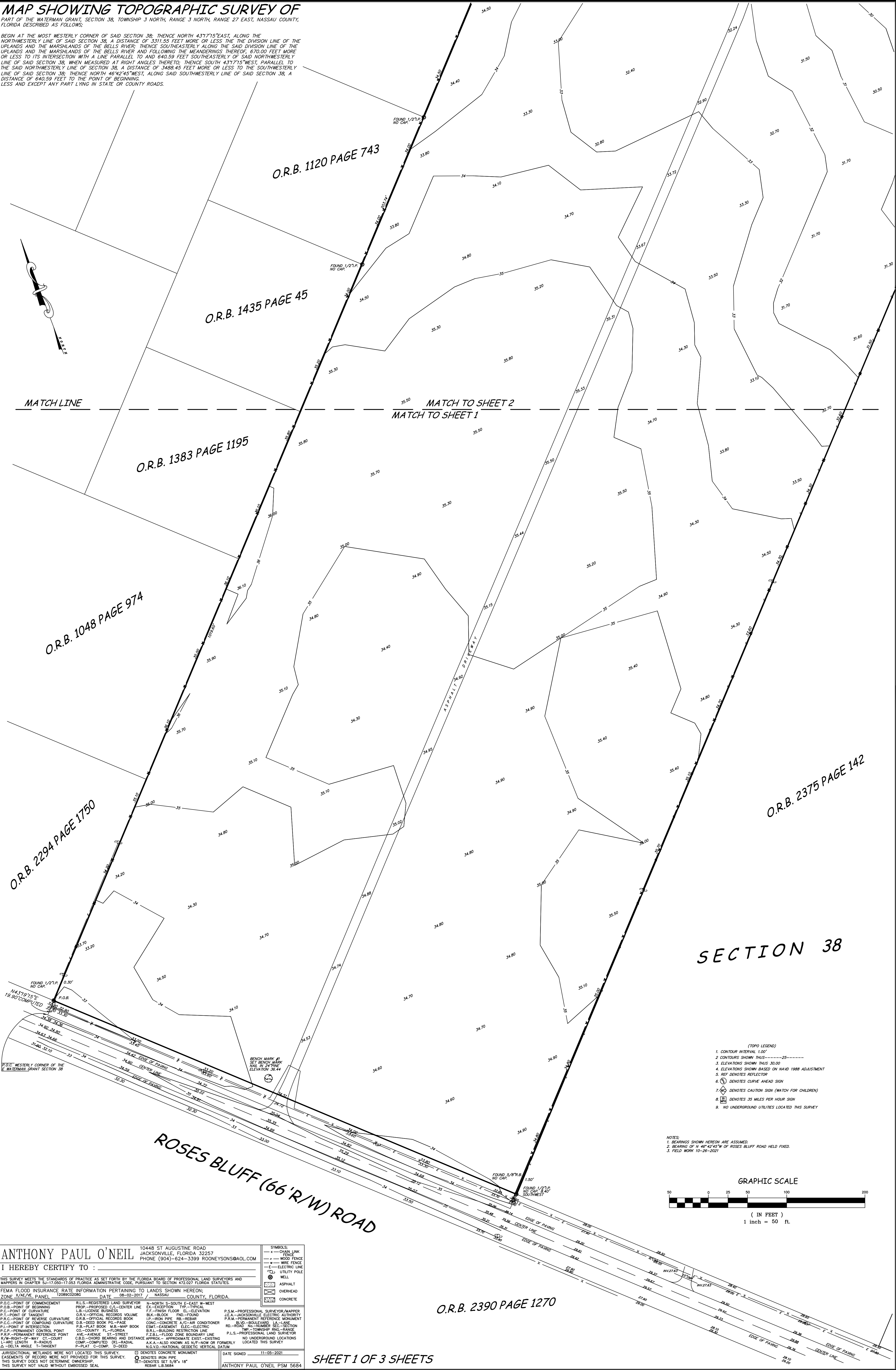




MAP SHOWING TOPOGRAPHIC SURVEY OF  
PART OF THE WATERMAN GRANT, SECTION 38, TOWNSHIP 3 NORTH, RANGE 3 NORTH, RANGE 27 EAST, NASSAU COUNTY,  
FLORIDA DESCRIBED AS FOLLOWS:

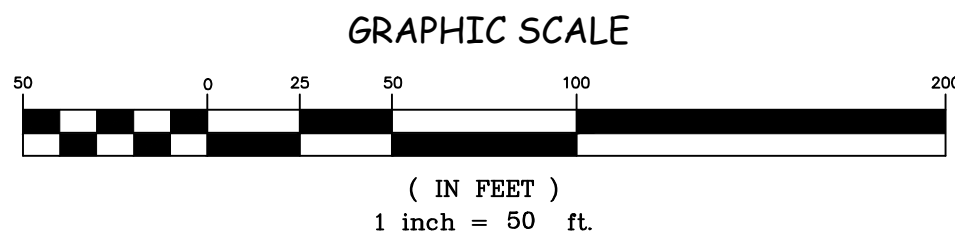
BEGIN AT THE MOST WESTERLY CORNER OF SAID SECTION 38; THENCE NORTH 43°17'15" EAST, ALONG THE  
NORTHWESTERLY LINE OF SAID SECTION 38, A DISTANCE OF 3311.55 FEET MORE OR LESS THE THE DIVISION LINE OF THE  
UPLANDS AND THE MARSHLANDS OF THE BELLS RIVER; THENCE SOUTHEASTERLY ALONG THE SAID DIVISION LINE OF THE  
UPLANDS AND THE MARSHLANDS OF THE BELLS RIVER FOLLOWING THE MEANDERINGS THEREOF, 670.00 FEET MORE  
OR LESS TO ITS INTERSECTION WITH A LINE PARALLEL TO AND 640.59 FEET SOUTHEASTERLY OF SAID NORTHWESTERLY  
LINE OF SAID SECTION 38, WHEN MEASURED AT RIGHT ANGLES THERETO; THENCE SOUTH 43°17'15" WEST, PARALLEL TO  
THE SAID NORTHWESTERLY LINE OF SECTION 38, A DISTANCE OF 3468.45 FEET MORE OR LESS TO THE SOUTHWESTERLY  
LINE OF SAID SECTION 38; THENCE NORTH 46°42'45" WEST, ALONG SAID SOUTHWESTERLY LINE OF SAID SECTION 38, A  
DISTANCE OF 640.59 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT ANY PART LYING IN STATE OR COUNTY ROADS.



- (TOPO LEGEND)
1. CONTOUR INTERVAL 1.00'
  2. CONTOURS SHOWN THUS-----25-----
  3. ELEVATIONS SHOWN THUS 30.00
  4. ELEVATIONS SHOWN BASED ON NAVD 1988 ADJUSTMENT
  5. REF. DENOTES REFLECTOR
  6. DENOTES CURVE AHEAD SIGN
  7. DENOTES CAUTION SIGN (WATCH FOR CHILDREN)
  8. DENOTES 35 MILES PER HOUR SIGN
  9. NO UNDERGROUND UTILITIES LOCATED THIS SURVEY

NOTES:  
1. BEARINGS SHOWN HEREON ARE ASSUMED.  
2. BEARING OF N 46°42'45"W OF ROSES BLUFF ROAD HELD FIXED.  
3. FIELD WORK 10-26-2021



ANTHONY PAUL O'NEIL

10448 ST AUGUSTINE ROAD  
JACKSONVILLE, FLORIDA 32257  
PHONE (904)-624-3399 ROONEYSONS@AOL.COM

I HEREBY CERTIFY TO :

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AND  
MAPPERS IN CHAPTER 5J-17.050-17.053 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

FEMA FLOOD INSURANCE RATE INFORMATION PERTAINING TO LANDS SHOWN HEREON;  
ZONE 3/AE/NE PANEL 12089C02086 DATE 08-02-2017 /- NASSAU COUNTY, FLORIDA.

P.O.C.-POINT OF COMMENCEMENT	P.L.S.-REGISTERED LAND SURVEYOR	N-NORTH S-SOUTH E-EAST W-WEST	P.S.M.-PROFESSIONAL SURVEYOR/MAPPER
P.O.B.-POINT OF BEGINNING	PROP.-PROPOSED C/L-CENTER LINE	EX-EXCEPTION TYP-TYPICAL	J.E.A.-JACKSONVILLE ELECTRIC AUTHORITY
P.O.C.-POINT OF CURVATURE	L.B.-LICENSE BUSINESS	O.V.-OFFICIAL RECORDS VOLUME	P.R.M.-PERMANENT REFERENCE MONUMENT
P.O.C.-POINT OF INTERSECTION	O.R.B.-OFFICIAL RECORDS BOOK	D.B.-DEED BOOK PG.-PAGE	B.L.D.-BOULEVARD, L.A.-LANE
P.O.C.-POINT OF TANGENT	P.B.-PLAT BOOK M.B.-MAP BOOK	CO.-COUNTY FL.-FLORIDA	R.D.-ROAD R.C.-RANGE
P.O.C.-POINT OF TANGENT	P.C.-PERMANENT CONTROL POINT	CONC.-CONCRETE A/C-AIR CONDITIONER	TWP.-TOWNSHIP RING-RANGE
P.O.C.-POINT OF TANGENT	P.P.-PERMANENT REFERENCE POINT	ESMT.-EASIMENT L.L.C.-ELECTRIC	P.L.S.-PROFESSIONAL LAND SURVEYOR
P.O.C.-POINT OF TANGENT	P.R.-RIGHT-OF-WAY C.I.-COURT	B.R.L.-BUILDING RESTRICTION LINE	NO UNDERGROUND LOCATIONS
P.O.C.-POINT OF TANGENT	P.W.-RIGHT-OF-WAY C.I.-COURT	F.Z.B.L.-FLOOD ZONE BOUNDARY LINE	LOCATED THIS SURVEY
P.O.C.-POINT OF TANGENT	P.W.-RIGHT-OF-WAY C.I.-COURT	C.B.D.-CROSS-BED APPROX.-APPROXIMATE EXIST-EXISTING	
P.O.C.-POINT OF TANGENT	P.W.-RIGHT-OF-WAY C.I.-COURT	A.K.A.-ALSO KNOWN AS N/W-NOW OR FORMERLY	
P.O.C.-POINT OF TANGENT	P.W.-RIGHT-OF-WAY C.I.-COURT	N.O.V.D.-NATIONAL GEODETIC VERTICAL DATUM	
P.O.C.-POINT OF TANGENT	P.W.-RIGHT-OF-WAY C.I.-COURT	Q-DENOTES CONCRETE MONUMENT	
P.O.C.-POINT OF TANGENT	P.W.-RIGHT-OF-WAY C.I.-COURT	Q-DENOTES IRON PIPE	
P.O.C.-POINT OF TANGENT	P.W.-RIGHT-OF-WAY C.I.-COURT	SET-DENOTES SET 5/8" X 18"	
P.O.C.-POINT OF TANGENT	P.W.-RIGHT-OF-WAY C.I.-COURT	REBAR L.B.5684	

DATE SIGNED 11-05-2021  
ANTHONY PAUL O'NEIL PSM 5684

SHEET 1 OF 3 SHEETS

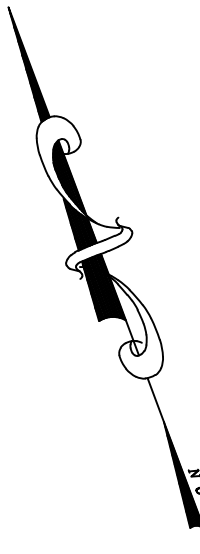
O.R.B. 2390 PAGE 1270

MATCH TO SHEET 3  
MATCH TO SHEET 2

MATCH LINE

O.R.B. 2154 PAGE 220

SECTION 39



BENCH MARK #1  
SET BENCH MARK  
NAIL POWER POLE  
ELEVATION 27.835

3517.40' ± - COMPUTED  
3311.85' ± - REEDED  
3517.40' ± - COMPUTED

WETLANDS

POND

FLAGS A28, A29, A30, A31 NOT FOUND

BENCH MARK #2  
SET BENCH MARK  
NAIL IN 2" PIPE  
ELEVATION 30.43

3521.40' ± - COMPUTED  
3388.45' ± - REEDED  
3521.40' ± - COMPUTED

O.R.B. 2375 PAGE 142

SECTION 38

O.R.B. 1120 PAGE 743

MATCH TO SHEET 2  
MATCH TO SHEET 1

MATCH LINE

(SEE SHEET 1 FOR NOTES)

GRAPHIC SCALE



( IN FEET )  
1 inch = 50 ft.



# BELLS RIVER

REMAINS OF DOCK

670.00' +/-

MEAN HIGH WATER LINE ESTABLISHED FROM  
SURVEY BY STEPHEN W. HOFFMAN FOR  
DATED 03-22-2012 BASED ON NAVD83 DATUM

O.R.B. 2154 PAGE 220

SECTION 39

BENCH MARK #4  
SET BENCH MARK  
NAIL, POWER POLE  
ELEVATION 25.335

MATCH LINE

MATCH TO SHEET 3  
MATCH TO SHEET 2

O.R.B. 2375 PAGE 142

SECTION 38

WETLANDS

FLAGS A28,A29,A30,A31 NOT FOUND

(SEE SHEET 1 FOR NOTES)

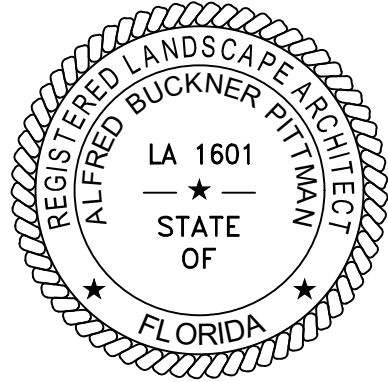
GRAPHIC SCALE



( IN FEET )  
1 inch = 50 ft.

