table 37-1 having a dense, evergreen crown to provide maximum visual separation between abutting properties.	N/A
37.06.4.b	Shrubs shall be spaced to provide a natural appearance and inhibit free movement of pedestrian traffic except at a mutually agreed upon pedestrian connection. Where screening is proposed consisting of a fence or wall, shrubs are not required.	N/A
37.06.4.c	Where screening is required, it shall consist of one or more of the following materials: A five (5) foot masonry wall stuccoed on the side facing the abutting property; A solid six (6) foot fence constructed of resistant materials such as vinyl, cypress or pressure treated wood; Existing dense vegetation; A berm three (3) feet in height located entirely within the buffer and having the requisite number of shrubs planted along the crown.	N/A

PLANS PREPARED UNDER THE DIRECTION OF:

DANIEL A. ASHWORTH, JR., PLA
F.L. NUMBER: 1555619

PLOTTED February 8, 2023 - 4:17 PM, BY: Al Dwyer

REVISIONS

FW NO. 19-239-04	
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DESIGNED BY: D.A.A.	
CHECKED BY: K.C.	
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LANDSCAPE CODE SUMMARY

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
LC-01

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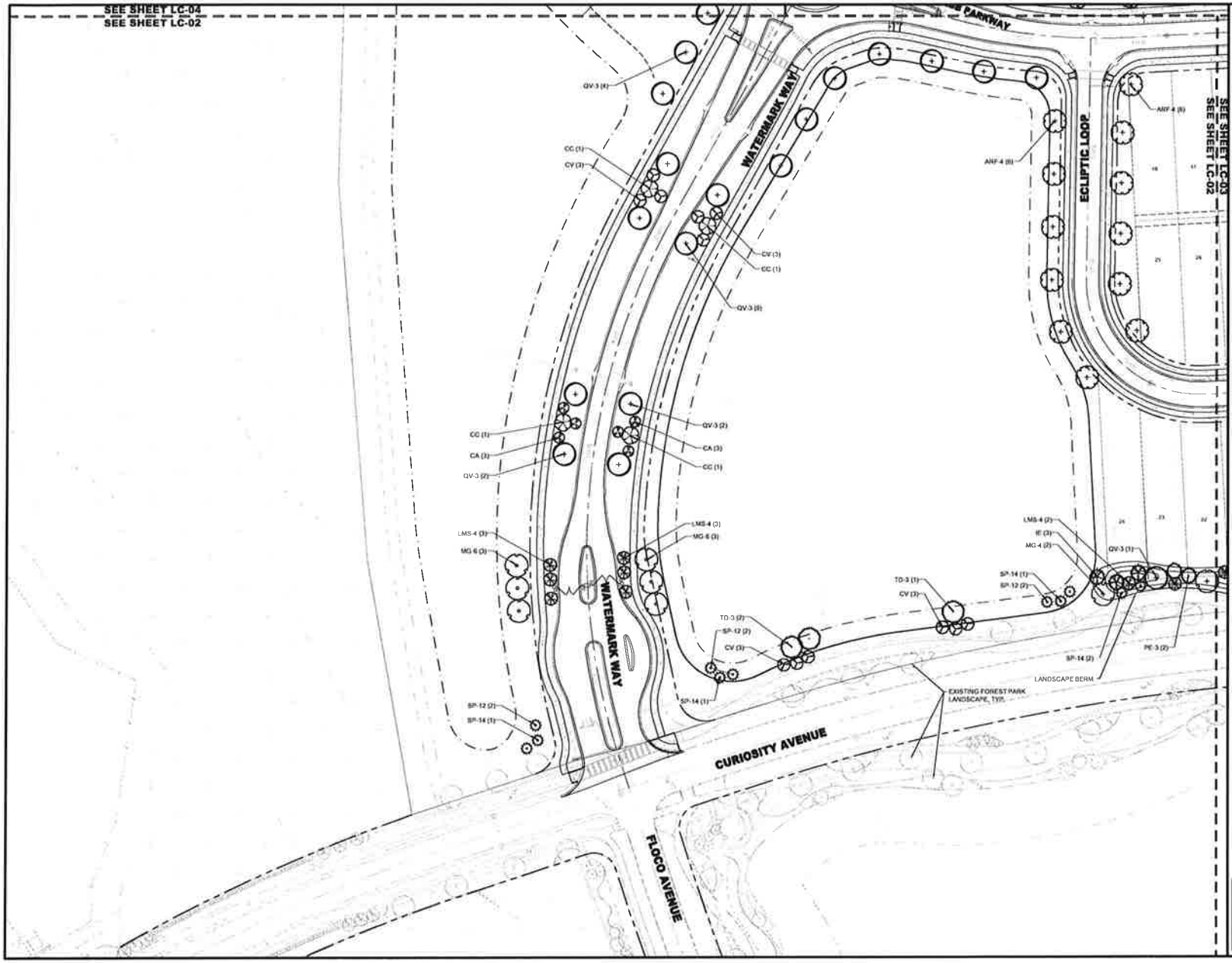

KEY MAP
N.T.S.

PLANT SCHEDULE

LARGE TREES	COMMON NAME
	FLORIDA FLAME RED MAPLE
	SOUTHERN RED CEDAR
	SOUTHERN MAGNOLIA
	SOUTHERN MAGNOLIA
	SLASH PINE
	SOUTHERN LIVE OAK
	BALD CYPRESS
	MANGO CLM
MEDIUM TREES	COMMON NAME
	EMERSTON HOLLY
SMALL TREES	COMMON NAME
	SOUTHERN WAX
	EASTERN REDBUD
	WAX MYRTLE
	LEAFLADER CRAPE MYRTLE STAND ALSO TRUNK
PALM TREES	COMMON NAME
	CABBAGE PALMETTO
	CABBAGE PALMETTO
SHRUBS	COMMON NAME
	WAX MYRTLE

0' 20' 40' 80'
1"=40'-0"

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PLANS PREPARED UNDER THE DIRECTION OF
DANIEL A. ASHWORTH, JR., PLA
FLA. REG. NO. 0666039

REVISIONS

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LANDSCAPE PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
LC-02

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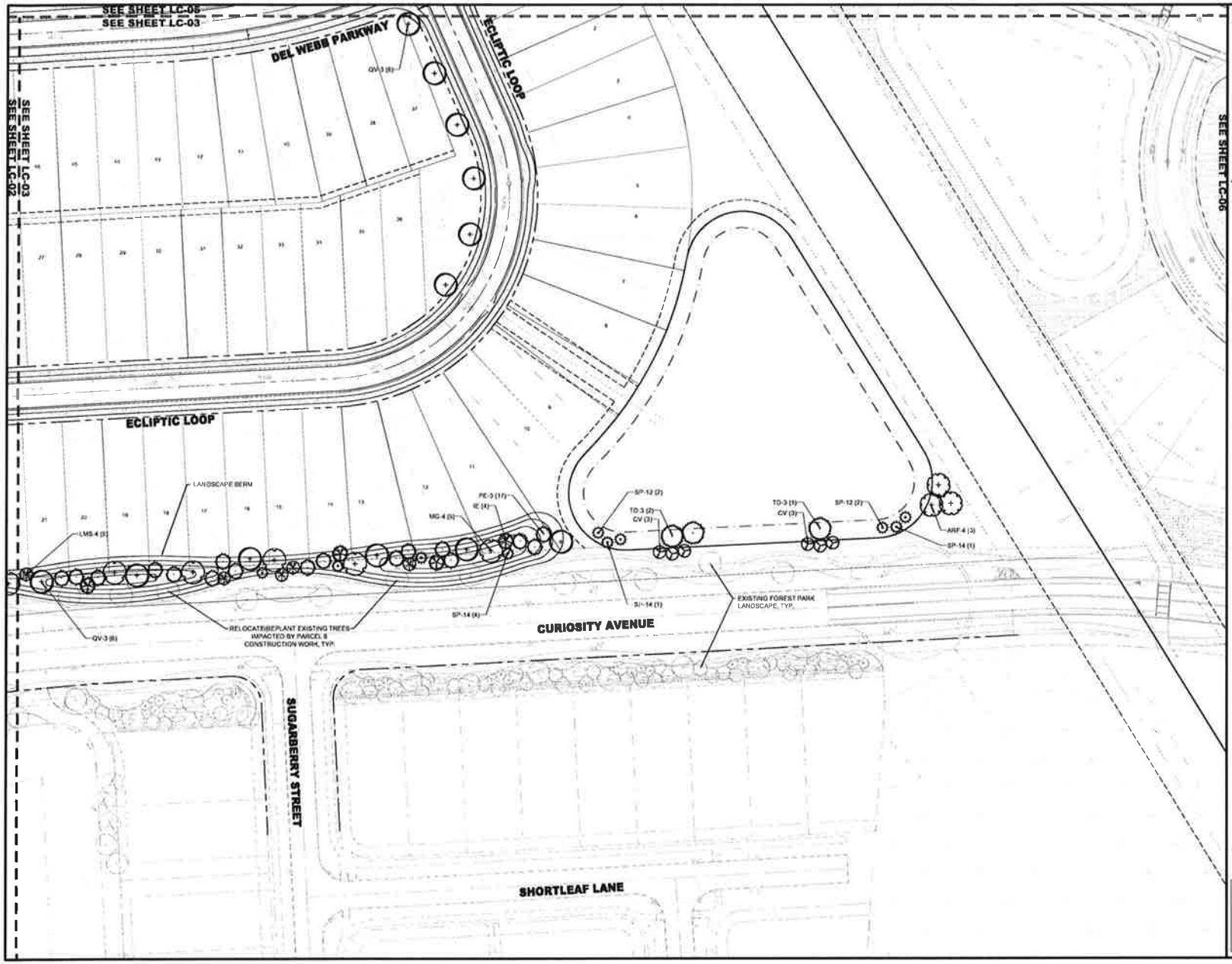

KEY MAP
N.T.S.

