

**ORDINANCE 2023-\_\_\_\_\_**

**AN ORDINANCE OF NASSAU COUNTY, FLORIDA REZONING APPROXIMATELY 1.66 ACRES OF REAL PROPERTY LOCATED ON THE NORTH SIDE OF SR 200, BETWEEN BRADY POINT ROAD AND PINE GROVE PLACE, FROM OPEN RURAL (OR) TO COMMERCIAL, GENERAL (CG); PROVIDING FOR FINDINGS; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the development of the lands within this rezoning shall proceed in accordance with the application, dated September 7, 2023, and deemed complete October 6, 2023, in addition to supporting documents and statements of the applicant(s), which are part of application R23-008, as approved by the Board of County Commissioner, and incorporated by reference into and made part hereof; and

**WHEREAS**, public notice of all hearings required by law has been provided in accordance with Chapters 125 and 163 Florida Statutes and the Nassau County Land Development Code; and

**WHEREAS**, after public hearing and upon consideration of the application, supporting documents, statements of the applicant, correspondence and evidence received, analysis of staff, and recommendation of the Planning and Zoning Board, the Board of County Commissioners finds that such rezoning is consistent with the 2030 Comprehensive Plan and the orderly development of Nassau County.

**NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF NASSAU COUNTY, FLORIDA:**

**SECTION 1. FINDINGS**

The rezoning is based on the following Findings of Fact:

- a) Calypso Commercial Holdings, LLC is the owner of one parcel comprising approximately 1.66 acres identified as Tax Parcel No. 40-2N-28-0000-0028-0000, by virtue of Deed recorded in O.R. Book 2491, Page 1795 of the Public Records of Nassau County, Florida.
- b) Calypso Commercial Holdings, LLC has authorized Elizabeth Moore to file Application R23-008 to rezone the land described herein.
- c) The rezoning to Commercial, General (CG) is consistent with the goals, objectives, and policies of the 2030 Comprehensive Plan.
- d) The Commercial, General (CG) zoning complies with the underlying Comprehensive Plan Future Land Use Map (FLUM) designation of Commercial (COM).