SHEET 3 OF 3 SHEETS





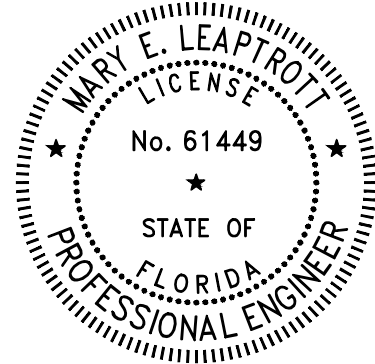
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY:  
ALFRED B. PITTMAN ON THE DATE ADJACENT TO THE SEAL:

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED  
SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED  
ON ANY ELECTRONIC COPIES.

CONNELLY & WICKER INC.  
10060 SKINNER LAKE DR., SUITE 500  
JACKSONVILLE, FL 32246  
PHONE 904.265.3030 FAX 904.265.3031  
FLORIDA REGISTRY NO. 3650 LA NO. LC26000311  
ALFRED B. PITTMAN, RLA NO. 0001601

THE ABOVE NAMED PROFESSIONAL LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE  
FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

DRAWING INDEX	
SHEET NUMBER	SHEET TITLE
L1-L4	LANDSCAPE PLAN
L5	LANDSCAPE SPECIFICATIONS
L6	NASSAU COUNTY CODE REQUIREMENTS AND BARRICADE DETAIL
L7-L10	TREE PRESERVATION PLAN
L11-L14	TREE PRESERVATION TABLE



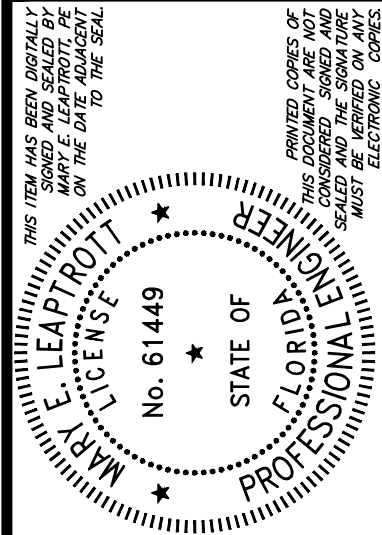
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY:  
MARY E. LEAPTROTT ON THE DATE ADJACENT TO THE SEAL:

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED  
SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED  
ON ANY ELECTRONIC COPIES.

CONNELLY & WICKER INC.  
10060 SKINNER LAKE DR., SUITE 500  
JACKSONVILLE, FL 32246  
PHONE 904.265.3030 FAX 904.265.3031  
FLORIDA REGISTRY NO. 3650 LA NO. LC26000311  
MARY E. LEAPTROTT, P.E. NO. 61449

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING  
SHEETS IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

DRAWING INDEX	
SHEET NUMBER	SHEET TITLE
1	COVER
2	SIGNATURE SHEET
3	GENERAL NOTES
4	NASSAU COUNTY GENERAL NOTES
5A	MAINTENANCE OF TRAFFIC PLAN
5B	MAINTENANCE OF TRAFFIC DETAILS
6	MASTER SITE PLAN
7A - 7D	SITE PLAN
8A - 8D	PAVING AND DRAINAGE PLAN
9A - 9D	NEIGHBORHOOD SITE PLAN (GRADING PLAN)
10	MASTER UTILITY PLAN
11A - 11D	WATER AND SEWER PLAN
12A - 12G	ROADWAY & SEWER PROFILES
12H & 12I	SITE CROSS SECTIONS
13A - 13D	OFFSITE PLAN AND PROFILES
14A - 14E	PAVING AND DRAINAGE DETAILS
15A - 15H	WATER AND SEWER DETAILS
16A	PUMP STATION SITE PLAN
16B	JEA CLASS ONE PUMP STATION
16C	PUMP STATION LANDSCAPE PLAN
16D - 16N	JEA STANDARD PUMP STATION DETAILS
17A - 17B	SEDIMENT AND EROSION CONTROL PLAN
18A - 18B	DEMOLITION PLAN
19	SEDIMENT AND EROSION CONTROL DETAILS
20	STORMWATER POLLUTION PREVENTION PLAN
21A - 21D	PHOTOMETRIC PLAN
PRE	PRE-DEVELOPMENT DRAINAGE PLAN
POST	POST DEVELOPMENT DRAINAGE PLAN



Project No.:  
21-01-0057  
Designed: MEL  
Date: 10/25/23  
Drawn: ANB  
Scale: N/A

GENERAL NOTES:

1. ALL WORK AND MATERIALS SHALL BE IN COMPLETE ACCORDANCE WITH ALL RELATIVE SECTIONS OF COUNTY STANDARDS, (LATEST REVISION) AND ALL CURRENT COUNTY STANDARD DETAILS. CONTRACTOR SHALL COMPLY WITH CURRENT A.D.A. CODE FOR ALL WORK ON THIS PROJECT.
2. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES TO HIS EMPLOYEES, AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH O.S.H.A. REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTORS BID.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING HIMSELF WITH THE NATURE AND THE EXTENT OF THE WORK AND LOCAL CONDITIONS, EITHER SURFACE OR SUB-SURFACE, WHICH MAY AFFECT THE WORK TO BE PERFORMED, AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THIS CONTRACT. CONTRACTOR IS URGED TO TAKE COLOR PHOTOGRAPHS THROUGHOUT THE PROJECT AREA TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND TO AID IN RESOLVING POSSIBLE FUTURE COMPLAINTS THAT MAY OCCUR DUE TO CONSTRUCTION OF THE PROJECT.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EITHER CONDUCT ANY FIELD EXPLORATION OR ACQUIRE ANY GEOTECHNICAL ASSISTANCE REQUIRED TO ESTIMATE THE AMOUNT OF UNSUITABLE MATERIAL REQUIRED TO BE REMOVED AND/OR TO ESTIMATE THE AMOUNT OF OFF SITE BORROW THAT WILL BE REQUIRED.
5. ALL IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE DEVELOPER AND THE COUNTY FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER AND THE COUNTY.
6. ALL SURVEY AND TOPOGRAPHIC INFORMATION IS BASED ON NAVD 1988 DATUM AND HAS BEEN PROVIDED BY ANTHONY PAUL O'NEIL, DATED 11/05/2021.
7. FOR BOUNDARY, ROADWAY AND LOT GEOMETRY INFORMATION SEE PLAT.
8. THE CONTRACTOR WILL CONTRACT WITH AN INDEPENDENT TESTING LABORATORY TO PERFORM MATERIAL TESTING AND SOIL TESTING IN ACCORDANCE WITH COUNTY REQUIREMENTS. THIS SHALL INCLUDE DENSITY TESTS IN ALL PAVEMENT AREAS AND IN ALL UTILITY TRENCHES LOCATED IN PAVEMENT AREAS, CONCRETE TESTING AND ALL OTHER MATERIAL TESTING. PRIOR TO LIMEROCK PLACEMENT, THE PROJECT GEOTECHNICAL ENGINEER SHALL MAKE RECOMMENDATIONS FOR UNDERDRAIN PLACEMENT.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE FOR THE PROJECT INCLUDING COUNTY RIGHT-OF-WAY PERMITS FOR WORK IN THE COUNTY RIGHT-OF-WAY OR EASEMENT.
10. THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN COUNTY OR STATE RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION & REPAIR.
11. ALL PUBLIC DRAINAGE EASEMENTS SHALL BE "UNOBSTRUCTED" EASEMENTS. ALL "UNOBSTRUCTED" EASEMENTS TO BE CLEAR AND DRIVEABLE.
12. "AS-BUILT" DRAWINGS - AS-BUILTS TO THE COUNTY AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT ARE SEALED AND SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION AND SUBMITTAL OF "AS-BUILT" DRAWINGS IN ACCORDANCE WITH CURRENT COUNTY STANDARDS AND SPECIFICATIONS AND S.J.R.W.M.D. REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROCESS THE "AS-BUILT" DRAWINGS FOR APPROVAL BY THE COUNTY AND TO BE IN COMPLIANCE WITH THE COUNTY'S AS-BUILT CHECKLIST.
13. THE CONTRACTOR SHALL COORDINATE HIS CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
14. CLEARING AND GRUBBING REQUIRED FOR ALL ROADWAY, UTILITIES, DITCHES, AND BERMS INCLUDED IN THIS PROJECT, AND THE CLEARING AND GRUBBING OF ALL RIGHT-OF-WAY OR EASEMENTS SHALL BE CONSIDERED AS PART OF THE PROJECT.
15. ALL AREAS SHOWN TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH COUNTY STANDARDS, FILLED WITH CLEAN STRUCTURAL FILL COMPACTED AND TESTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
16. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT.
17. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR.
18. ALL EXCESS SUITABLE AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY ENGINEER OR OWNER.
19. ALL EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED.
20. BURNING OF TREES, BRUSH AND OTHER MATERIAL SHALL BE APPROVED, PERMITTED AND COORDINATED WITH COUNTY FIRE MARSHAL.
21. ROADWAY UNDERDRAINS SHALL BE AS REQUIRED ON THE PLANS OR AS MAY BE DETERMINED NECESSARY BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF HIGH GROUND WATER CONDITIONS ARE PRESENT DURING THE PREPARATION OF THE PAVEMENT SUB-BASE.
22. PROVIDE CONTRACTION JOINTS AT 10' O.C. AND EXPANSION JOINTS AT 50' O.C. ON ALL EXTERIOR SIDEWALKS.
23. MAINTENANCE OF TRAFFIC SHALL CONFORM TO F.D.O.T. STANDARD INDEX 600, LATEST EDITION AND SHALL COMPLY WITH NASSAU COUNTY ROAD CLOSURE POLICY.
24. ALL SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD INDEXES 11860, 17346, AND 17352.
25. ALL EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH THE PROPOSED ROADWAY/SITE DEVELOPMENT SHALL BE REMOVED BY THE CONTRACTOR UTILIZING METHOD APPROVED BY THE COUNTY.
26. ALL STORM PIPE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
27. ALL CONSTRUCTION WITHIN NASSAU COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE NASSAU COUNTY ROADWAY AND DRAINAGE STANDARDS ORDINANCE 99-17, THE CONTRACTOR NOTIFY ALL UTILITIES PRIOR TO CONSTRUCTION FOR VERIFICATION AND LOCATION OF ALL UTILITIES.
28. NASSAU COUNTY DEVELOPMENT REVIEW INSPECTOR SHALL BE CONTACTED 24 HRS PRIOR TO ALL NECESSARY SITE WORK INSPECTIONS AND 5 DAYS PRIOR TO THE FINAL INSPECTION.
29. THE CONTRACTOR IS TO HIRE QC OR INDEPENDENT CONTRACTOR DURING ALL ASPHALT WORK.
30. THE WETLAND BUFFER SHALL NOT COUNT TOWARDS THE MINIMUM SETBACK REQUIREMENT OF THE ZONING DISTRICT IN WHICH IT IS LOCATED. REF. 37.03 (E).
31. CONTRACTOR WILL BE SCHEDULE A WALK THROUGH OF THE SITE WITH THE DEVELOPER AND THE COUNTY 11 MONTHS AFTER COMPLETION OF WORK. THE CONTRACTOR WILL ALSO BE RESPONSIBLE TO FIX ANY PROBLEMS SEEN FIT BY THE COUNTY AT THIS TIME AT THEIR OWN EXPENSE.