PLANT SCHEDULE

LARGE TREES	COMMON NAME
	FLORIDA FLAME RED MAPLE
	SOUTHERN RED CEDAR
	SOUTHERN MAGNOLIA
	SOUTHERN MAGNOLIA
	BLACK PINE
	SOUTHERN LIVE OAK
	BALD CYPRESS
	WHITE OAK
MEDIUM TREES	COMMON NAME
	CHARLESTON HOLLY
SMALL TREES	COMMON NAME
	BUTTERBUSH
	EASTERN REDBUD
	WAX MYRTLE
	LAGERSTROEMIA INDICA STANDARD TRUNK
PALM TREES	COMMON NAME
	CABBAGE PALMETTO
	CABBAGE PALMETTO
SHRUBS	COMMON NAME
	WAX MYRTLE

0 20' 40' 80'
1"=40'-0"

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PLANS PREPARED UNDER THE DIRECTION OF:
DANIEL A. ASHWORTH, JR., PLA
FL REG. NO. 2303 - AT Inc. BY: ⊕ Signature

REVISIONS

TM NO. 19-239-24	
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DATE: OCTOBER 2022	

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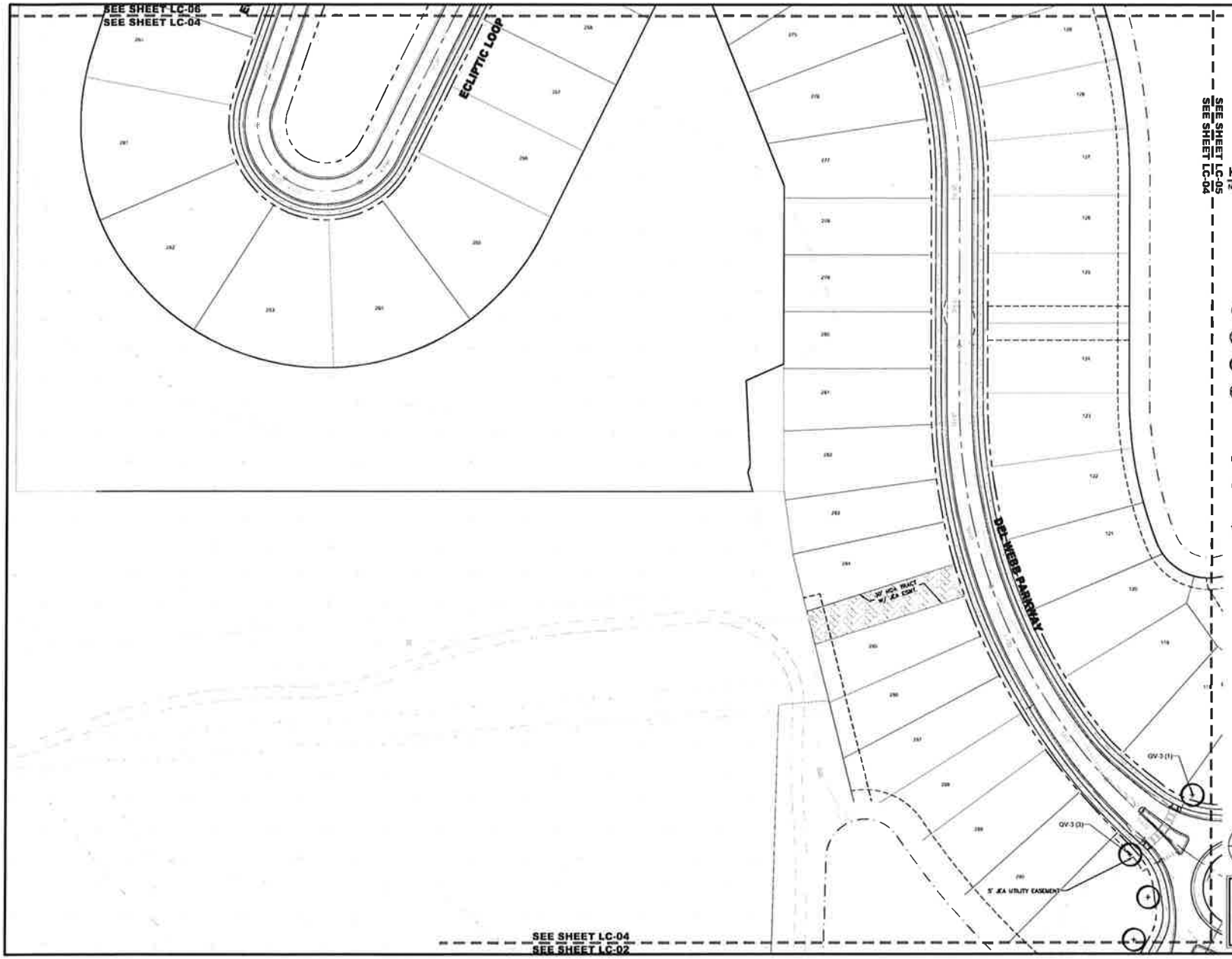
LANDSCAPE PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER
LC-03



PLANS PREPARED UNDER THE DIRECTION OF:

DANIEL A. ASHWORTH, JR., PLA
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REVISIONS

FILE NO. 19-239-04
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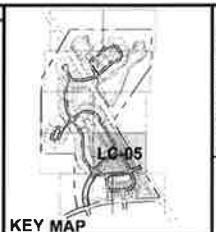
LANDSCAPE PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER

LC-04



KEY MAP

N.T.S.

PLANT SCHEDULE

LARGE TREES	COMMON NAME
	FLORIDA FLAME RED MAPLE
	SOUTHERN RED CEDAR
	SOUTHERN MAGNOLIA
	SOUTHERN MAGNOLIA
	SLASH PINE
	SOUTHERN LIVE OAK
	BALD CYPRESS
	WAXED OAK
MEDIUM TREES	COMMON NAME
	CHALLESTON HOLLY
SMALL TREES	COMMON NAME
	BUTTERWOOD
	EASTERN REDBUD
	WAX MYRTLE
	LANDMOR GRAPE MYRTLE STANDARD TRUNK
PALM TREES	COMMON NAME
	CABBAGE PALMETTO
	CABBAGE PALMETTO
SHRUBS	COMMON NAME
	WAX MYRTLE

0' 20' 40' 80'
1"=40'-0"

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PLANS PREPARED UNDER THE DIRECTION OF

DANIEL A. ASHCRAFT, JR., PLA
L.A. NUMBER 6666666

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FILE NO.	19-239-04
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LANDSCAPE PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER

LC-05

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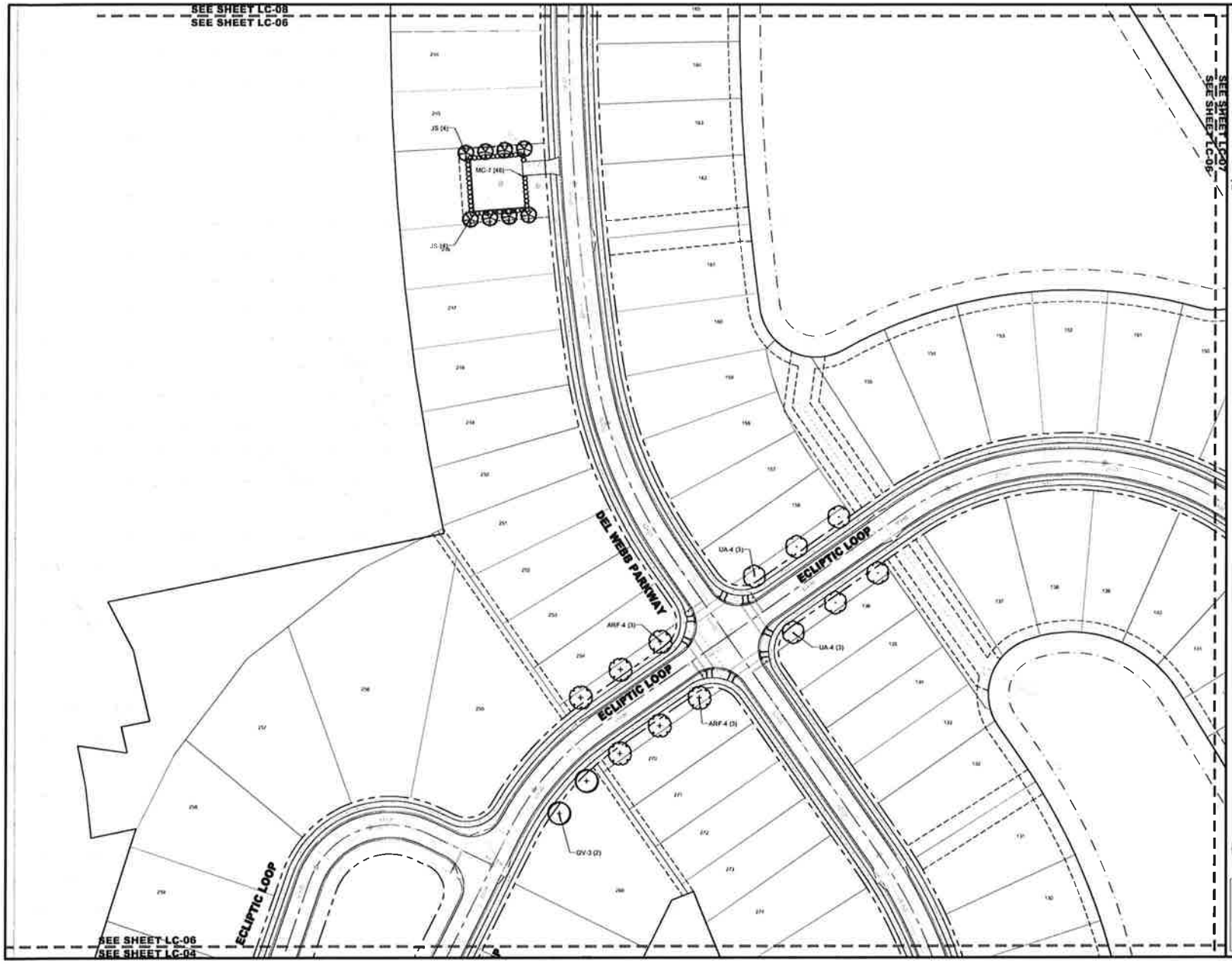

KEY MAP
N.T.S.

PLANT SCHEDULE

LARGE TREES	COMMON NAME
	FLORIDA FLAME RED MAPLE
	SOUTHERN RED CEDAR
	SOUTHERN MAGNOLIA
	SOUTHERN MAGNOLIA
	SLASH PINE
	SOUTHERN LONG LEAF PINE
	BALD CYPRESS
	WAXED OAK
MEDIUM TREES	COMMON NAME
	EAGLESTON HOLLY
SMALL TREES	COMMON NAME
	BOTTLEBRUSH
	EASTERN REDBUD
	WHITE FRINGETREE
	LAVENDER CRAPE MYRTLE STANDARD TRUNK
PALM TREES	COMMON NAME
	CABBAGE PALMETTO
	CABBAGE PALMETTO
SHRUBS	COMMON NAME
	WAX MYRTLE

0' 20' 40' 80'
1"=40'0"

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PLANS PREPARED UNDER THE DIRECTION OF:
DANIEL A. ASHWORTH, JR., PLA
FL LICENSE NO. 6666666

REVISIONS

FILE NO.	19-235-04
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DATE	DECEMBER 2022

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LANDSCAPE PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
LC-06

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KEY MAP
N.T.S.

PLANT SCHEDULE

LARGE TREES	COMMON NAME	
	FLORIDA FLAME RED MAPLE	
	SOUTHERN RED CEDAR	
	SOUTHERN MAGNOLIA	
	SOUTHERN MAGNOLIA	
	SLASH PINE	
	SOUTHERN LIVE OAK	
	BALD CYPRESS	
	WICCO ELM	
MEDIUM TREES	COMMON NAME	
	EAGLESTON HOLLY	
SMALL TREES	COMMON NAME	
	BUTTERBUSH	
	EASTERN REDBUD	
	WAX MYRTLE	
	LAVENDER CRAPE MYRTLE STANDARD TRUNK	
PALM TREES	COMMON NAME	
	CABBAGE PALMETTO	
	CABBAGE PALMETTO	
SHRUBS	COMMON NAME	
	WAX MYRTLE	

0 20' 40' 80'
1"=40'-0"

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REVISIONS

PLANS PREPARED UNDER THE DIRECTION OF:
DANIEL A. ASHWORTH, JR., P.A.
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ETM NO.	19-239-04
DRAWN BY:	D.A.A.
DESIGNED BY:	D.A.A.
CHECKED BY:	K.C.
DATE:	OCTOBER 2022

LANDSCAPE PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
LC-07

PLOTTED February 9, 2023 - 4:48 PM, BY: Daniel
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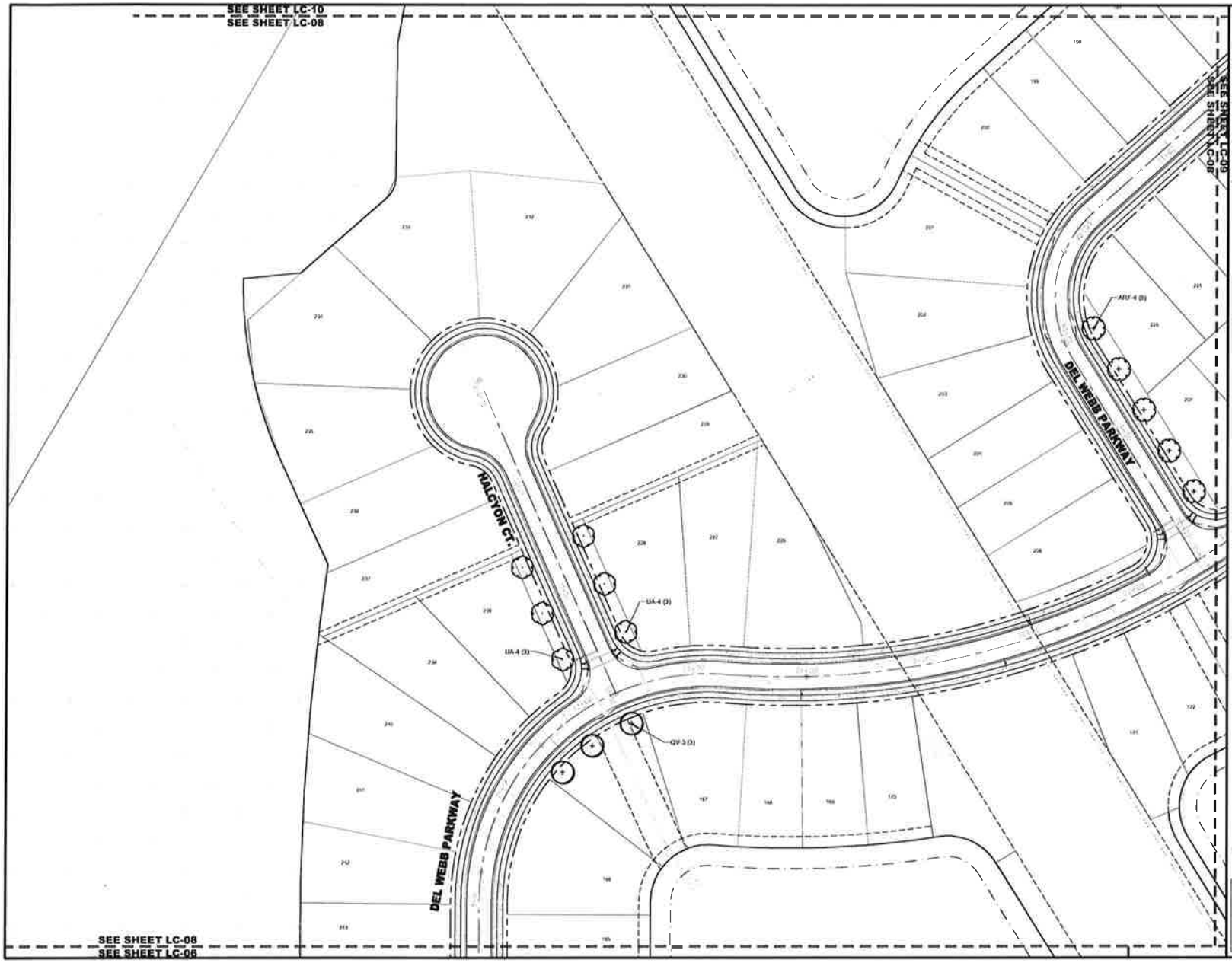

KEY MAP
N.T.S.

PLANT SCHEDULE

LARGE TREES	COMMON NAME	
	FLORIDA FLAME RED MAPLE	
	SOUTHERN RED CEDAR	
	SOUTHERN MAGNOLIA	
	SOUTHERN MAGNOLIA	
	SLASH PINE	
	SOUTHERN LIVE OAK	
	BALD CYPRESS	
	WINGED ELM	
MEDIUM TREES	COMMON NAME	
	EAGLESTON HOLLY	
SMALL TREES	COMMON NAME	
	DOTTLEBUSH	
	EASTERN REDBUD	
	WAX MYRTLE	
	LAVENDER CRAPE MYRTLE STANDARD TRUNK	
PALM TREES	COMMON NAME	
	CABBAGE PALMETTO	
	CABBAGE PALMETTO	
SHRUBS	COMMON NAME	
	WAX MYRTLE	

0 20' 40' 80'
1"=40'-0"

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PLANS PREPARED UNDER THE DIRECTION OF:
DANIEL A. ASHWORTH, JR., PLA
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REVISIONS

FW NO. 19-239-04
DRAWN BY: S.A.A.
DESIGNED BY: S.A.A.
CHECKED BY: R.C.
DATE: DECEMBER 2022

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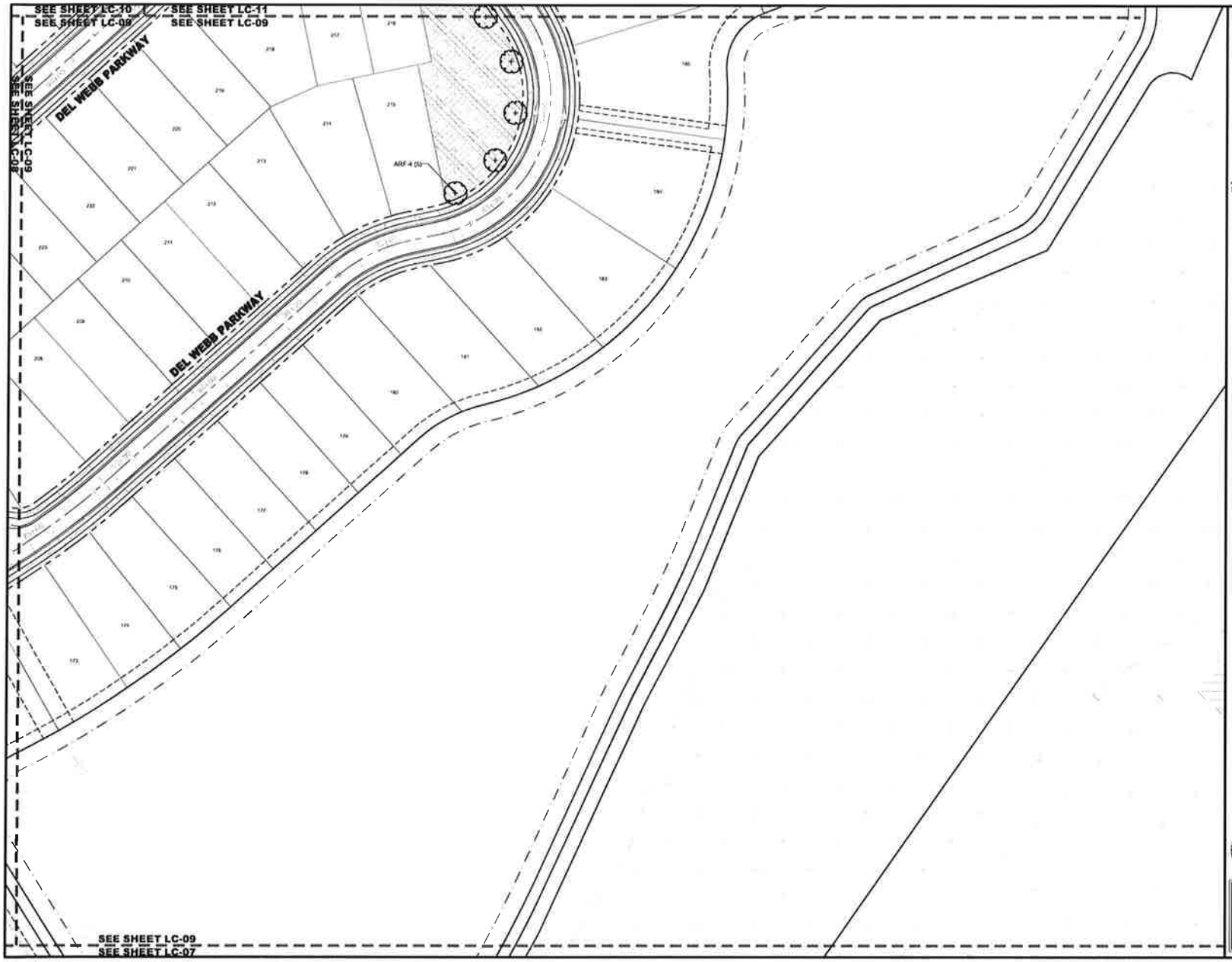
LANDSCAPE PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
LC-08

PLOTTED February 9, 2023 - 4:48 PM BY: Daniel



KEY MAP
N.T.S.

PLANT SCHEDULE

LARGE TREES	COMMON NAME
	FLORIDA FLAME RED MAPLE
	SOUTHERN RED CEDAR
	SOUTHERN magnolia
	SOUTHERN magnolia
	SLASH PINE
	SOUTHERN LIVE OAK
	BALD CYPRESS
	WHITE OAK
MEDIUM TREES	COMMON NAME
	EAGLESTON HOLLY
SMALL TREES	COMMON NAME
	MYTLEWOOD
	EASTERN REDBUD
	WHITE FRINGETREE
	LANDMARK GRAYS WHITE STANDARD TRUNK
PALM TREES	COMMON NAME
	CABBAGE PALMETTO
	CABBAGE PALMETTO
SHRUBS	COMMON NAME
	WAX MYRTLE

0' 20' 40' 80'
1"=40'-0"

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PLANS PREPARED UNDER THE DIRECTION OF:
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REVISIONS

ETM NO.	19-239-04
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DATE	OCTOBER 2022

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LANDSCAPE PLAN

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER
LC-09

KEY MAP
N.T.S.

PLANT SCHEDULE

LARGE TREES	COMMON NAME
	FLORIDA FLAME RED MAPLE
	SOUTHERN RED CEDAR
	SOUTHERN MAGNOLIA
	SOUTHERN MAGNOLIA
	NAKED INDIAN
	SOUTHERN LIVE OAK
	BALD CYPRESS
	WINGED ELM
MEDIUM TREES	COMMON NAME
	ENGLESTON HOLLY
SMALL TREES	COMMON NAME
	BUTTERBRUSH
	EASTERN REDBUD
	WHITE FRINGETREE
	LAVENDER CRAPE MYRTLE STANDARD TRUNK
PALM TREES	COMMON NAME
	CABBAGE PALMETTO
	FLORIDA FLAME(TM)
SHRUBS	COMMON NAME
	BLUE MYRTLE

0' 20' 40' 80'
1"=40'-0"

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PLANS PREPARED UNDER THE DIRECTION OF:

DANIEL A. ASHWORTH, JR., PLA
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REVISIONS