DRAINAGE NOTES

1. CONTRACTOR SHALL VERIFY EXISTING ELEVATION AT CONNECTION POINTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL COORDINATE THE GRADING AND DRAINAGE CONSTRUCTION WITH ALL OTHER CONSTRUCTION.
2. SEE GEOTECHNICAL REPORT FOR SITE PREPARATION REQUIREMENTS. PAVEMENT SUBGRADE SHALL HAVE ALL UNSUITABLE MATERIAL REMOVED AND BACKFILLED WITH SUITABLE MATERIAL PER THE GEOTECHNICAL REPORT. ANY UNSUITABLE MATERIAL ENCOUNTERED SHALL BE REMOVED FROM THE SITE.
3. A QUALIFIED SOILS LABORATORY SHALL BE ON SITE DURING EXCAVATING TO DETERMINE THE SUITABILITY OF THE EXISTING SUBGRADE AND EXISTING ONSITE MATERIAL PRIOR TO BEGINNING ANY FILLING OPERATION. BORROW MATERIAL TO BE TESTING AND RESULTS PROVIDED FOR CLOSEOUT ACCEPTANCE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE, LIMEROCK AND ASPHALT TESTING S REQUIRED BY NASSAU COUNTY.
5. THE CONTRACT SHALL FURNISH SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION. ALL CONSTRUCTION AND MATERIAL SHALL CONFORM WITH THE NASSAU COUNTY STANDARDS.
6. THE CONTRACTOR SHALL STAKE THE STORM SEWER SYSTEM AND THE SANITARY SEWER SYSTEM AND SHALL NOTIFY THE ENGINEER OF AN CONFLICTS PRIOR TO THE INSTALLATION OF ANY PIPE.
7. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT.
8. ALL RCP PIPE SHALL MEET THE REQUIREMENTS OF astm C-76.
9. ALL PIPE LENGTH ARE APPROXIMATE AND MEASURE TO THE CENTER OF THE STRUCTURE OR MITERED END SECTION. ACTUAL LENGTHS MAY VARY.
10. ALL DRAINAGE PIPE JOINTS IN THE NASSAU COUNTY DRAINAGE EASEMENTS AND DRAINAGE RIGHT-OF-WAYS ARE TO BE FILTER WRAPPED.
11. CUT AND FILL SLOPES ARE NOT TO EXCEED 4:1 UNLESS OTHERWISE NOTED.
12. SLOPES OF NEW POND SHALL BE SODDED TO ONE FOOT (VERTICAL) BELOW NORMAL WATER LINE. 18 INCHES OF SOD IS REQUIRED ALONG EDGE OF PAVEMENT IN ACCORDANCE WITH NASSAU COUNTY ROADWAY AND DRAINAGE STANDARDS SECTION 11.8.2.
13. STORMWATER COLLECTION SYSTEM DESIGN IS BASED ON THE 5-YEAR STORM EVENT (RATIONAL METHOD). STORMWATER DETENTION PONDS HAVE BEEN DESIGNED TO ATTENUATE PEAK FLOWS FOR THE 25-YEAR STORM EVENT (SCS METHOD).
14. ALL ARES SHOWN TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH NASSAU COUNTY STANDARDS AND SHALL BE FILLED WITH CLEAN FILL COMPACTED AND TESTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
15. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR.
16. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED AND PRESERVED.
17. BURNING OF TREES, BRUSH AND OTHER MATERIAL SHALL BE APPROVED, PERMITTED AND COORDINATED WITH THE NASSAU COUNTY FIRE MARSHALL.
18. CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATION. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UNDISTURBED AREAS, ALL PROPERTY CORNERS,A ND REPLACE ALL PINS ELIMINATED OR DAMAGE DURING CONSTRUCTION.
19. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
20. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT THE CONTRACTOR OBTAINS FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
21. STORM WATER PIPE TO BE VIDEO INSPECTED IN ACCORDANCE WITH NASSAU COUNTY REQUIREMENTS.

EROSION & SEDIMENT CONTROL NOTES:

1. THESE PLANS INDICATE THE MINIMUM EROSION & SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL-A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (F.D.E.P.) CHAPTER 6. THE CONTRACTOR SHALL PROVIDE EROSION PROTECTION AND TURBIDITY CONTROL AS REQUIRED TO INSURE CONFORMANCE TO STATE AND FEDERAL WATER QUALITY STANDARDS AND MAY NEED TO INSTALL ADDITIONAL CONTROLS TO CONFORM TO AGENCIES REQUIREMENTS. IF A WATER QUALITY VIOLATION OCCURS, THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ALL DAMAGE AND ALL COSTS WHICH MAY RESULT INCLUDING LEGAL FEES, CONSULTANT FEES, CONSTRUCTION COSTS AND FINES.
2. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS AND SPECIFICATIONS AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT SPECIFICATIONS AND CRITERIA.
3. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A PERMANENT STAND OF SOD AND/OR GRASS PER CITY STANDARDS AND MEETING THE N.P.D.E.S. FINAL STABILIZATION REQUIREMENTS.
5. IF DEWATERING CAPACITY REQUIRES A CONSUMPTIVE USE PERMIT (C.U.P.) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
6. PRIOR TO COMMENCEMENT OF CONSTRUCTION AND EXCAVATION ACTIVITIES, THE CONTRACTOR SHALL PERFORM GROUNDWATER TESTING IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY FEDERAL REGISTER, PAGE 42739, PART 1A.3, TO DETERMINE PETROLEUM CONTAMINATION LEVELS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING N.P.D.E.S. PERMIT, IF REQUIRED, IN ORDER TO DISCHARGE ANY GROUNDWATER ENCOUNTERED DURING CONSTRUCTION AND DEWATERING OPERATIONS.
7. 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR WILL SUBMIT A "NOTICE OF INTENT" TO THE EPA IN ACCORDANCE WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM RULES AND REGULATIONS.
8. THE CONTRACTOR SHALL WRAP STORM SEWER GRATES IN FILTER FABRIC TO PREVENT SEDIMENTATION OF THE STORM SEWER SYSTEM. CONTRACTOR SHALL MAINTAIN THE FILTER FABRIC UNTIL THE ASPHALT/CONCRETE PAVEMENT IS PLACED.
9. THE CONTRACTOR SHALL PROTECT ALL STORMWATER BASINS AND/OR SWALES FROM SEDIMENTATION DURING CONSTRUCTION USING NECESSARY SEDIMENT CONTROL BARRIERS.
10. IN THE EVENT OF DELAYS IN CONSTRUCTION, THE CONTRACTOR SHALL SEED ALL AREAS AND MAINTAIN EROSION CONTROL BARRIERS IN PLACE TO PREVENT EROSION, SILTATION AND INCREASE RUNOFF.

UTILITY NOTES:

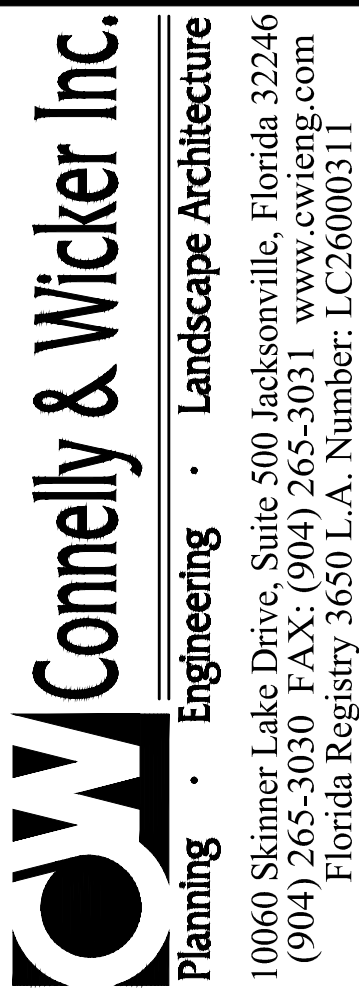
1. THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND IMPROVEMENTS SHOWN ON THE DRAWINGS IS BASED ON LIMITED INFORMATION AND MAY NOT HAVE BEEN VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS AND FIELD VERIFY LOCATIONS OF EXISTING UTILITIES AND OTHER IMPROVEMENTS PRIOR TO COMMENCING ANY CONSTRUCTION. IF THE LOCATIONS SHOWN ARE CONTRARY TO THE ACTUAL LOCATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF THE DISCREPANCY. THIS DISCREPANCY SHOULD BE RESOLVED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS NEAR EXISTING UTILITIES AND IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR AND SHALL REPAIR OR PAY FOR ALL DAMAGE MADE TO EXISTING UTILITIES OR OTHER IMPROVEMENTS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES, INVERTS AND TYPE OF MATERIAL OF EXISTING UTILITIES TO WHICH HE SHALL CONNECT.
2. PRIOR TO PURCHASE OR CONSTRUCTION OF ANY UTILITY PIPE OR STRUCTURE, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL MATERIALS, IF REQUIRED, TO THE ENGINEER FOR REVIEW AND APPROVAL, PRIOR TO SUBMITTAL TO THE COUNTY AND JEA.
3. ALL PIPE LENGTHS ARE SCALED DIMENSIONS. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM WITH COUNTY REQUIREMENTS AND SHALL BE CONSTRUCTED TO CONFORM WITH CURBING, PROPERTY LINES AND LOW POINTS AS SHOWN ON THE PLANS.
4. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEAN AND FUNCTIONING PROPERLY AT TIME OF ACCEPTANCE.
5. ALL DRAINAGE STRUCTURES ARE TO HAVE TRAFFIC BEARING GRATES. THE CONTRACTOR SHALL INSURE ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEAN AND FUNCTIONING PROPERLY AT TIME OF ACCEPTANCE.
6. UNSUITABLE MATERIALS UNDER WATER, SEWER PIPE, STORM PIPE OR STRUCTURES SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL AND PROPERLY COMPACTED.
7. ALL UNDERGROUND UTILITIES MUST BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT.
8. ALL WATER AND SEWER CONSTRUCTION WITHIN THE CITY SHALL BE ACCOMPLISHED BY AN UNDERGROUND UTILITY CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 489 OF THE FLORIDA STATUTES.
9. SANITARY SEWER SERVICES SHALL BE A MINIMUM OF 6" DIAMETER PVC WITH A MINIMUM SLOPE OF 1/8 INCH PER FOOT AND SHALL BE TERMINATED AT THE BUILDING CLEANOUT AT THE DEPTH SHOWN ON THE PLANS.
10. WATER LINES SHALL HAVE A MINIMUM OF 36" COVER FROM FINISHED GRADE UNLESS OTHERWISE SHOWN. ALL WATER MAINS SHALL BE FLUSHED IN ACCORDANCE WITH AWWA C651 DISINFECTION STANDARDS. IN THE COUNTY ROW, THE MINIMUM DEPTH REQUIREMENT UNDER PAVEMENT IS 42" AND 36" IN UNPAVED AREAS FOR SEWER AND WATER MAINS. REFER TO NASSAU COUNTY ROADWAY AND DRAINAGE STANDARDS, SECTION 8.5.
11. ALL POTABLE PVC PIPE 3 INCHES IN DIAMETER OR LESS SHALL BE LISTED AS NSF-PW AND SHALL BE MARKED AS SUCH.
12. WATER AND SEWER LINES ARE DESIGNATED TO FINISHED GRADES AND SHALL BE PROTECTED UNTIL FINISHED WORK IS COMPLETE.
13. A FULL UNCUT LENGTH OF WATER MAIN PIPE (USUALLY 20 FEET) SHALL BE CENTERED AT THE POINT OF CROSSING OF ALL WATER AND SEWER (INCLUDING STORM) LINES AT THE POINT OF CROSSINGS REGARDLESS OF VERTICAL SEPARATIONS.
14. IN THE CASE WHERE SOLVENT CONTAMINATION IS FOUND IN THE TRENCH, WORK WILL BE STOPPED AND THE PROPER AUTHORITIES SHALL BE NOTIFIED. WITH THE APPROVAL OF THE NASSAU COUNTY HEALTH DEPARTMENT, DUCTILE IRON PIPE, FITTINGS AND APPROVED SOLVENT RESISTANT GASKET MATERIAL SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE IRON PIPE WILL EXTEND AT LEAST 100 FEET BEYOND ANY DISCOVERED SOLVENT.
15. IN REGARD TO THE REQUEST FOR A LETTER OF RELEASE TO PLACE THE POTABLE WATER CONSTRUCTION INTO SERVICE, THE BACTERIOLOGICAL SAMPLE POINTS WILL BE INDICATED IN RED OR PINK ON THE RECORD OR AS-BUILT DRAWINGS. THE SAMPLE NUMBERS WILL CORRESPOND TO THOSE ON THE BACTERIOLOGICAL SAMPLE LAB SHEETS.
16. THE RECORD OR AS-BUILT DRAWINGS SUBMITTED AT THE TIME OF REQUEST FOR A LETTER OF RELEASE TO PLACE THE CONSTRUCTION INTO SERVICE WILL CLEARLY DEPICT THE VERTICAL CLEARANCES BETWEEN WATER AND SEWER (INCLUDING STORM) LINES AT ALL CROSSINGS.
17. UNLESS OTHERWISE NOTED, ALL WATER MAINS SHALL BE PVC DR18, C-900 AND ALL WATER MAINS 2" OR SMALLER SHALL BE HDPE MANUFACTURED OF PE 4710 MEETING THE APPLICABLE STANDARDS OF ASTM D3350, ASTM D2239 AND NSF-14. HDPE TUBING SHALL BE COPPER TUBE SIZE SDR-9 AND INSERTS SHALL BE 316 STAINLESS STEEL.
18. ALL GATE VALVES SHALL BE JEA STANDARD. VALVES SHALL BE MECHANICAL JOINT, CAST IRON, BRONZE FITTED WITH RESILIENT SEAT. ALL VALVES SHALL OPEN BY TURNING TO THE LEFT. VALVES SHALL BE RATED AT 200 PSI WORKING PRESSURE AND 400 PSI TEST PRESSURE.
19. ALL WATER MAINS SHALL BE BACTERIOLOGICAL AND PRESSURE TESTED AT 150 PSI FOR 2 HOURS IN ACCORDANCE WITH AWWA C-600 STANDARDS. NO CONNECTION TO EXISTING POTABLE WATER SYSTEM SHALL BE ALLOWED UNTIL ALL PROPOSED WATER LINES HAVE BEEN PRESSURE TESTED, DISINFECTED, AND CLEARED FOR SERVICE. THE ENGINEER MUST BE NOTIFIED 48 HOURS PRIOR TO PERFORMING THE PRESSURE TEST AND MUST BE PRESENT.
20. ALL FORCE MAINS SHALL BE BE PRESSURE TESTED AT 150 PSI FOR 2 HOURS IN ACCORDANCE WITH AWWA C-600 STANDARDS. THE ENGINEER MUST BE NOTIFIED 48 HOURS PRIOR TO PERFORMING THE PRESSURE TEST AND MUST BE PRESENT.
21. A UTILITY COMPANY PRE-CONSTRUCTION CONFERENCE MUST BE HELD PRIOR TO COMMENCEMENT OF WATER OR SEWER WORK. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANY TO SCHEDULE THIS CONFERENCE.