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DRAWN BY:	D.A.A.
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CHECKED BY:	R.C.
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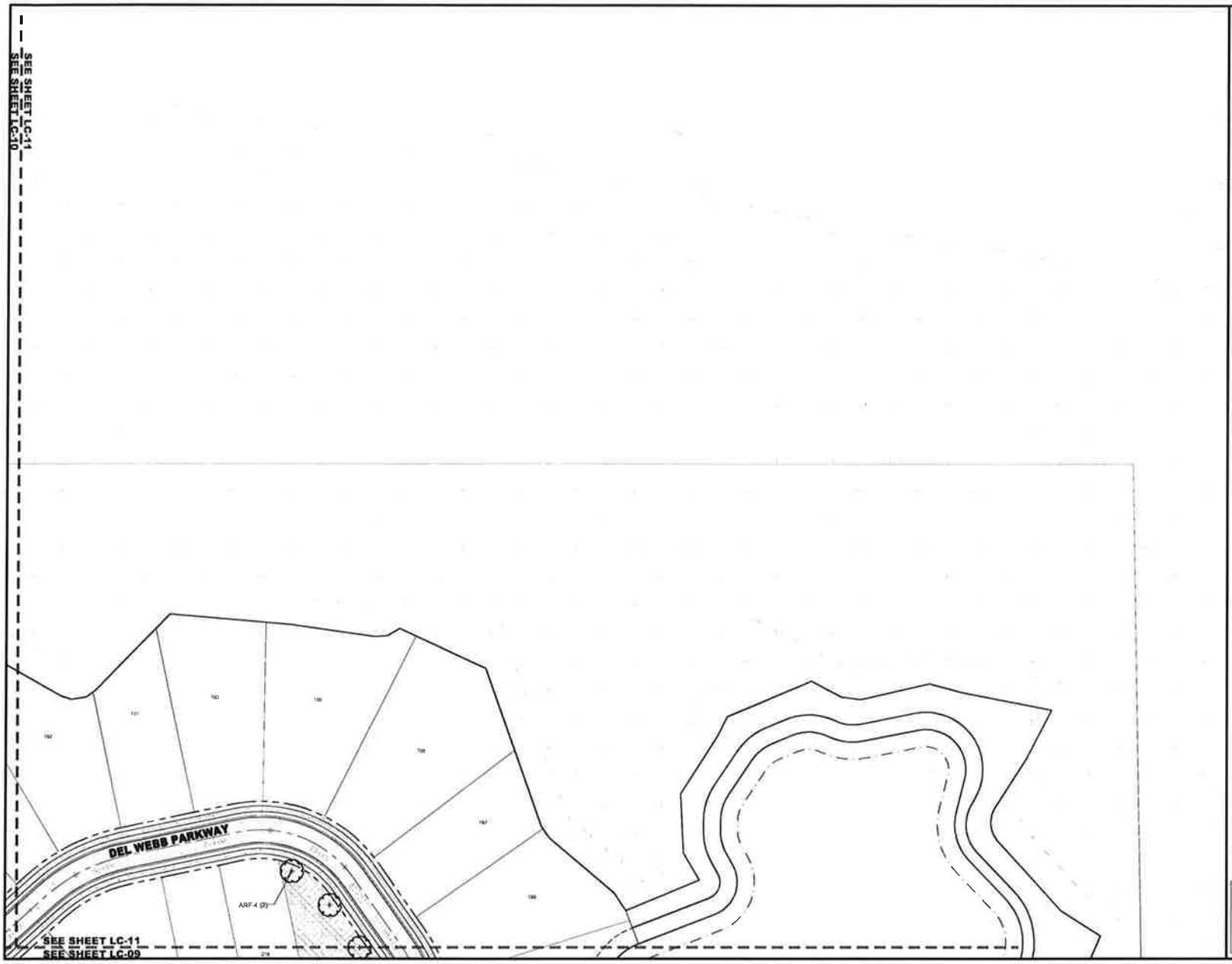
LANDSCAPE PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
LC-10

PLOTTED February 8, 2023 - 4:48 PM, BY: M. Shaw



KEY MAP
N.T.S.

PLANT SCHEDULE

LARGE TREES	COMMON NAME
	FLORIDA FLAME RED MAPLE
	SOUTHERN RED CEDAR
	SOUTHERN MAGNOLIA
	SOUTHERN MAGNOLIA
	SLASH PINE
	SOUTHERN LIVE OAK
	BALD CYPRESS
	WACCO ELM
MEDIUM TREES	COMMON NAME
	EAGLESTON HOLLY
SMALL TREES	COMMON NAME
	BUTTERBUSH
	EASTERN REDBUD
	WAX MYRTLE CONSCTRIC
	LAVENDER CRAPE MYRTLE STANDARD TRUNK
PALM TREES	COMMON NAME
	CABBAGE PALMETTO
	CABBAGE PALMETTO
SHRUBS	COMMON NAME
	WAX MYRTLE

0' 20' 40' 80'
1"=40'-0"

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PLANS PREPARED UNDER THE DIRECTION OF:
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L.A. NUMBER: 6666839

REVISIONS

FILE NO.	19-238-04
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LANDSCAPE PLAN

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
LC-11

PLOTTED: February 9, 2023 - 4:49 PM, BY: R. Carter

LANDSCAPE SPECIFICATIONS:

PART 1 GENERAL NOTES

1.1 Scope. This section includes all planting of shrubs, trees, ground covers, and other supplementary work shown on the drawings and specified herein, complete.

1.2 Applicable Documents. The following publications, specifications, and standards of the issues listed in this paragraph (including the amendments and addenda designated), but referred to hereinafter by basic designation only, form a part of this specification to the extent required by the references thereto.

1.3 Publication of Reference. Publications as herein listed shall be held in basic reference:

- 1.3.1 Grades and Standards for Nursery Plants, Parts I and II, State Department of Agriculture and/or State Plant Board of Florida, Seagle Building, Gainesville, Florida.
- 1.3.2 State of Florida Fertilizer Law, Office of the Secretary of State, Tallahassee, Florida.
- 1.3.3 American Standard for Nursery Stock (ANSI Z60.1–), American Association of Nurserymen.
- 1.3.4 Tree Care Operations (ANSI Z133.1–)
- 1.3.5 Guideline Specifications to Sodding, America Sod Producers Association (ASPA).

1.4 Substitutions of Plant Material. If a plant is found to be unavailable, submit proof of non-availability and a proposal for use of equivalent material. When authorized, adjustment of contract amount will be made. No substitutions will otherwise be authorized. To prove non-availability, The Contractor must provide at least five (5) letters from growers or dealers from the States of Florida and Georgia explaining the non-availability of the plant material. Substitutions made without prior approval may be rejected after planting and any replacement of materials will be at the contractors expense.

1.5 On-Site Conditions and Adjustments. The locations of plants, as shown on the plans, are approximate. Planting shall be adjusted to fit actual as-built conditions on the site, including but not limited to separation from hardscapes and utilities as governed by municipal codes. Any changes in locations caused thereby shall be made without additional cost to the Owner, Owner's Representative, or Landscape Architect. The Contractor shall immediately notify the Owner's Representative when conditions detrimental to plant growth are encountered, such as rubble fill, lime rock, or obstructions; and when field conditions are different than portrayed on the plans prior to planting. The Owner or Owner's Representative may adjust the layout or location of specified plant materials to avoid these areas without additional costs.

1.6 Coordination of Plantings. Coordinate all landscape work with the Owner's Representative and other contractors. Plant trees and shrubs after final grades are established and prior to planting of lawns, unless otherwise directed by the Owners Representative.

1.7 Fine Grading. Provide fine grading necessary to establish finish grade in all landscape areas. Fine grading shall include only minor grading to correct random or infrequent grade irregularities of 12" or less; unless otherwise noted on plans.

1.8 Liability of Contractor. The contractor shall be liable for any and all damages to property that result from his performance, including damage to preserved trees. He shall, without extra cost, mitigate or restore to original condition any areas and/or construction damaged, defaced, disturbed, or destroyed by him or his workmen.

1.9 Tree Tagging. A tree tagging trip may be requested by Owner's Representative prior to approval of plant material. Landscape contractor shall be responsible for providing transportation and accommodations if necessary.

1.10 Inferior Materials. Contractor shall be responsible for rejecting inferior materials. Materials in a damaged or unhealthy state may be rejected by the Owners Representative if necessary.

1.11 Onsite Debris. Contractor shall be responsible for removing and disposing of offsite all stones over 1" in diameter, sticks, roots, and other extraneous matter in planted areas to a depth of 2'. If debris is excessive and results from construction waste please contact owners representative for appropriate actions.

PART 2 SUBMITTALS

2.1 Soil Testing for Plant Material. The Contractor shall be responsible for testing soils in planted areas to confirm that soil is suitable for healthy plant growth.

2.2 Seed Certification. All seed must comply with regulatory agencies for fertilizer and herbicide composition.

2.3 Inspection Certificates, Manufacturer's Data. Upon request of Owners representative copies of inspection certificates or manufacturer's data shall be provided for any material used onsite; in addition to existing materials found onsite.

PART 3 MATERIALS

3.1 General Plant Materials Requirements. Provide state inspected, nursery grown plants, unless otherwise specified. Conform to the plant schedule, "Florida Department of Agriculture Grades and Standards for Nursery Plants", local landscape ordinance, and, where applicable, to ANSI Z60.1 All plant materials shall be nursery grown, Florida No.1 stock. Any material not consistent with Florida Number 1 standards may be rejected after planting and replacement of materials will be at the contractors expense. All materials shall be healthy, vigorous, free of diseases and insects, pruned for best shape without appearance of "de-horning", and without symptoms of nutritional deficiency. Furnish plants grown under climatic conditions similar to those in the locality of the project. All plants must be true of variety, cultivars, and/or species. Plants must measure according to sizing requirements detailed on the drawings. Plants must be naturally bushy, dense, in good foliage, well branched, and of good appearance. The nursery/nurseries from which they are derived shall be under regulatory inspection by the Florida State Department of Agriculture and/or the Florida State Plant Board or an equivalent agency, if derived from outside the State of Florida. Plants entering from outside the State of Florida must bear the entry certificate of the State Department of Agriculture of the State of Florida. All plant materials will be subject to approval of the Owner or Owner's Representative for quality, size and color.

3.2 Soil Additives. Contractor shall be responsible for adding peat, humus, fertilizer, manure, pH adjusters or any other commercially accepted soil additive to insure normal, healthy plant growth.

3.3 Balled and Burlapped Trees. Ensure that field grown material follows local industry standards for root pruning, digging, balling and burlapping, etc. All balled and burlapped materials must be hardened off before shipment. All materials are subject to approval by the Owners Representative prior to shipping to project site.

3.4 Sodded Trees. Trees shall have been sodded from a commercial nursery field that has been inspected by The Department of Agriculture and Consumer Services within the last 9 months. The Contractor shall provide a copy of the most recent Nursery, Stock dealer and Special Inspection Report for verification upon Owners Representative request. Ball size shall be at least one size greater than recommended by ANSI Z60.1, American Standard for Nursery Stock, unless otherwise specified. Sodded material is subject to approval and tagging by the Owner's Representative prior to shipping to project site.

3.5 Container Plants. Provide container grown plants with sufficient roots to hold the container soil together after removal from the container. Root bound plants and plants with inadequate root systems are not acceptable.

3.6 Surface Mulch. Plans shall specify mulch type. Mulch shall be in a non-decomposed state; not more than one (1) season old.

3.7 Herbicides, Insecticides. Chemical sprays, dusts, or gaseous compounds used on or around plant materials, including but not limited to trees, shall be approved for such uses by the environmental protection agency and the Florida department of agriculture and consumer services. Such materials as may be used shall not constitute a hazard to human health or interfere with site working conditions and habitation.

3.8 General Seed Requirements. Where seeding may be required on the plans, the seed required shall comply with all minimum provisions of the Florida seed certification and testing law. Noxious weed seeds shall be non-existent and foreign materials shall not exceed two percent. All disturbed areas not shown as sodded shall be seeded.

3.9 General Sod Requirements. See plan for specified sod. All sod shall be healthy, strongly rooted and not less than two (2) years old, free of weeds and undesirable native grasses in 18" x 24" pads, 1–1/2" thick. Sod shall conform to "nursery grown" grade as established by American Sod Producers Association (ASPA). Sod shall be considered free of weeds if less than 5 weeds are found per 100 square feet of area. Brown, dry, irregularly smooth, and/or un-fresh sod will be rejected.

PART 4 PLANTING PROCEDURES

4.1 General. Prior to commencement of any work, the landscape contractor shall inspect the site, locate planting areas, placement of guying devices, locate electrical cables, conduits, and other underground and above utilities so that proper precautions and procedures may be followed during and throughout construction. The contractor shall become familiar with other job trade activity which has an impact upon his work or upon which his work has an impact and shall arrange to carefully coordinate his work with other trades through the owner's representative on-site. All planting practices listed herein shall insure healthy plant growth.

4.2 Layout. The location of plants and planting beds, as shown on these plans, are approximate. The locations and bed lines shall be staked on the project site by the contractor and approved by the owner's representative before any plant pits or beds are dug. The contractor is responsible for verifying that proper setbacks, as defined by local codes and rules, are provided between trees and their proximity to utilities and hardscapes. Unless otherwise noted, no tree shall be planted closer than four feet to a hardscape surface. The owner's representative may adjust plant material locations to meet field conditions. Contractor shall make minor adjustments without additional cost to the owner.

4.3 Finish Grades. The landscape contractor is responsible for all fine grading and preparation for planting. Finish grades (top of soil) for all sod areas after settlement shall be one-half inch below the top of abutting curbs, walks, walls and abutments. The finish grade of all plant beds prior to mulching shall be three inches below finish grade of sod, abutting curbs, walks and walls. Three inches of mulch shall be added after planting.

4.4 Planting Seasons/Times. The planting of plant materials and lawns may proceed at any time, period, or season agreed upon by the contractor and the owner or owner's representative.

4.5 Plant Pits. The contractor shall excavate plant pits, unless otherwise approved, according to the drawings.

4.6 Setting Plants. Each plant shall be established in a manner consistent with plant details. All plants shall be set plumb and straight. Plants shall be established to a depth that is not greater than that at which they grew when in the nursery container or field. All back fill shall be tamped and worked firmly under and around the root ball to fill all voids.

4.7 Soil Preparation for Trees, Shrubs and Groundcover. All areas to be planted shall be prepared in a manner to insure normal, vigorous and healthy growth of plant material.

4.8 Staking. All trees are to be staked unless otherwise instructed by owner or owner's representative. Refer general staking details on the drawings. Materials used shall insure healthy plant growth.

4.9 Mulching. All plant beds and plant saucers shall be uniformly covered with a four-inch (4") layer of mulch. Hedges shall be mulched the full width of the hedge bed. Contain mulch within landscape borders.

4.10 Sod. All areas to be either seeded, sprigged, or sodded shall be prepared in a manner to insure normal, vigorous and healthy growth.

- 4.10.1 Fine grade lawn areas to smooth, even surface with loose, uniformly fine texture. Roll, rake and drag lawn areas, remove ridges and fill depressions with topsoil as required to meet finish grades. In areas to be sodded, allow for sod thickness.
- 4.10.2 Sod Installation. Lay sod in straight, parallel rows to form a solid mass with tightly fitted joints, without overlap. Stagger strips to offset joints. Work topsoil into minor cracks. On 1:3 slopes or greater, lay sod with long dimension of pads parallel to contours and stake sod as necessary to stabilize. Drive sod stakes flush with top of sod.
- 4.10.3 Sprigging and Seeding. Sprigging/seeding shall be done in a manner to insure a quick grow in period achieving a uniform green lawn prior to final acceptance.

PART 5 MAINTENANCE

5.1 Plant Material. Maintain all plant materials until final acceptance. Maintenance shall include all required watering, cultivation, weeding, mowing, pruning, wound dressing, immediate replacement of dead and unacceptable material, straightening plants which lean or sag, adjustments of plants which are planted too low, and any other procedure consistent with good horticultural practice necessary to insure normal, vigorous and healthy growth of all planting under this contract.

5.2 Lawn. Maintain lawns until final acceptance. Reset settled or eroded sod areas to proper grade. Fill open joints with topsoil. Keep sod free of insects and disease.

PART 6 FINAL INSPECTION AND ACCEPTANCE

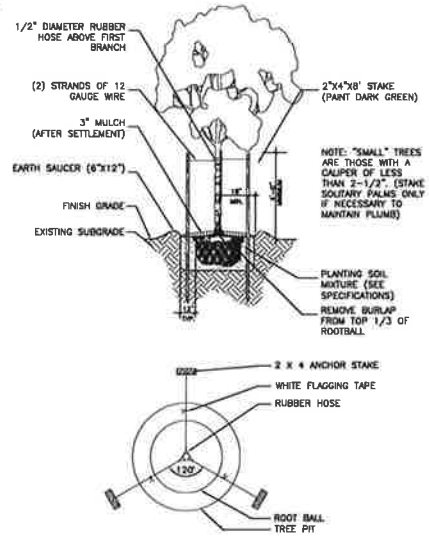
6.1 Final Cleanup. Upon final completion of work and before inspection and acceptance, all aspects of the project site shall be thoroughly and completely cleaned of debris, stains, materials, defacements, and temporary facilities. Likewise, any repairs, which are the obligation of this contractor, shall be completed.

6.2 Initial Inspection and Acceptance. Inspection shall be made by the owner or owner's representative within (10) ten days of written notification from the contractor that installation is complete. If all work and materials meet specifications project will be accepted as is. Materials and work not in compliance with specifications shall be rejected by owners representative and replaced by the contractor within (15) fifteen days of notification by owner's representative. Notification will graphically depict all rejected material on plans. Upon replacement of all rejected work and materials by the contractor the owner's representative shall conduct a final inspection within ten (10) days of written notification from the contractor that all rejected work has been replaced according to specifications. Approval will be granted upon the acceptance of all replaced material noted on plans. After final acceptance, the landscape contractor will not be responsible for damage to work resulting from:neglect by owner, damage by others; abnormal weather conditions such as floods, excessive wind, severe freezing or abnormal rains; or other activities clearly beyond the landscape contractor's control.

PART 7 GUARANTEE

7.1 Guarantee. All plant materials and trees installed by the contractor shall be guaranteed for 365 days from the date of final inspection and acceptance. The contractor shall replace at no additional cost to the owner, all plant materials which die and/or which are not healthy and in a good growing condition during the guarantee period. Replacement of such material shall occur within ten (10) days from owner's written notification to the contractor. The 365 day guarantee period for replaced plant materials shall commence on the date of acceptance of the replaced item or items of plant material. The contractor shall not be required to replace, repair, or restore any portion of the work that is damaged, defaced, disturbed, and/or destroyed by others after final acceptance.

NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY WITH THE LANDSCAPE ARCHITECT THAT THEY ARE USING THE MOST CURRENT PLAN SET FOR BIDDING AND INSTALLATION. FAILURE TO VERIFY CURRENT PLAN SET COULD RESULT IN CORRECTIVE WORK, INCLUDING DESIGN REVISIONS AND PERMITTING FEES TO BE PERFORMED AT THE CONTRACTORS EXPENSE.

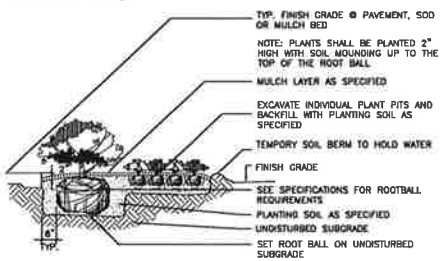


NASSAU COUNTY TREE PLANTING DETAIL

SCALE: NTS

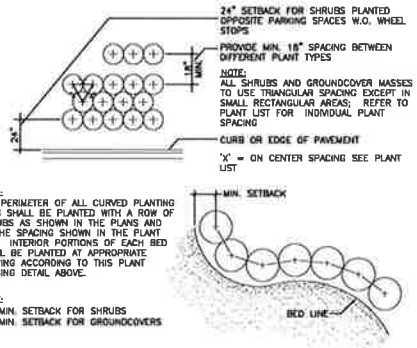
NOTE:
WHEN GROUNDCOVER AND SHRUBS ARE USED IN MASS, PREPARE ENTIRE BED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL AS SPECIFIED.

CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.



SHRUB AND GROUNDCOVER PLANTING DETAIL

SCALE: NTS



NOTE:
THE PERIMETER OF ALL CURVED PLANTING BEDS SHALL BE PLANTED WITH A ROW OF SHRUBS AS SHOWN IN THE PLANS AND AT THE SPACING SHOWN IN THE PLANT LIST. INTERIOR PORTIONS OF EACH BED SHALL BE PLANTED AT APPROPRIATE SPACING ACCORDING TO THIS PLANT SPACING DETAIL ABOVE.

NOTE:
18" MIN. SETBACK FOR SHRUBS
12" MIN. SETBACK FOR GROUNDCOVERS

SHRUB AND GROUNDCOVER SPACING DETAIL

SCALE: NTS

PLANS PREPARED UNDER THE DIRECTION OF:
DANIEL A. SCHWARTZ, JR., PLA
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REVISIONS

FW NO. 18-239-04
DRAWN BY: D.A.A.
DESIGNED BY: D.A.A.
CHECKED BY: R.C.
DATE: OCTOBER 2022

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LANDSCAPE SPECIFICATIONS AND DETAILS

WILDLIGHT PDP #3 PARCEL 6
FOR
PULTE HOME COMPANY, LLC

DRAWING NUMBER
LC-12

T:\2018\18-239\18-239-04\Landscape\Plans\18-239-04_LC0 Plot.dwg

REQUIRED LOT TREES

Lot No	Lot Area	Number of Trees Required	Lot Width
1	4.725	2	33
2	4.725	2	33
3	5.443	2	33
4	5.927	2	33
5	5.827	2	33
6	5.826	2	33
7	5.827	2	33
8	5.655	2	33
9	5.655	2	33
10	7.753	3	33
11	7.885	3	33
12	6.559	3	33
13	5.947	2	33
14	4.855	2	33
15	4.725	2	33
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21	4.725	2	33
22	4.743	2	33
23	4.896	2	33
24	5.639	2	33
25	4.561	2	33
26	4.338	2	33
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69	5.339	2	40
70	6.674	3	50
71	8.502	3	50
72	6.100	3	50
73	6.500	3	50
74	6.500	3	50
75	6.518	3	50

REQUIRED LOT TREES

Lot No.	Lot Area	Number of Trees Required	Lot Width
76	6.859	3	50
77	6.095	3	50
78	5.245	2	40
79	5.152	2	40
80	5.177	2	40
81	5.000	2	40
82	5.000	2	40
83	5.000	2	40
84	5.000	2	40
85	5.000	2	40
86	5.000	2	40
87	5.000	2	40
88	5.000	2	40
89	5.000	2	40
90	5.000	2	40
91	6.250	3	50
92	6.250	3	50
93	6.250	3	50
94	6.250	3	50
95	6.250	3	50
96	6.250	3	50
97	5.000	2	40
98	5.000	2	40
99	4.999	2	40
100	5.825	2	40
101	5.095	2	40
102	4.556	2	33
103	4.616	2	33
104	4.676	2	33
105	4.714	2	33
106	4.725	2	33
107	4.725	2	33
108	4.725	2	33
109	4.725	2	33
110	4.725	2	33
111	4.725	2	33
112	4.725	2	33
113	4.782	2	33
114	4.895	2	33
115	4.942	2	33
116	5.024	2	33
117	5.132	2	33
118	7.009	3	50
119	8.220	3	50
120	7.553	3	50
121	7.172	3	50
122	7.167	3	50
123	7.101	3	50
124	7.066	3	50
125	7.088	3	50
126	6.375	3	50
127	6.134	3	50
128	6.651	3	50
129	6.651	3	50
130	6.651	3	50
131	6.682	3	50
132	7.643	3	50
133	5.018	2	40
134	5.000	2	40
135	5.000	2	40
136	4.980	2	40
137	7.319	3	40
138	7.193	3	40
139	7.193	3	40
140	7.193	3	40
141	6.791	3	40
142	5.000	2	40
143	5.000	2	40
144	6.250	3	50
145	6.250	3	50
146	6.959	3	50
147	7.649	3	50
148	7.604	3	50
149	7.798	3	50
150	7.458	3	50

REQUIRED LOT TREES

Lot No.	Lot Area	Number of Trees Required	Lot Width
151	7.101	3	50
152	7.135	3	50
153	7.118	3	50
154	7.118	3	50
155	7.208	3	50
156	4.976	2	40
157	5.734	2	40
158	6.018	3	40
159	6.016	3	40
160	6.757	3	50
161	7.893	3	50
162	7.893	3	50
163	8.417	3	50
164	8.417	3	50
165	8.417	3	50
166	10.679	4	50
167	8.887	3	50
168	8.620	3	50
169	8.620	3	50
170	8.620	3	50
171	7.934	3	50
172	8.558	3	50
173	8.496	3	50
174	8.308	3	50
175	8.872	3	50
176	8.590	3	50
177	8.590	3	50
178	8.590	3	50
179	8.590	3	50
180	8.547	3	65
181	9.342	4	65
182	9.783	3	65
183	10.068	4	65
184	12.147	4	65
185	13.320	4	65
186	12.453	4	65
187	9.874	4	65
188	16.568	5	65
189	14.917	4	65
190	12.995	4	65
191	9.268	4	65
192	12.099	4	65
193	9.627	4	50
194	7.934	3	50
195	8.000	3	50
196	7.961	3	50
197	8.920	3	50
198	8.750	3	50
199	9.750	3	50
200	10.480	4	50
201	12.730	4	50
202	10.150	4	50
203	8.456	3	50
204	6.500	3	50
205	6.500	3	50
206	7.657	3	50
207	7.243	3	50
208	6.375	3	50
209	6.375	3	50
210	6.375	3	50
211	6.375	3	50
212	6.375	3	50
213	7.413	3	50
214	7.929	3	50
215	6.749	3	50
216	6.415	3	50
217	6.375	3	50
218	10.018	4	50
219	6.375	3	50
220	6.375	3	50
221	6.375	3	50
222	6.375	3	50
223	6.375	3	50
224	6.375	3	50
225	7.097	3	50

REQUIRED LOT TREES

Lot No.	Lot Area	Number of Trees Required	Lot Width
226	11.099	4	50
227	9.589	4	50
228	9.034	4	50
229	8.876	3	50
230	10.067	4	50
231	10.354	4	65
232	12.808	4	65
233	12.034	4	65
234	13.193	4	65
235	10.474	4	65
236	9.652	4	65
237	8.981	3	50
238	8.919	3	50
239	10.197	4	50
240	10.224	4	50
241	8.690	3	50
242	7.749	3	50
243	6.683	3	50
244	6.683	3	50
245	6.675	3	50
246	6.683	3	50
247	6.682	3	50
248	6.651	3	50
249	5.849	2	40
250	6.093	3	40
251	6.292	3	40
252	5.906	2	40
253	5.596	2	40
254	5.176	2	40
255	18.011	5	65
256	21.175	5	65
257	13.473	4	65
258	10.645	4	65
259	8.936	3	65
260	9.273	4	65
261	11.661	4	65
262	11.667	4	65
263	11.620	4	65
264	11.666	4	65
265	10.989	4	65
266	8.450	3	65
267	8.450	3	65
268	8.450	3	65
269	12.345	4	65
270	5.249	2	40
271	5.272	2	40
272	5.272	2	40
273	5.271	2	40
274	7.302	3	50
275	8.705	3	50
276	9.204	4	50
277	8.135	3	50
278	6.500	3	50
279	6.500	3	50
280	6.500	3	50
281	6.703	3	50
282	7.178	3	50
283	5.654	2	40
284	6.117	3	40
285	6.380	3	40
286	6.600	3	40
287	7.070	3	40
288	5.979	2	40
289	7.351	3	50
290	7.200	3	50
	TOTAL	784	