NOTES:

1. CONTRACTOR TO VERIFY SURVEY INFORMATION AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCY
2. EXPOSED SOILS SHOULD IMMEDIATELY BE SODDED
3. CONTRACTOR TO INSTALL BLUE RPM DEVICE 6" FROM MIDDLE OF STREET ON THE SIDE CLOSEST TO FIRE HYDRANT
4. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" SEPARATION BETWEEN UTILITIES AND STORM PIPE.
5. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 6' FROM OUTSIDE OF PIPE TO EXISTING UTILITY POLE.
6. CONTRACTOR SHALL REMOVE, PROTECT, AND REPLACE (IF DAMAGED) ANY SIGNS AS NEEDED DURING THE DURATION OF CONSTRUCTION.
7. CONTRACTOR SHALL REMOVE AND REPLACE ANY MAILBOXES AS NEEDED FOR CONSTRUCTION ON UTILITY. MAIL SERVICES MUST BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. ALSO, OFFSITE CONSTRUCTION SHALL NOT INTERFERE WITH TRASH PICKUP.
8. ANY PAVEMENT THAT IS DAMAGED DURING CONSTRUCTION OF UTILITIES, CONTRACTOR IS REQUIRED A FULL WIDTH OVERLAY, PLUS 50' IN BOTH DIRECTIONS.
9. CONTRACTOR TO PROVIDE MIN. 6" DISTANCE FROM UTILITY INSTALLATION FROM EDGE OF PAVEMENT AT ALL TIME, WHERE UTILITIES CAN'T MEET REQUIREMENTS, THE SHOULDER SHALL BE REBUILT VIA TWO LIFTS OF LIMEROCK.
10. ROSES BLUFF ROW SHALL BE VIDEOED PRIOR TO CONSTRUCTION COMMENCEMENT.

22. THE CONTRACTOR SHALL AVOID SERVICE INTERRUPTIONS AND MAINTAIN ANY EXISTING WATER AND SEWER SERVICE TO MEET THE SYSTEM DEMANDS AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF AFFECTED CUSTOMERS OF THE UTILITY A MINIMUM OF 48 HOURS IN ADVANCE OF ANY INTERRUPTION OF SERVICE.
23. ALL NEW AND/OR RELOCATED WATER MAIN PIPES AND FITTINGS SHALL NOT CONTAIN MORE THAN EIGHT PERCENT LEAD AND ALL PACKING AND JOINT MATERIALS USED IN THE JOINTS SHALL CONFORM WITH ALL APPLICABLE AWWA STANDARDS. ALL NEW AND/OR RELOCATED WATER SERVICES AND PLUMBING SHALL CONTAIN NO MORE THAN EIGHT PERCENT LEAD AND ALL SOLDERS AND FLUX SHALL CONTAIN NO MORE THAN 0.2 PERCENT LEAD.
24. CONNECTION IS CONTINGENT UPON CONSTRUCTION, DEDICATION AND FINAL ACCEPTANCE OF THE OFFSITE WATER TRANSMISSION SYSTEM AND SEWER COLLECTION SYSTEM WITHIN THE LIMITS OF THIS PROJECT.
25. WATER AND SEWER CAPACITY FEES SHALL BE REQUIRED AT TIME OF METER APPLICATION. FEES WILL BE BASED ON TOTAL NUMBER OF PLUMBING FIXTURE UNITS SHOWN OR LISTED ON BUILDING PLANS.
26. ALL PIPES CONFORM TO THE APPROPRIATE AWWA STANDARDS AND SPECIFICATIONS.
27. ALL PIPING AND ASSOCIATED APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST JEA STANDARDS, DETAILS & MATERIALS MANUAL, CURRENT REVISION.
28. METER MUST BE APPLIED AND PAID FOR BY A LICENSED MASTER PLUMBER OR UTILITY CONTRACTOR. APPLICATION IS TO BE MADE AT 515 NORTH LAURA STREET, 1st FLOOR, CUSTOMER SERVICE BUILDING.
29. ALL WATER MAIN PRESSURE AND LEAKAGE TESTING SHALL BE IN ACCORDANCE WITH AWWA C600-87 AND JEA'S APPLICABLE STANDARDS AND SPECIFICATIONS. ALL WATER MAIN DISINFECTING SHALL BE IN ACCORDANCE WITH AWWA C651 AND JEA'S APPLICABLE STANDARDS AND SPECIFICATIONS.
30. PRE-CONSTRUCTION CONFERENCE REQUIRED - CONTACT CHRIS BARRINGTON ☎ 665-4081 TO SCHEDULE.
31. THE TAPS ARE TO BE SCHEDULED 48 HOURS IN ADVANCE BY CONTACTING YOUR JEA INSPECTOR.
32. ALL NEW PRIVATE ONSITE FIRE HYDRANTS SHALL BE PAINTED RED.
33. A WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIALS ACCUMULATE.
34. WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO VERTICAL CONSTRUCTION WORK.
35. UNDERGROUND MAINS INSTALLATION REQUIRES SEPARATE PERMIT.
36. FINAL INSPECTION OF MANHOLES AND TELEVISION INSPECTION OF GRAVITY SEWER SHALL BE REQUIRED PRIOR TO PLACING WASTEWATER COLLECTION SYSTEM INTO SERVICE.
37. MECHANICAL RESTRAINING JOINTS ARE REQUIRED IN ACCORDANCE WITH JEA STANDARDS WHERE WATER MAINS ARE TERMINATED AND AT ALL BENDS, REDUCERS, VALVES AND TEES.
38. TELEVISION INSPECTION SHALL BE REQUIRED ON ALL GRAVITY SEWER MAINS. GRAVITY SEWER LINE SHALL BE VIDEO TAPED TRAVELING UPSTREAM PULLING A MANDREL WITHOUT THE AID OF A MECHANICAL PULLING DEVICE. ALL LINES TO BE CLEANED AND FLUSHED PRIOR TO BEING VIDEO TAPED. A FULL WRITTEN REPORT AS TO THE CONDITION OF THE PIPE WITH PERTINENT DATA SUCH AS DISTANCE BETWEEN MANHOLES, LOCATION OF SERVICES, ETC. SHALL BE SUBMITTED TO THE OWNER AND ENGINEER PRIOR TO ACCEPTANCE. ALL DEFECTIVE AREAS AND ITEMS SHALL BE REPLACED OR REPAIRED PRIOR TO FINAL ACCEPTANCE. ALL REPAIRED SECTIONS MUST BE RE-INSPECTED PRIOR TO ACCEPTANCE. THE MAXIMUM DEFLECTION SHALL NOT EXCEED 7.5% OF THE NOMINAL DIAMETER IN ACCORDANCE WITH JEA STANDARDS. INFILTRATION AND EXFILTRATION TESTING OF GRAVITY SEWERS SHALL BE IN ACCORDANCE WITH UTILITY COMPANY SPECIFICATIONS. THE MAXIMUM ALLOWABLE RATE WILL BE 50 GALLONS PER INCH DIAMETER PER MILE PER DAY. PIPE DEFLECTION SHALL NOT EXCEED 80% OF MANUFACTURER'S MAXIMUM DEFLECTION RATING.
39. ALL STORMWATER DRAINAGE PIPES INSTALLED WITHIN THE ROADWAY RIGHT-OF-WAY OR EASEMENTS (PUBLIC OR PRIVATE) SHALL BE TELEVIEWED BY A COMPANY OR INDIVIDUAL CERTIFIED TO PERFORM SUCH WORK. TELEVIEWING OF STORMWATER DRAINAGE LINES SHALL BE DONE IN COLOR AND SHALL BE OF A QUALITY TO VISUALLY IDENTIFY PROPER CONSTRUCTION OF JOINTS AND PIPE ALIGNMENTS. TELEVIEWING OF DRAINAGE LINES SHALL BE PERFORMED AFTER PLACEMENT OF THE BASE MATERIAL AND PRIOR TO THE INSTALLATION OF ASPHALT. A COPY OF THE VIDEO IS TO BE PROVIDED TO THE ENGINEER OF RECORD FOR INSPECTION. ALL DEFECTIVE AREAS AND ITEMS SHALL BE REPLACED OR REPAIRED PRIOR TO FINAL ACCEPTANCE. ALL REPAIRED SECTIONS MUST BE RE-INSPECTED PRIOR TO ACCEPTANCE.
40. HORIZONTAL SEPARATION BETWEEN WATER MAINS, VALVES, FITTINGS AND SANITARY OR STORM SEWER SHALL BE IN ACCORDANCE WITH F.D.E.P. REGULATIONS. WHERE PARALLEL WATER AND SEWER (INCLUDING STORM) LINES HAVE LESS THAN 6 FEET HORIZONTAL SEPARATION, FULL-UNCUT LENGTHS OF WATER QUALITY PIPE (I.E. 18 AWWA C-900 FOR NEWLY INSTALLED SEWER & DR25 AWWA C-900 WATER) WILL BE USED WITH JOINTS STAGGERED AT 10 FOOT INTERVALS OR THEY WILL BE PLACED ON AN UNDISTURBED SHELFF OR IN A SEPARATE TRENCH WITH A MINIMUM VERTICAL SEPARATION OF AT LEASE 18 INCHES; IT IS PREFERABLE TO HAVE THE WATER MAINS LOCATED ABOVE THE SEWER AND WITH 6 FEET OF SEPARATION WHERE POSSIBLE.
41. POINT OF CROSSING OF ALL WATER AND SEWER (INCLUDING STORM) LINES SHALL BE IN ACCORDANCE WITH F.A.C. RULE 62-555.314. WHERE IT IS NOT POSSIBLE FOR WATER AND SEWER (INCLUDING STORM) LINES TO CROSS WITH A MINIMUM OF 18 INCHES OF VERTICAL CLEARANCE, A FULL UNCUT LENGTH OF WATER QUALITY PIPE (I.E. DR 18 AWWA C-900 FOR NEWLY INSTALLED SEWER & DR 18 AWWA C-900 WATER) WHICH IS USUALLY 20 FEET LONG WILL BE CENTERED ON THE POINT OF CROSSING. THE CONTRACTOR SHALL FIELD VERIFY THE VERTICAL SEPARATION. IF 18 INCHES OF SEPARATION IS IS NOT POSSIBLE, THE MINIMUM VERTICAL SEPARATION BETWEEN WATER AND SEWER (INCLUDING STORM) PIPES, WILL BE 6 INCHES OUTSIDE DIAMETER TO OUTSIDE DIAMETER. IT IS PREFERABLE TO HAVE THE WATER MAIN ABOVE THE SEWER LINES AND AT LEAST 18 INCHES VERTICAL SEPARATION.
42. ANY MANHOLE ADJUSTED AFTER LIMEROCK BASE HAS BEEN COMPACTED SHALL BE BACKFILLED WITH FLOWABLE FILL.

	COMPANY	CONTACT / TELEPHONE #
WATER SERVICE	JEА	CHRIS BARRINGTON / 665-4081
SEWER SERVICE	JEА	CHRIS BARRINGTON / 665-4081
ELECTRIC SERVICE	FP&L	ROBERT HADDOCK / 225-3003
TELEPHONE	AT&T	MARVIN FISHER / 727-1544
CABLE	COMCAST	LARRY WINBURN / 380-7574

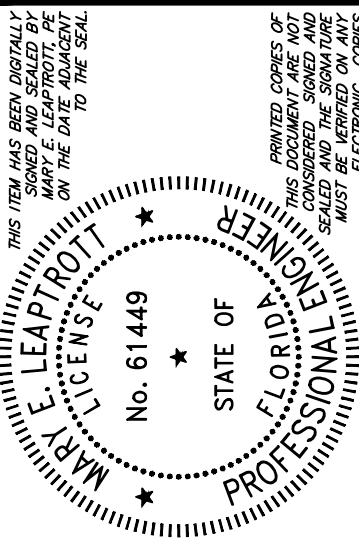


No.	Date	Revision
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		

GENERAL NOTES

SANDY BLUFF SUBDIVISION

PREPARED FOR  
SANDY BLUFF DEVELOPMENT INC



Project No.: 21-01-0057  
Designed: MEL Drawn: ANB  
Date: 10/25/23 Scale: N/A



Development Review General Notes:

1. Engineering Plans approval does not constitute permission to violate any adopted Federal, State, or Local law, code, or ordinance.

2. All work within the public streets and right-of-ways shall conform to Nassau County Land Development Codes (LDC), FDOT Standard Indices, Florida Greenbook, Nassau County Roadway and Drainage Standards, and Nassau County Standard Details as necessary. For any discrepancy between standards, the most stringent shall prevail.

3. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 6.2.4, site shall be constructed per approved construction drawings. Any substantial deviation shall be concurrently reviewed by Engineer of Record and Nassau County Development Review Committee prior to field changes.

4. A pre-construction meeting with Nassau County Engineering Services Construction Inspector is required. Attendees shall be Nassau County, Engineer of Record, Contractor, Testing firm, Paving firm, and utility companies per Nassau County Ordinance 99-17 Section 7.2.3. Nassau County may cancel pre-construction meeting if attendee list is inadequate. Nassau County Engineering Services can be reached at 904-530-6225.

5. The contractor shall schedule and coordinate all work with the appropriate Nassau County Construction Inspector assigned to the project per Nassau County Ordinance 99-17 Section 7.2.

6. All work shall be performed in a safe manner. All safety rules and guidelines of O.S.H.A. shall be followed. The contractor shall be wholly responsible for any injuries to his employees and any damage to private property or persons during the course of this project.

7. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 11.8.1, any disturbed areas within Nassau County Right-of-Way shall be sodded.

8. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 7.4.1, at the time of final inspection, grassing shall be a minimum of seventy percent coverage and fully established and/or sodding to be one hundred percent coverage and stabilized.

9. Engineer of Record approved shop drawings shall be provided to Nassau County Construction Inspector a minimum of one week before beginning structure installation.

10. Parking at mail kiosks is required per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 8.4. Mail kiosk locations are subject to USPS Postmaster approval.
11. The developer's contractor is the single responsible party for the proper implementation of an Erosion Protection Sediment Control (EPSC) within each lot or construction site. This includes the responsibility for the actions/inactions of employees, subcontractors, and/or suppliers.

12. Sidewalks to be provided and built in accordance Florida Building Code. All proposed sidewalks shall meet ADA requirements.

13. The Contractor shall comply with current Florida accessibility standards for all work on this project.

14. Per Ordinance 99-17 Section 8.5.1, minimum cover for water lines and force mains under pavement shall 42" and 36" in green areas.

15. All water, sewer, and storm water construction within Nassau County ROW shall be accomplished by an underground utility contractor licensed under the provisions of Chapter 409 of the Florida Statutes.

16. No work shall be permitted between the hours of 7:00 PM - 7:00AM without prior approval from Nassau County Engineering Services.

17. All trees required to be protected shall be flagged for protection prior to clearing.

18. All grading and placement of compacted fill shall be in accordance with the latest Nassau County Specifications.

19. Any damages (sidewalk, curb, asphalt, ditch grading, et cetera) within Public Right-of-Way shall be repaired or replaced in accordance with Nassau County Specifications. Proposed repair method shall be approved by Nassau County Engineering Services.

20. Any asphalt millings from Nassau County ROW shall be delivered to the Road Department Laydown yard located on Gene Lasserre Boulevard or Pea Farm Road. Please contact the Road Department at (904) 530-6175.

21. Per Nassau County Ordinance 99-17 Section 7.4.2 and 7.4.4, as-built drawings shall be submitted to Nassau County before a final inspection can be scheduled. As-builts submittals will be in accordance with Nassau County as-built requirement checklist. As-built drawings shall be certified by required licensed surveyor and approved by Engineer of Record.

ROADWAY AND DRAINAGE STANDARDS NASSAU COUNTY ENGINEERING SERVICES DEPARTMENT	REVISION DATES		DEVELOPMENT REVIEW GENERAL NOTES	NOTE SHEET: 1	
				DWG:	
				ISSUED: 12/09/2020	

Stormwater Drainage Notes:

1. All stormwater drainage facilities within Public Right-of-Way and paved areas, including Nassau County Right-of-Way, turn lanes, residential roadways, drive aisles for multi-family developments, and major drive aisles for commercial developments shall be laser profiled per FDOT Section 430.

2. A builder cannot modify the County's storm water management system including the pipes, inlets, area drains, ditches and related elements typically within the street or within a drainage easement without the prior written approval of the County Engineer or designee.

3. Drainage easements and ditches should remain free of stockpiled soil, sediment, mud, construction materials/waste, et cetera at all times. Positive stormwater flow must be maintained throughout construction.

4. The contractor shall temporarily or permanently stabilize bare soil areas and soil stockpiles when the area is inactive for fourteen days or more or has reached finished grade.

5. Per Ordinance 99-17 Section 11.11.5.4, all gravity flow pipe installations shall have a soil tight joint performance unless specific site factors warrant watertight joint performance.

6. Per Ordinance 99-17 Section 10.6.5.1, immediately install additional Erosion Protection Sediment Control measures if sediment is leaving your site. Failure to contain sediment to your site may result in delayed inspections, notices of violation, citations, fines, penalties, and/or stop work orders.

7. Per 99-17 Section 10.1.2.a-e, stormwater management for a project shall not have adverse effects on adjacent properties, downstream structures, or rights of other landowners.
4. Contractor is required to have a Certified QC Asphalt Level II Technician during any asphalt operations within Nassau County ROW, residential subdivision, or multi-family developments.

5. All bases shall be primed in accordance with Ordinance 99-17 Section 11.5.2.3, Nassau County Standard Details, and FDOT Standard Specifications.

6. Signage and pavement markings shall be in compliance with Nassau County Standards, Manual on Uniform Traffic Control Devices (MUTCD), and FDOT Standard Plans.

7. Maintenance of Traffic (MOT) shall be in compliance with FDOT Standard Index 600 Series.

8. All work, materials, and testing performed within Nassau County right-of-way and single-family/multi-family developments shall be in accordance with the current revision of Nassau County's Ordinance 99-17 and all current Nassau County Standard Details.

9. Per Ordinance 99-17 Section 11.9.2, all pavement markings within Nassau County ROW shall be lead free thermoplastic meeting Nassau County and FDOT Standard Specification Latest Edition.

10. Removing pavement markings within Nassau County ROW shall be:

a. Grinding or hydro-blasting on weathered asphalt surfaces.

b. Hydro-blasting only on new asphalt surfaces.

c. Paint Blackout is prohibited.

11. Per Ordinance 99-17 Section 8.5.5, any damage to pavement resulting from construction or pavement marking removal withinPublic ROW not planned as part of the project shall be milled and overlaid for entire width of roadway and length of damage plus 50' in each direction.

12. All underground utilities, or appropriate conduit sleeves, that are to be installed under pavement must be installed prior to preparation of the subgrade for pavement.

13. Single Vertical Joints in roadway construction shall be avoided in Nassau County Right-of-Way using Nassau County Standard Detail #26.

14. All drainage structures shall have traffic bearing grates that meet or exceed the rating for the facilities expected traffic.

15. All concrete shall be a minimum of 3000 psi within Public Right-of-Way.

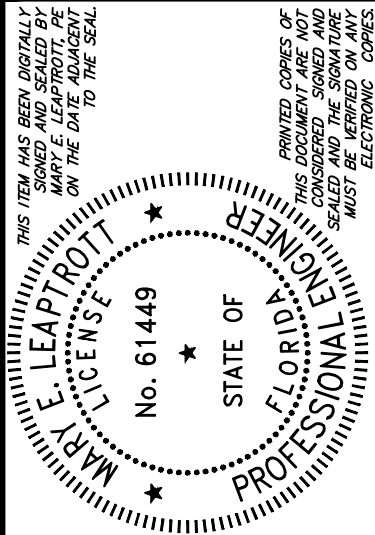
Paving Notes:

1. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 12.2 and 12.4, a construction bond and 26-month maintenance bond will be required for all work within Nassau County Right-of-Way.

2. A pre-pave meeting is required prior to any paving operations within Nassau County ROW, residential subdivisions, or multi-family developments.

3. Approved mix designs shall be provided to Nassau County Construction Inspector 48 hours prior to pre-pave meeting or placement of concrete.

ROADWAY AND DRAINAGE STANDARDS NASSAU COUNTY ENGINEERING SERVICES DEPARTMENT	REVISION DATES		STORMWATER DRAINAGE & PAVING NOTES	NOTE SHEET: 2	
				DWG:	
				ISSUED: 12/09/2020	



Project No.: 21-01-0057	
Designed: MEL	Drawn: ANB
Date: 10/25/23	Scale: N/A

SANDY BLUFF  
SUBDIVISION

PREPARED FOR  
SANDY BLUFF DEVELOPMENT INC

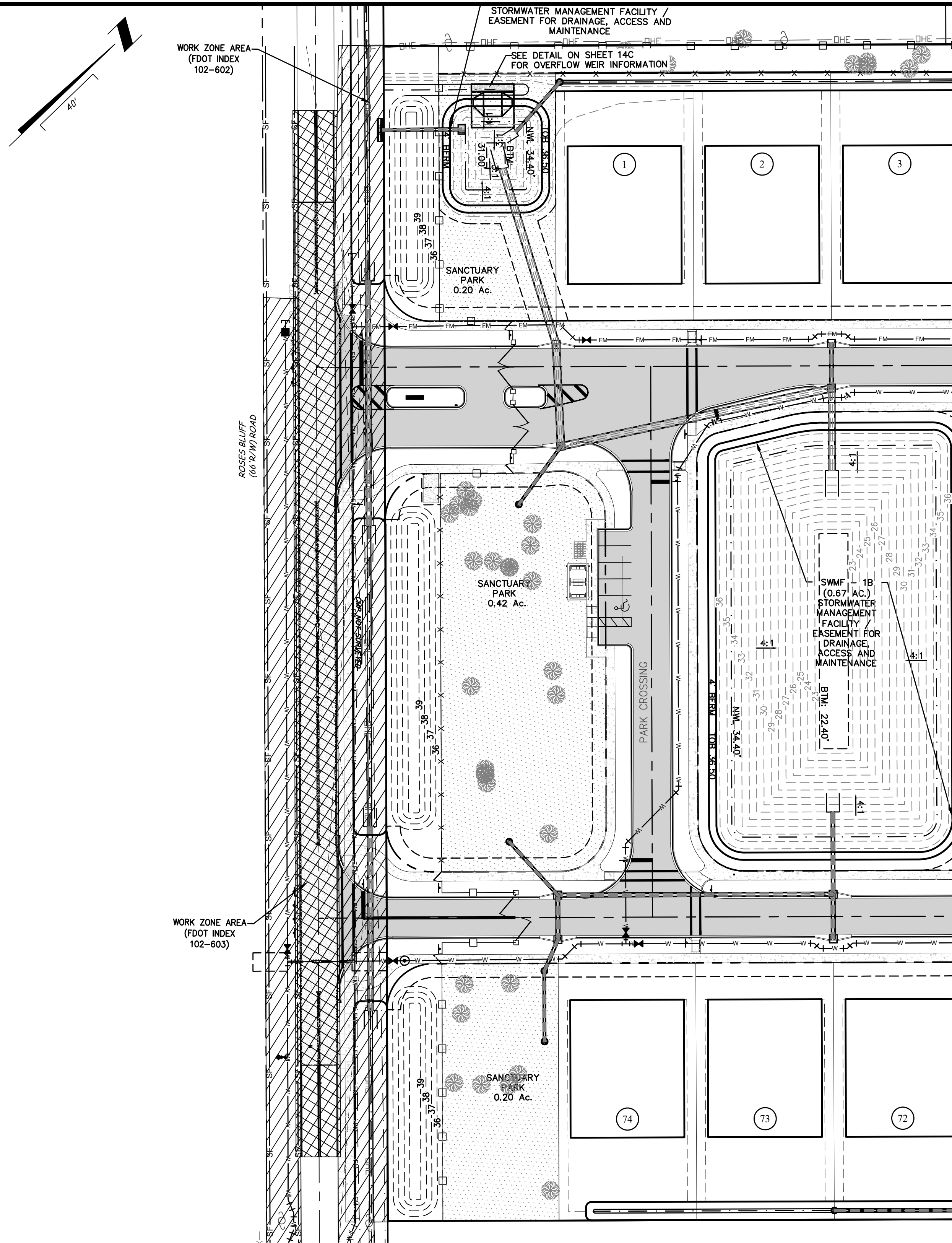
NASSAU COUNTY  
GENERAL NOTES

CONNELLY & WICKER INC.

Planning · Engineering · Landscape Architecture

10060 Skinner Lake Drive, Suite 500 Jacksonville, Florida 32246  
(904) 265-5030 · FAX: (904) 265-5031 · www.cweng.com  
Florida Registry 3650 L.A. Number: LC26000311