NASSAU COUNTY CODE REQUIREMENTS:

PROTECTED TREE PRESERVATION/REPLACEMENT
Not required: the Development area is under an active silviculture permit

INTERIOR LANDSCAPING
Not required: no off-street parking is located within these phases

DEVELOPMENT BUFFERS
Not required: adjacent properties are consistent in use

PERIMETER LANDSCAPING BUFFER
Plan shall provide a strip of pervious land adjacent and parallel to the right-of-way line having an average width of fifteen (15) and a minimum width of seven and one-half (7 ½) feet along the entire street frontage except for permitted driveways. This perimeter landscaping strip shall contain a minimum of three (3) canopy trees and three (3) understory trees per one hundred (100) linear feet of property frontage. The canopy trees shall consist of more than one species listed in Tables 37-1 or 37-2 and meeting the material standards of this section. Planted trees are not meant to be spaced evenly but rather randomly distributed by species within the largest open spaces.

UPLAND BUFFERS
Upland buffers shall be maintained in their natural vegetated condition. Native vegetation removed or destroyed within the upland buffer in violation of Nassau County Comprehensive Plan Policy 1.04c.02 shall be restored. These areas shall be replanted with comparable native vegetative species as were removed or destroyed. Noxious and non-native invasive plant materials can be removed. Dead vegetation can be removed. Limbing can occur with the buffers, provided that the limbs to be removed are less than three (3) inches in diameter.

ONE AND TWO FAMILY DWELLINGS
One and two-family dwellings. Each single family and two-family lot must provide at least one (1) tree per three thousand (3,000) square feet of lot area for the first quarter acre of lot area. For lots exceeding one-quarter (¼) acre, one (1) tree for every additional one-quarter (¼) acre, or major fraction thereof, must be preserved or planted. Existing canopy trees, Sabal Palms and pine trees may be used to satisfy this requirement, in whole or in part, provided that they have a minimum caliper of four (4) inches DBH. When trees are planted to meet the minimum requirement they must be more than one species of tree listed in Tables 37-1 or 37-2 and meeting the material standards of this section. The foregoing represent the entire requirement applicable to individual one and two-family dwellings.

Refer to the Required Lot Tree Table for individual lot planting requirements. Required trees may be preserved or planted. Preserved trees shall be protected according to sec. 37.02; planted tree shall be selected and installed according to sec 37.05.

Individual lots will be required to meet the diversity standards as set forth in section 37.05.B.1 in order to prevent a monoculture, new landscaping should not include more than fifty (50) percent of any one genus or twenty-five (25) percent of any one species.

NASSAU COUNTY NOTES:

1) ALL PLANTS WILL BE FULLY IRRIGATED AS PER 37.05(G)(1).

2) ALL TREES PLANTED WILL BE STAKED OR GUYED FOR A PERIOD OF AT LEAST 6 MONTHS AS PER 37.05(B)(2).

3) THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE AREAS, INCLUDING IRRIGATION, MOWING, TRIMMING, FERTILIZING, & CARRYING OUT THE ACTIVITIES TO KEEP THE PLANT MATERIAL IN A HEALTHY AND GROWING CONDITION, MAINTAIN VISUAL CLEARANCE, & ALLOW PASSAGE OF VEHICLES & PEDESTRIANS ON PUBLIC ROADS & NON-EXCLUSIVE EASEMENTS AS PER 37.05(J).

PRELIMINARY DEVELOPMENT PLAN (PDP) #3 NOTES:

1) AT LEAST ONE OF THE REQUIRED LOT TREES SHALL BE PLACED WITHIN 15 FEET OF THE STREET RIGHT OF WAY TO SATISFY THE STREET TREE REQUIREMENTS OF PRELIMINARY DEVELOPMENT PLAN (PDP) #3.

2) ALL REQUIRED LOT TREES PLANTED TO MEET THE STREET TREE REQUIREMENTS SHALL MEET ALL OTHER NASSAU COUNTY REQUIREMENTS PERTAINING TO TREES AND LANDSCAPE, ESPECIALLY MAXIMUM NUMBER OF TREES OF THE SAME GENUS (50%) AND SPECIES (25%).

LANDSCAPE CODE REQUIREMENT SUMMARY

DESCRIPTION	REQUIRED			PROVIDED		
PERIMETER LANDSCAPE BUFFER	CANOPY	UNDERSTORY	TOTAL	CANOPY	UNDERSTORY	TOTAL
CURIOSITY AVENUE (1448 L.F.÷3/100)	43 TREES	43 TREES	87 TREES	43 TREES	44 TREES	87 TREES

PLANT SCHEDULE

LARGE TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
ARF-4	36	ACER RUBRUM 'FLORIDA FLAME'	FLORIDA FLAME RED MAPLE	SIZE AS NEEDED	4" CAL	16" HT. X 6" SPD.
JS	8	JUNIPERUS SILICICOLA	SOUTHERN RED CEDAR	SIZE AS NEEDED	3" CAL	10-12' HT. X 3-4' SPR
MG-4	12	MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD' TM	SOUTHERN MAGNOLIA	SIZE AS NEEDED	4" CAL	16" HT X 6" SPD
MG-6	6	MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD' TM	SOUTHERN MAGNOLIA	SIZE AS NEEDED	6" CAL	20' HT X 12' SPD
PE-3	19	PINUS ELLIOTTI	SLASH PINE	SIZE AS NEEDED	3" CAL	10-12' HT. X 3-4' SPR
QV-3	46	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	SIZE AS NEEDED	3" CAL	12-14' HT. X 5' SPD.
TD-3	6	TAXODIUM DISTICHUM	BALD CYPRESS	SIZE AS NEEDED	3" CAL	12-14' HT. X 5' SPD.
UA-4	25	ULMUS ALATA	WINGED ELM	SIZE AS NEEDED	4" CAL	14-16' HT X 6' SPD

MEDIUM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
IE	7	ILEX X ATTENUATA 'EAGLESTON'	EAGLESTON HOLLY	SIZE AS NEEDED	3" CAL	12-14' HT X 5' SPD

SMALL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
CA	6	CALLISTEMON ACUMINATUS	BOTTLEBRUSH	SIZE AS NEEDED		
CC	4	CERCIS CANADENSIS	EASTERN REDBUD	SIZE AS NEEDED	2" CAL	8-10' HT., 4-5' SPRD. MIN.
CV	18	CHIONANTHUS VIRGINICUS	WHITE FRINGE TREE	12' HT X 6' SPR	3" CAL	
LWS-4	13	LAGERSTROEMIA X 'MUSKOGEE'	LAVENDER CRAPE MYRTLE STANDARD TRUNK	SIZE AS NEEDED	4" CAL	14-16' HT. X 7-8' SPD.

PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
SP-12	10	SABAL PALMETTO	CABBAGE PALMETTO	FG		12' CT
SP-14	11	SABAL PALMETTO	CABBAGE PALMETTO	FG		14' CT

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
MC-7	46	MYRICA CERIFERA	WAX MYRTLE	7 GAL., 3' HT. X 3' SPR. MIN.	48" O.C.

PLANS PREPARED UNDER THE DIRECTION OF
DANIEL A. ASHWORTH, JR., PLA
L.A. NUMBER: 5558639

REVISIONS
△ 07/21/2021 REVISED PER LATEST PLAN

F.W. NO. 19-239-04
Drawn BY: D.A.A.
DESIGNED BY: D.A.A.
CHECKED BY: R.C.
DATE: OCTOBER 2022

England-Thims & Miller, Inc.
14775 Old St. Augustine Road
Jacksonville, FL 32258
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ETM
VISION • EXPERIENCE • RESULTS

LANDSCAPE CODE CALCULATIONS AND NOTES

WILDLIGHT PDP #3 PARCEL 6 FOR PULTE HOME COMPANY, LLC

DRAWING NUMBER
LC-13

PLOTTED February 8, 2023 - 4:43 PM, BY: A. Dwyer

\\JSFS\19-239\19-239-04\Landscape\Cert\19-239-04_LC13.dwg