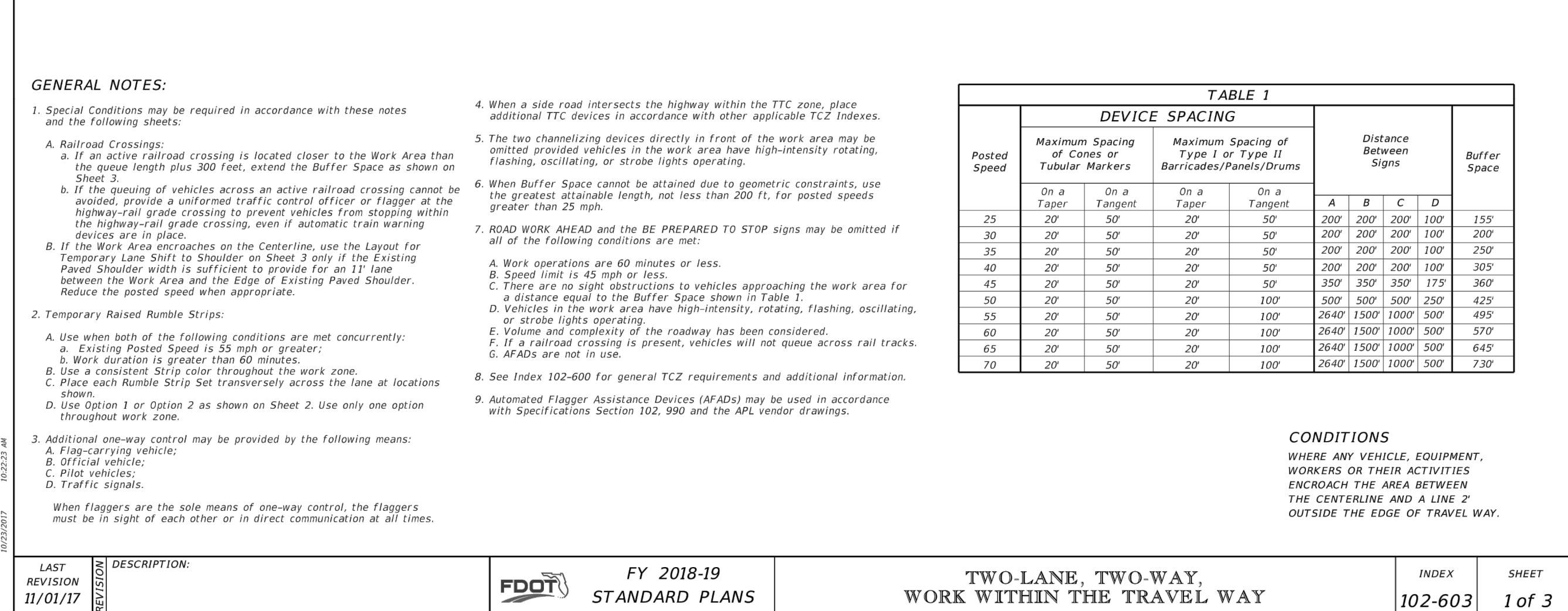
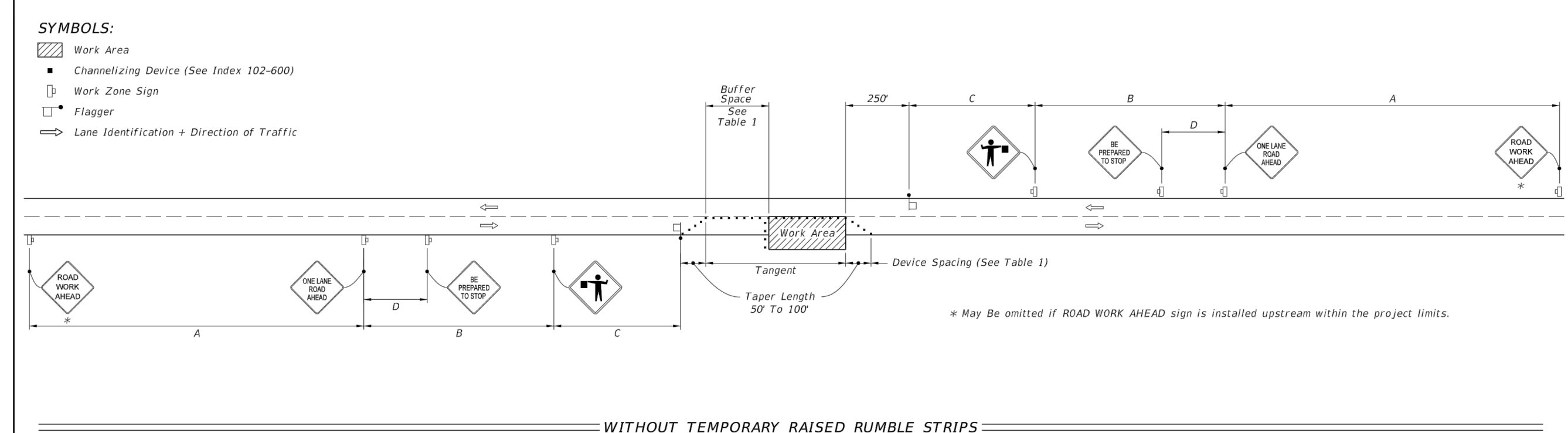
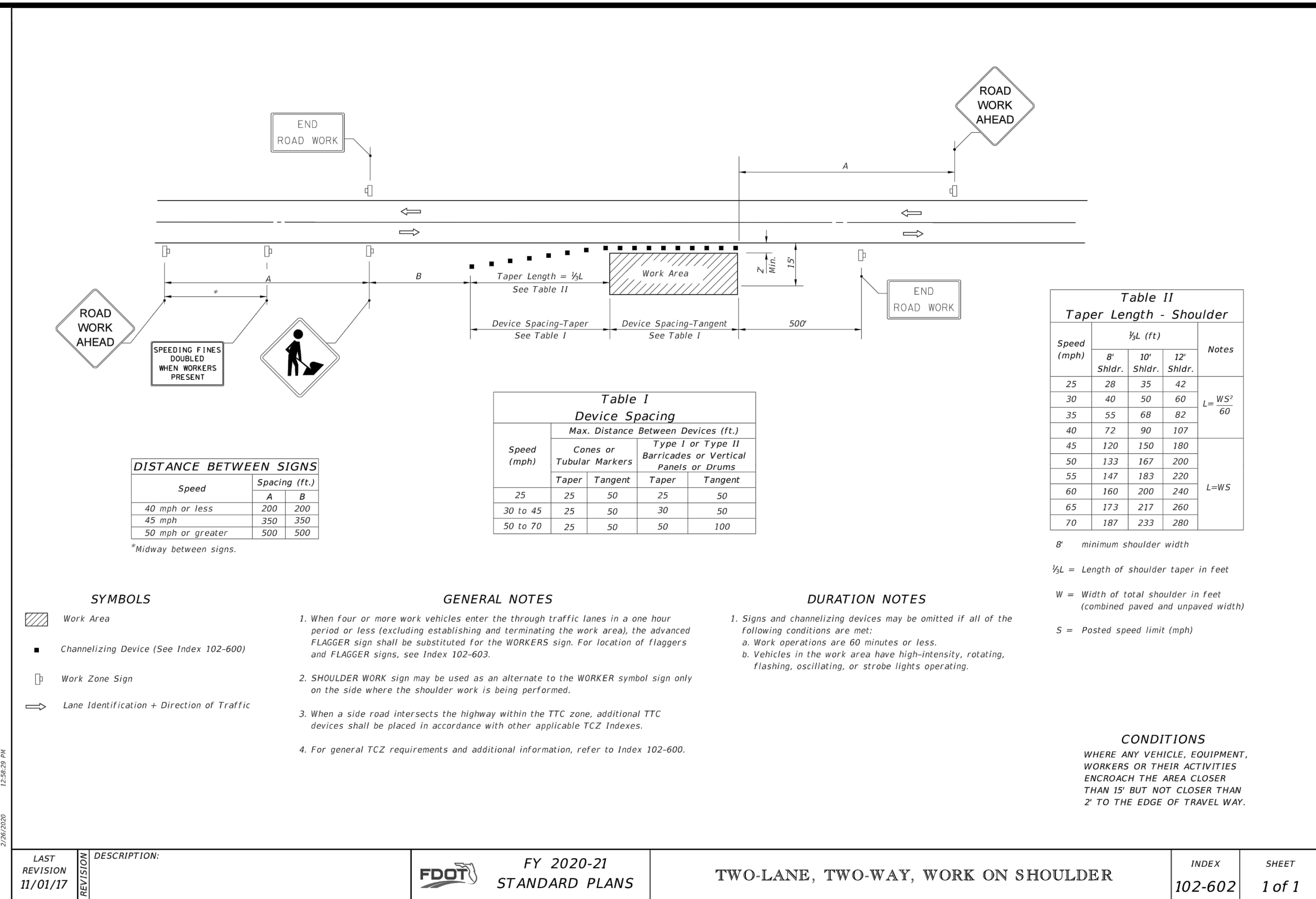


**NASSAU COUNTY MAINTENANCE GENERAL NOTES:**

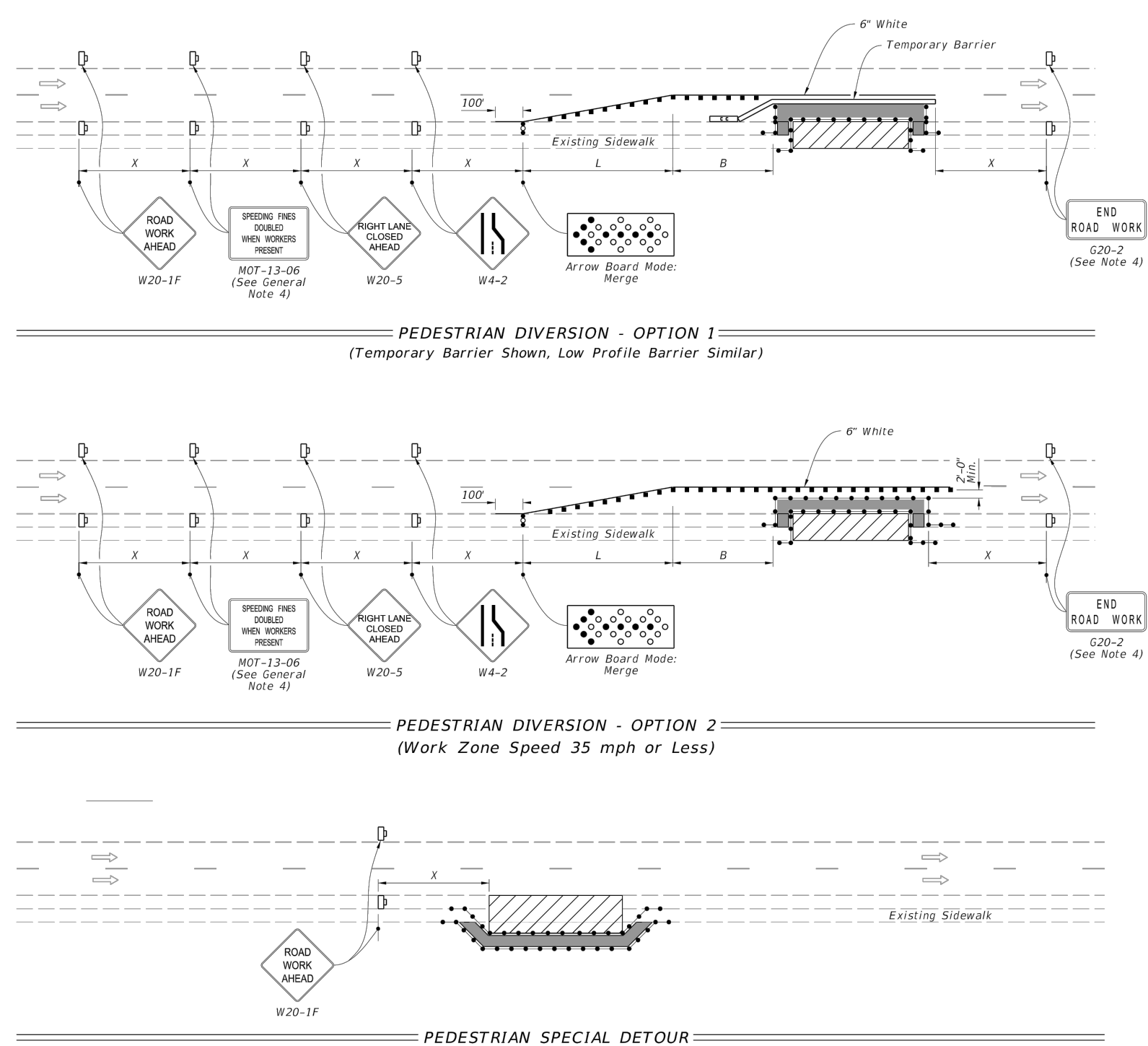
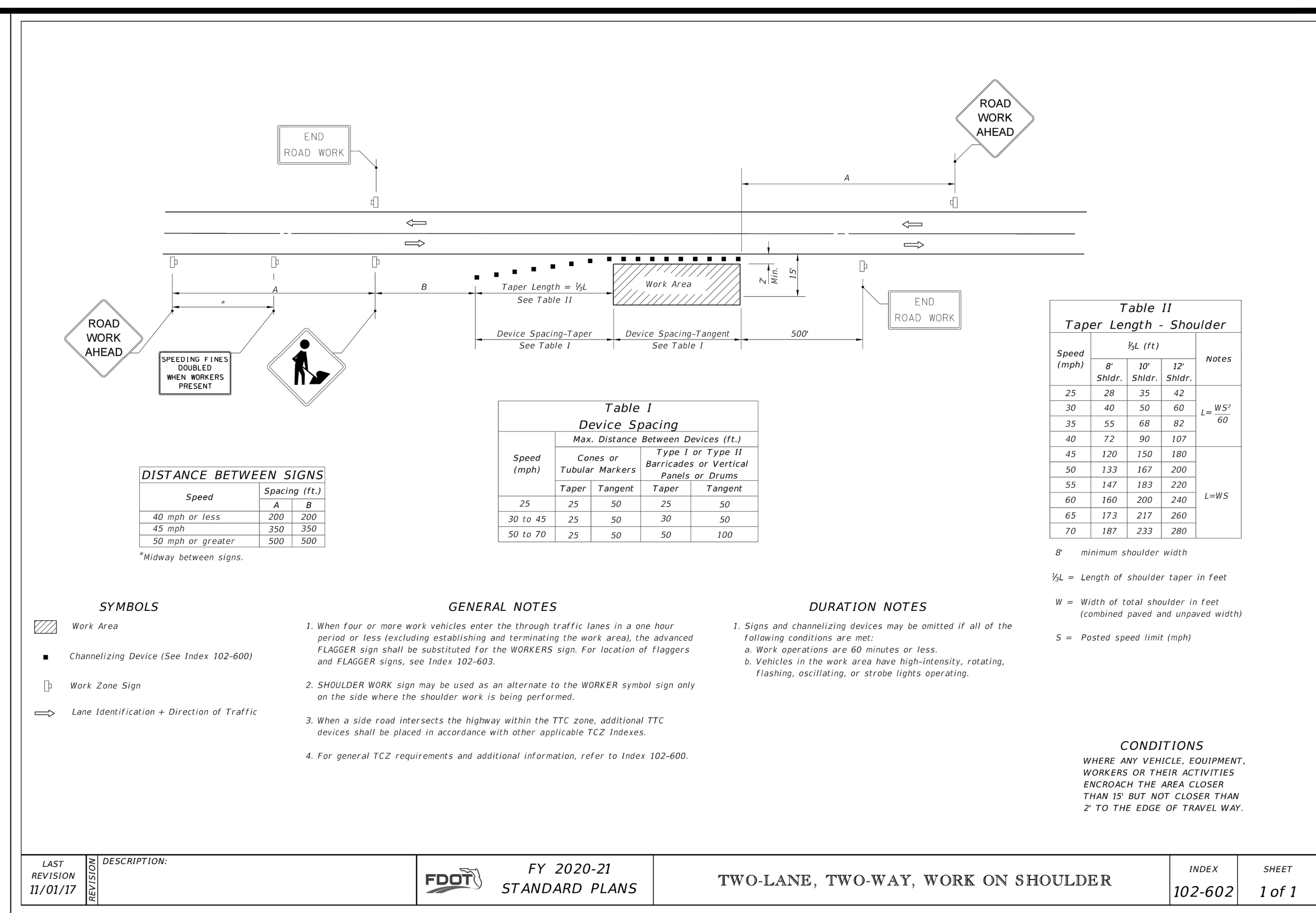
- ALL WORK PERFORMED WITHIN THE NASSAU COUNTY RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT EDITION OF THE FOLLOWING PUBLICATIONS:
  - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (ENGLISH)
  - FDOT STANDARDS INDEX (ENGLISH)
  - FDOT PLANS PREP MANUAL
  - FDOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION
- ALL TRAFFIC STRIPING AND MARKINGS ARE TO BE LEAD-FREE, NON-SOLVENT BASED THERMOPLASTIC. REMOVAL OF EXISTING STRIPING SHALL BE ACCOMPLISHED USING THE "HYDRO-BLAST" METHOD, IF THIS PROCESS DAMAGES/SCARS PAVEMENT, THEN THE PAVEMENT SHALL BE MILLED AND RESURFACED PER FDOT STANDARDS.
- EXISTING PAVED SHOULDERS SHALL BE REMOVED FULL DEPTH PRIOR TO WIDENING OF THE ROADWAY.
- ALL CURB AND GUTTER AND SIDEWALK WILL BE REMOVED AND REPLACED JOINT TO JOINT.
- ALL DISTURBED AREA WITHIN NASSAU COUNTY RIGHT-OF-WAY WILL BE RESTORED TO ORIGINAL OR BETTER CONDITION BY GRADING AND SODDING THE AREA DISTURBED (BAHIA IN RURAL, BERMUDA IN URBAN).
- BURNING OF MATERIAL AND/OR DEBRIS IS PROHIBITED WITHIN NASSAU COUNTY RIGHT-OF-WAY.
- ALL LANES MUST BE OPENED FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT.
- TEMPORARY STABILIZE SIDEWALK AT END OF WORK DAY AND OPEN TO FOOT TRAFFIC AT THE END OF THE WORK DAY. PERMANENT REPAIR WITHIN 7 DAYS. SIDEWALK REPLACEMENT FROM JOINT TO JOINT.

**NOTES:**

- CONTRACTOR TO VERIFY SURVEY INFORMATION AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCY
- EXPOSED SOILS SHOULD IMMEDIATELY BE SODDED
- CONTRACTOR TO INSTALL BLUE RPM DEVICE 6" FROM MIDDLE OF STREET ON THE SIDE CLOSEST TO FIRE HYDRANT
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" SEPARATION BETWEEN UTILITIES AND STORM PIPE
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 6" FROM OUTSIDE OF PIPE TO EXISTING UTILITY POLE
- CONTRACTOR SHALL REMOVE, PROTECT, AND REPLACE (IF DAMAGED) ANY SIGNS AS NEEDED DURING THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL REMOVE AND REPLACE ANY MAILBOXES AS NEEDED FOR CONSTRUCTION ON UTILITY. MAIL SERVICES MUST BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. ALSO, OFFSITE CONSTRUCTION SHALL NOT INTERFERE WITH TRASH PICKUP.
- ANY PAVEMENT THAT IS DAMAGED DURING CONSTRUCTION OF UTILITIES, CONTRACTOR IS REQUIRED A FULL WIDTH OVERLAY, PLUS 50' IN BOTH DIRECTIONS.
- CONTRACTOR TO PROVIDE MIN. 6' DISTANCE FROM UTILITY INSTALLATION FROM EDGE OF PAVEMENT AT ALL TIME. WHERE UTILITIES CAN'T MEET REQUIREMENTS, THE SHOULDER SHALL BE REBUILT VIA TWO LIFTS OF LIME ROCK.
- ROSES BLUFF ROW SHALL BE VIDEOED PRIOR TO CONSTRUCTION COMMENCEMENT.







**ASPA COUNTY MAINTENANCE GENERAL NOTES:**

ALL WORK PERFORMED WITHIN THE NASSAU COUNTY RIGHT-OF-WAY SHALL CONFORM TO THE MOST RECENT EDITION OF THE FOLLOWING PUBLICATIONS:

- A) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (ENGLISH)
- B) FOOT STANDARD INDEX (ENGLISH)
- C) FOOT PLANS PREP MANUAL
- D) FOOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION SHOULD A CONFLICT ARISE BETWEEN THE DETAILS SHOWN IN THE PLANS AND THE DEPARTMENT OF TRANSPORTATION ENGINEER OF RECORD/PERMITTEE SHALL IMMEDIATELY CONFER WITH THE DEPARTMENT'S ENGINEER IN ORDER TO RESOLVE ANY DISCREPANCY, IN NO CASE WILL ANYTHING LESS THAN THE DEPARTMENT'S MINIMUM STANDARD BE ALLOWED.

ALL TRAFFIC STRIPING AND MARKINGS ARE TO BE LEAD-FREE, NON-SOLVENT BASED THERMOPLASTIC. REMOVAL OF EXISTING STRIPING SHALL BE ACCOMPLISHED USING THE 'HYDRO-BLAST' METHOD. IF THIS PROCESS DAMAGES/SCARS PAVEMENT, THEN THE PAVEMENT SHALL BE MILLED AND RESURFACED PER EXISTING PAVED SHOULDERS SHALL BE REMOVED FULL DEPTH PRIOR TO WIDENING OF THE ROADWAY.

ALL CURB AND GUTTER AND SIDEWALK WILL BE REMOVED AND REPLACED JOINT TO JOINT.

ALL DISTURBED AREA WITHIN NASSAU COUNTY RIGHT-OF-WAY WILL BE RESTORED TO ORIGINAL OR BETTER CONDITION BY GRADING AND SODDING THE AREA DISTURBED (BAHIA IN RURAL, BERMAUDA IN URBAN).

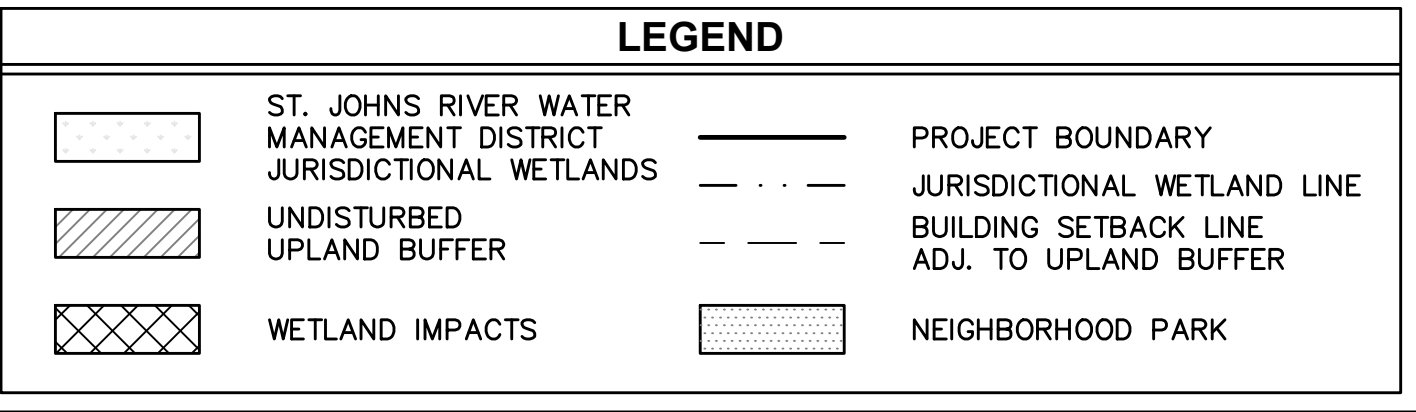
BURNING OF MATERIAL AND/OR DEBRIS IS PROHIBITED WITHIN NASSAU COUNTY RIGHT-OF-WAY.

ALL LANES MUST BE OPENED FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT.

ALL LANE CLOSURES MUST BE OPENED FOR WORK AND OPEN TO FOOT TRAFFIC AT THE END OF THE WORK DAY. PERMANENT REPAIR WITHIN 7 DAYS. SIDEWALK REPLACEMENT FROM JOINT TO JOINT.



WETLAND AND UPLAND BUFFER TABLE:	
WETLAND AREA PRESERVED	4.31 Ac.±
WETLAND AREA IMPACTED	1.55 Ac.±
TOTAL WETLAND AREA	5.86 Ac.±
L.F. OF BUFFER ADJACENT TO CONTIGUOUS WETLANDS	726 L.F.±
BUFFER AREA REQUIRED FOR CONTIGUOUS WETLANDS	0.42 Ac.±
BUFFER AREA PROVIDED FOR CONTIGUOUS WETLANDS	0.42 Ac.±



- NOTES:**
- DEVELOPER SHALL INSTALL PERIMETER FENCING ALONG THE NORTHWEST BOUNDARY AT A MINIMUM HEIGHT OF 6 FT. FENCING MAY NOT BE LOCATED WITHIN UPLAND BUFFERS.
  - TEMPORARY CONSTRUCTION AND SALES TRAILERS MAY BE LOCATED IN DEVELOPMENT AREAS. LOCATION MAY CHANGE AS DEVELOPMENT PROGRESSES, BUT SHALL NOT BE LOCATED WITHIN REQUIRED BUFFERS.
  - SIGNAGE SHALL BE ALLOWED BY THE LAND DEVELOPMENT CODE. POTENTIAL SIGNAGE LOCATIONS WILL BE SHOWN ON CONSTRUCTION PLANS.
  - ACTUAL UPLAND BUFFER WIDTH WILL BE SHOWN ON CONSTRUCTION PLANS.
  - PRESERVATION AREAS ARE SHOWN AS GENERALIZED AREAS AND ARE SUBJECT TO CHANGE BASED ON FINAL DESIGN, PERMITTING AND FINAL WETLAND SURVEYS.
  - ALL WETLANDS THAT ARE PRESERVED FOR THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT WILL BE PLACED IN CONSERVATION.
  - NO PERMANENT CONSTRUCTION SHALL BE PERMITTED IN DRAINAGE EASEMENTS INCLUDING POOL EQUIPMENT, A/C AND HEATING EQUIPMENT AND ANY VERTICAL CONSTRUCTION THAT REQUIRES FOOTERS SUCH AS A BLOCK WALL.
  - PER NASSAU COUNTY ORDINANCE 2021-013, ALL AMENITIES ARE TO BE ADA COMPLIANT.
  - PER NASSAU COUNTY ORDINANCE 2021-013, EXHIBIT C.I.I.B THE PEDESTRIAN PUBLIC, INCLUDING BICYCLES, WILL HAVE ACCESS THROUGH A PEDESTRIAN GATE OPEN DURING DAYLIGHT HOURS TO THE AQUA VISTA WATERFRONT PARK AND WATERFRONT LANDING THROUGH THE INTERNAL PEDESTRIAN CIRCULATION NETWORK.
  - CONTRACTOR SHALL PLACE BENCHES AROUND WANDERLUST TRAIL AND ADA COMPLIANT ASTROLOGICAL PARK SIDEWALK.
  - PER EXHIBIT 4 OF THE PUD, NO ELEVATION (HOUSING) SHALL BE BUILT NEXT TO EACH OTHER OR ACROSS THE STREET.

AS A RESULT OF THE SURVMD HAVING DETERMINED THAT THE MARSHLAND PROPERTY ADJUTING BELLS RIVER IS 4.31 ACRES OF JURISDICTIONAL WETLANDS, RATHER THAN APPROXIMATELY 1.31 ACRES UNDER THE PRELIMINARY WETLAND LINE USED FOR THE PRELIMINARY SITE PLAN, UNDER THE CONSTRAINTS OF EXHIBIT C, A, OF THE PUD, ORDINANCE 2021-013, THE MAXIMUM DENSITY HAS BEEN REDUCED FROM 106 UNITS TO 100 UNITS AS REQUIRED IN CONFORMITY WITH RESULTING UPLANDS UNDER THE FUTURE LAND USE MAP. PURSUANT TO THE LDC 5.07 (B)(1), THIS MINOR DEVIATION IS APPROVED, IN THAT IT DOES NOT INCREASE IN THE TOTAL NUMBER OF DWELING UNITS (RATHER DECREASED FROM 106 TO 100) AND DOES NOT DECREASE JURISDICTIONAL WETLANDS (RATHER INCREASED FROM .99 TO 4.01).

LOT SUMMARY					
Lot Number	Lot Area (SF)	Frontage Length	Lot Number	Lot Area (SF)	Frontage Length
1	10124.99	75	51	11394.01	100.81
2	10124.98	75	52	9375.00	75
3	10124.96	75	53	9375.00	75
4	10124.95	75	54	11389.87	100.78
5	10124.94	75	55	10602.36	84.83
6	10124.93	75	56	10003.85	80
7	10124.92	75	57	16462.98	72.76*
8	10124.87	75	58	18675.72	73.98*
9	10124.80	75	59	13521.93	72.75*
10	10124.75	75	60	10519.76	75
11	10124.76	75	61	10519.00	75
12	10124.77	75	62	10518.21	75
13	10124.78	75	63	10517.42	75
14	10124.78	75	64	10516.62	75
15	10124.77	75	65	10515.83	75
16	17627.34	107.27	66	10515.04	75
17	15672.62	135.01	67	10514.25	75
18	10003.03	80	68	10513.46	75
19	10002.75	80	69	10513.10	75
20	10002.48	80	70	10509.75	75
21	9377.07	75	71	10511.08	75
22	9376.83	75	72	10510.32	75
23	9376.58	75	73	10509.51	75
24	9376.34	75	74	10508.71	75
25	9376.12	75	75	9375.00	75
26	9375.87	75	76	9375.00	75
27	9375.61	75	77	9375.00	75
28	9813.68	78.5	78	9375.00	75
29	17539.96	149.96	79	9375.00	75
30	11894.00	82	80	9374.93	75
31	11894.12	82	81	9375.00	75
32	14027.68	84.24	82	9375.00	75
33	33652.76	60.59*	83	9375.00	75
34	27661.77	60.59*	84	9375.00	75
35	19120.27	75	85	9375.00	75
36	40528.99	75.14	86	9375.00	75
37	50141.32	63.198*	87	12123.06	106.64
38	49439.44	63.57*	88	13196.07	106.64
39	14514.59	64.03*	89	9375.00	75
40	10911.48	75	90	9375.00	75
41	10910.72	75	91	9375.00	75
42	16885.14	76.1	92	9375.00	75
43	28201.98	70.05*	93	9375.00	75
44	18615.39	70.48*	94	9375.00	75
45	10876.10	75	95	9374.93	75
46	10875.00	75	96	9375.00	75
47	12463.21	95.41	97	9375.00	75
48	9375.00	75	98	9375.00	75
49	9375.00	75	99	9375.00	75
50	11386.32	100.74	100	9375.00	75

\* ON CUL-DE-SAC OR EYEBROW/ARCS - MEETS 75' AT BUILDING FRONT SETBACK RESTRICTION LINE

**PROJECT DATA SUMMARY**

PROJECT NAME	SANDY BLUFF SUBDIVISION
PARCEL ID#	38-3N-27-0000-0002-0010
TOTAL PHASES	1
TOTAL SITE AREA	±53.88 ACRES
ACTIVE RECREATION AREA	(2.5 Acres/100 units) = ±2.65 ACRES REQUIRED = ±8.42 ACRES PROVIDED
STORMWATER MANAGEMENT AREA	5.02 ± ACRES
NUMBER OF LOTS	100 SINGLE FAMILY RESIDENCES
MINIMUM LOT WIDTH	75 FT. MIN.
MINIMUM LOT DEPTH	120 FT. MIN.
MINIMUM LOT AREA	9,000 SF
MAXIMUM LOT COVERAGE	50% MAX.
MAXIMUM BUILDING HEIGHT	35 FEET
BUILDING SET BACK	FRONT: 20 FEET REAR: 5 FEET SIDE: 5 FEET
ZONING	PUD
FEMA FLOOD ZONE	X, AE, AND VE (PANEL 12089C0216G AND 12089C0208G) DATED AUGUST 2, 2017

**ASTROLOGICAL AND SANCTUARY PARKS**

OTHER PARK FIXTURES AND/OR EQUIPMENT NOT SHOWN ON PLANS WILL BE INSTALLED. SUCH FIXTURES WILL ACTIVATE PARKS AND ATTRACT RESIDENTS OF THE COMMUNITY, WHICH MAY BE CHANGED BY THE HOA AS LIFESTYLE AND DEMOGRAPHICS TRENDS EVOLVE. SUCH FIXTURES AND EQUIPMENT MAY INCLUDE ANY OF THE FOLLOWING AS POINTS OF ILLUSTRATION AND NOT AS AN OBLIGATION OR LIMITATION: SHUFFLEBOARD, HORSESHOE PIT(S), BOOCIE BALL COURT(S), CORNHOLE, VOLLEYBALL COURT, SWING(S), SLIDE(S), HYPEREXTENSION BENCH, DIP STATION, STEP UP, JUNGLE GYM OR TETHERBALL SET.

**PROPERTY DEVELOPER:**

SEMANIK INVESTMENT CORPORATION  
2120 CORPORATE SQUARE BLVD, SUITE 3  
JACKSONVILLE, FL 32216

CONTACT: JOHN A SEMANIK  
Phone: (904) 493-6909

**PROJECT ENGINEER:**

CONNELLY & WICKER INC.  
10060 SKINNER LAKE DRIVE, SUITE 500  
JACKSONVILLE, FLORIDA 32246

CONTACT: MARY B. LEAPTROT, P.E.  
Phone: (904) 265-3030 Fax: (904) 265-3031

**PROJECT SURVEYOR:**

ANTHONY PAUL O'NEIL  
7749 NORMANDY BLVD #145-305  
JACKSONVILLE, FLORIDA 32221

CONTACT: ANTHONY PAUL O'NEIL  
Phone: (904) 624-3399

**LANDSCAPE ARCHITECT:**

PITTMAN LANDSCAPE ARCHITECTURE  
4049 SAN SERVERA DRIVE NORTH  
JACKSONVILLE, FLORIDA 32217

CONTACT: BUCK PITTMAN  
Phone: (904) 327-7718

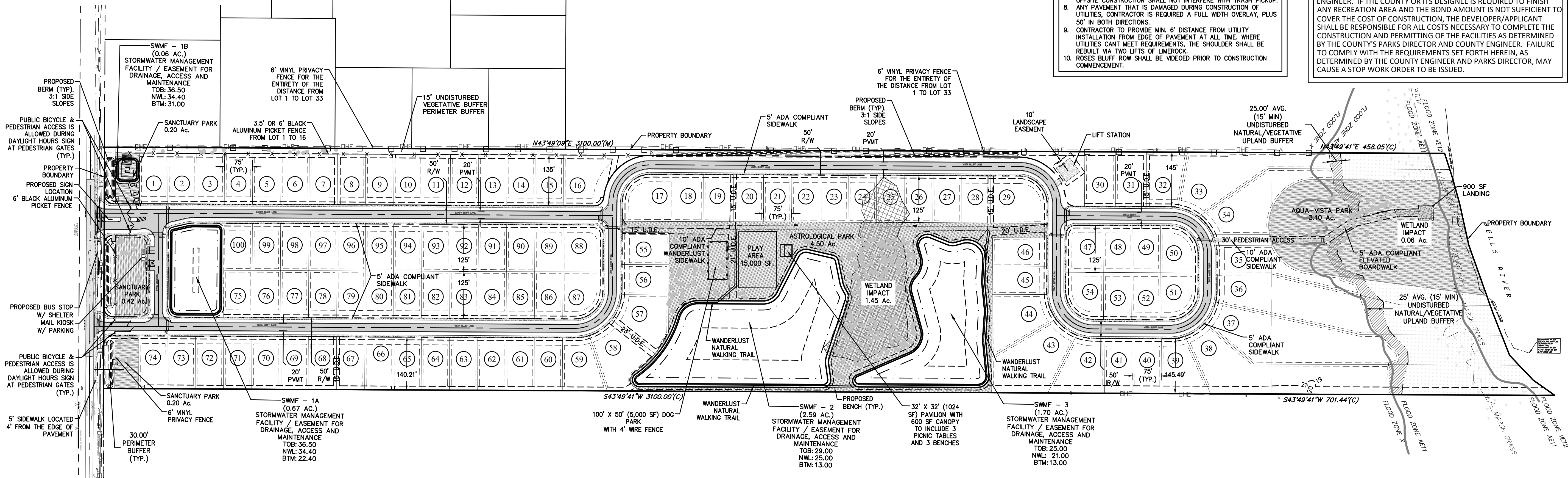
**ACREAGE BREAKDOWN:**  
TOTAL UPLAND ACRES = 49.58  
TOTAL WETLAND ACRES = 4.30  
TOTAL SITE ACRES = 53.88

**OPEN SPACE BREAKDOWN:**  
TOTAL WETLAND AREA = 4.30 AC.  
TOTAL POND AREA = 5.04 AC.  
TOTAL RECREATIONAL AREAS = 8.42 AC. (16% OF SITE)  
SANCTUARY = 0.82 AC.  
ASTROLOGICAL = 4.50 AC.  
AQUA-VISTA = 3.10 AC.  
TOTAL SIDEWALK AND NATURAL TRAIL = 13,667 LF  
ADA COMPLIANT SIDEWALK = 11,727 LF  
NATURAL TRAIL = 1940 LF

**NOTES:**

- CONTRACTOR TO VERIFY SURVEY INFORMATION AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCY
- EXPOSED SOILS SHOULD IMMEDIATELY BE SOODED
- CONTRACTOR TO INSTALL BLUE RWM DEVICE 6" FROM MIDDLE OF STREET ON THE SIDE CLOSEST TO FIRE HYDRANT
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" SEPARATION BETWEEN UTILITIES AND STORM PIPE
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 6" FROM OUTSIDE OF PIPE TO EXISTING UTILITY POLE
- CONTRACTOR SHALL REMOVE, PROTECT, AND REPLACE (IF DAMAGED) ANY SIGNS AS NEEDED DURING THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL REMOVE AND REPLACE ANY MAILBOXES AS NEEDED FOR CONSTRUCTION ON UTILITY. MAIL SERVICES MUST BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. ALSO, OFFSITE CONSTRUCTION SHALL NOT INTERFERE WITH TRASH PICKUP.
- ANY PAVEMENT THAT IS DAMAGED DURING CONSTRUCTION OF UTILITIES, CONTRACTOR IS REQUIRED A FULL WIDTH OVERLAY, PLUS 50' IN BOTH DIRECTIONS.
- CONTRACTOR TO PROVIDE MIN. 6" DISTANCE FROM UTILITY INSTALLATION FROM EDGE OF PAVEMENT AT ALL TIME, WHERE UTILITIES CANT MEET REQUIREMENTS, THE SHOULDER SHALL BE REBUILT VIA TWO LIFTS OF LIMEROCK.
- ROSES BLUFF ROW SHALL BE VIDEOED PRIOR TO CONSTRUCTION COMMENCEMENT.

PER SECTION IV.L.5 OF THE PUD, PARKS AND PUBLIC RECREATION AREAS, AS SET FORTH IN THE PUD, SHALL BE COMPLETED AND SHALL BE DETERMINED TO BE COMPLETE AND ADA-COMPLIANT BY THE COUNTY ENGINEER PRIOR TO THE ISSUANCE OF THE 50TH CERTIFICATE OF OCCUPANCY, OR IF THEY ARE ONLY SUBSTANTIALLY COMPLETE AS DETERMINED BY THE COUNTY ENGINEER. APPLICANT SHALL POST A PERFORMANCE BOND FOR 125% OF THE COST TO COMPLETE AS DETERMINED BY APPLICANT'S ENGINEER AND VERIFIED AND APPROVED BY THE COUNTY ENGINEER FOR ISSUANCE OF A 51ST THROUGH 84TH CERTIFICATE OF OCCUPANCY. IN ANY EVENT, ALL RECREATION AREAS MUST BE COMPLETED AND ADA COMPLIANCE DETERMINED BEFORE THE ISSUANCE OF THE 85TH CERTIFICATE OF OCCUPANCY, TO THE SATISFACTION OF THE COUNTY'S PARKS DIRECTOR AND COUNTY ENGINEER. IF THE COUNTY OR ITS DESIGNEE IS REQUIRED TO FINISH ANY RECREATION AREA AND THE BOND AMOUNT IS NOT SUFFICIENT TO COVER THE COST OF CONSTRUCTION, THE DEVELOPER/APPLICANT SHALL BE RESPONSIBLE FOR ALL COSTS NECESSARY TO COMPLETE THE CONSTRUCTION AND PERMITTING OF THE FACILITIES AS DETERMINED BY THE COUNTY'S PARKS DIRECTOR AND COUNTY ENGINEER. FAILURE TO COMPLY WITH THE REQUIREMENTS SET FORTH HEREIN, AS DETERMINED BY THE COUNTY ENGINEER AND PARKS DIRECTOR, MAY CAUSE A STOP WORK ORDER TO BE ISSUED.



Revision	No.	Date
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		
43		
44		
45		
46		
47		
48		
49		
50		
51		
52		
53		
54		
55		
56		
57		
58		
59		
60		
61		
62		
63		
64		
65		
66		
67		
68		
69		
70		
71		
72		
73		
74		
75		
76		
77		
78		
79		
80		
81		
82		
83		
84		
85		
86		
87		
88		
89		
90		
91		
92		
93		
94		
95		
96		
97		
98		
99		
100		