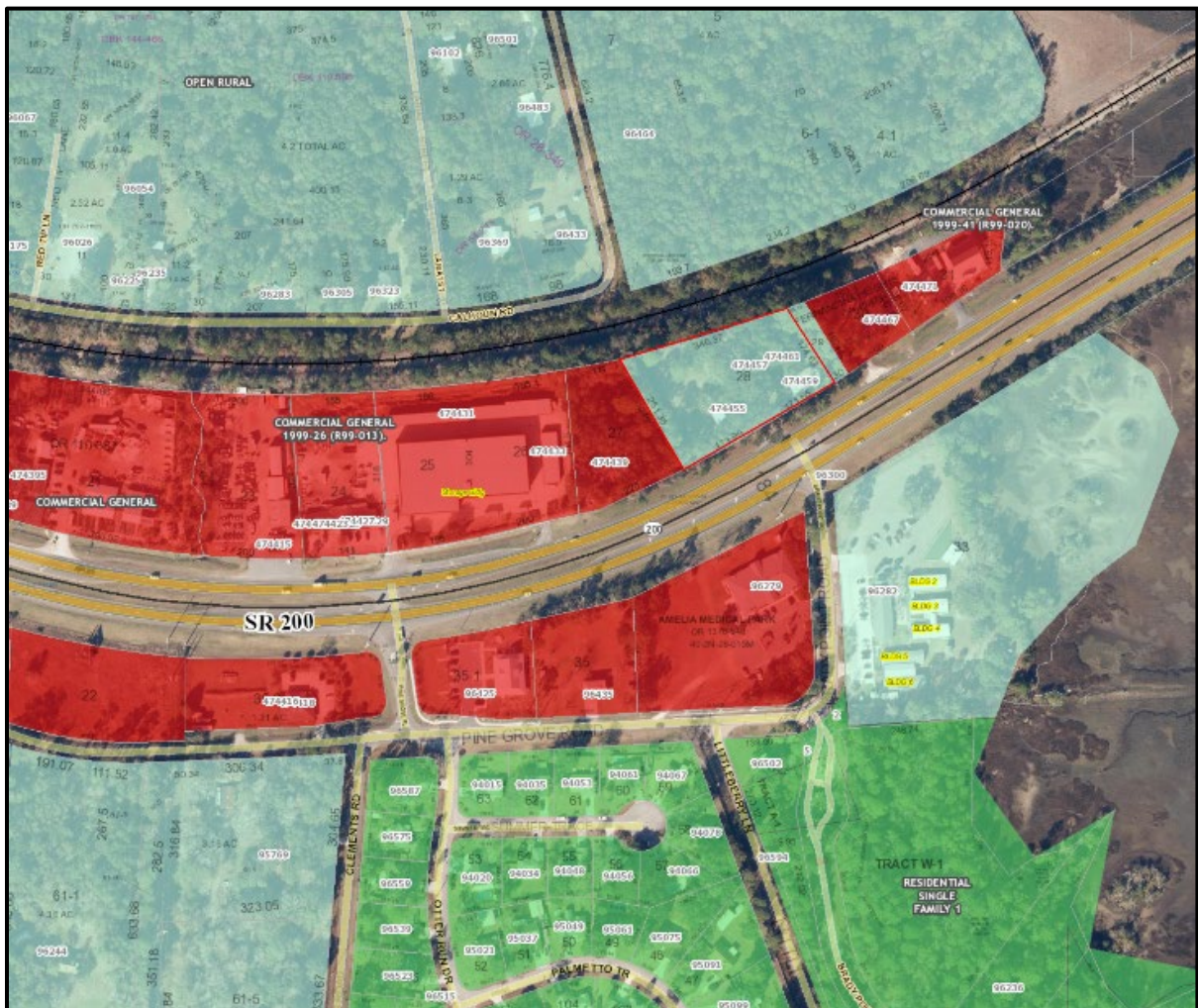
## **SECTION 2. PROPERTY REZONED**

The real property described in Section 3 is rezoned and reclassified as Commercial, General (CG) upon the effective date of the ordinance. The Planning Department is authorized to amend the Official Zoning Map to reflect this change.

## **SECTION 3. OWNER AND DESCRIPTION**

The land reclassified by this Ordinance is owned by Calypso Commercial Holdings, LLC. and is identified by the following tax identification numbers, graphic illustration, and legal description:

Parcel #s 40-2N-28-0000-0028-0000



## LEGAL DESCRIPTION:

### Legal Description

A PORTION OF SECTION 40, TOWNSHIP 2 NORTH, RANGE 28 EAST, NASSAU COUNTY, FLORIDA; DESCRIBED AS FOLLOWS:

BEGIN AT NORTHEAST CORNER OF THE JOE HIGGINS TRACT PER DEED, OFFICIAL RECORD BOOK 1707, PAGE 461, RECORDED IN THE PUBLIC RECORDS OF NASSAU COUNTY, FLORIDA, BEING A FOUND 3/4 INCH IRON PIPE, NO CAP; THENCE S 29°54'15" E (BEARING BASIS FOR THIS: DEED) ALONG THE EAST LINE OF AFORESAID TRACT, A DISTANCE OF 251.30 FEET (DEED) 251.03 FEET (MEASURED) TO A FOUND 3/4 INCH IRON PIPE, NO CAP AT A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF STATE ROAD NO 200 AS NOW ESTABLISHED (RIGHT OF WAY WIDTH VARIES), SAID POINT ALSO BEING THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS 1849.86 FEET; THENCE NORTHEASTERLY ALONG AND AROUND THE NORTHERLY RIGHT OF WAY LINE AFORESAID AND NORTHEASTERLY ALONG AND AROUND THE ARC OF SAID CURVE AN ARC DISTANCE OF 173.97 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N 61°52'20" E, 173.90 FEET TO A FOUND 5/8 INCH REBAR AND CAP, STAMPED FDOT AT THE POINT OF TANGENCY ON THE NORTHERLY RIGHT OF WAY LINE AFORESAID; THENCE N 58°54'43" E ALONG THE NORTHERLY RIGHT OF WAY LINE AFORESAID, A DISTANCE OF 171.82 FEET TO A FOUND 3/4 INCH IRON PIPE, NO CAP AT A POINT ON THE NORTHERLY RIGHT OF WAY LINE AFORESAID THAT INTERSECTS WITH THE WESTERLY LINE OF PROPERTY PER DEED, OFFICIAL RECORD BOOK 911, PAGE 1830, RECORDED IN THE AFOREMENTIONED PUBLIC RECORDS; THENCE N 32°39'34" W ALONG THE WESTERLY LINE AFORESAID, A DISTANCE OF 174.08 FEET TO A FOUND 3/4 INCH IRON PIPE, NO CAP AT A POINT ON THE AFORESAID WESTERLY LINE THAT INTERSECTS WITH THE SOUTHERLY RIGHT OF WAY LINE OF S.A.L. RAILROAD (HAVING A 120 FOOT RIGHT OF WAY), SAID POINT ALSO BEING THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 3089.30 FEET; THENCE NORTHWESTERLY ALONG AND AROUND THE SOUTHERLY RIGHT OF WAY LINE AFORESAID AND NORTHWESTERLY ALONG AND AROUND THE ARC OF SAID CURVE A ARC DISTANCE OF 346.54 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF S 73°16'40" W, 346.36 FEET TO THE POINT OF BEGINNING. BEING THE SAME LANDS AS DESCRIBED IN OFFICIAL RECORD BOOK 110, PAGE 399, OFFICIAL RECORD BOOK 381, PAGE 442 AND OFFICIAL RECORD BOOK 789, PAGE 1921, PUBLIC RECORDS, NASSAU CO. FLORIDA.

**SECTION 4. EFFECTIVE DATE**

This Ordinance shall take effect upon filing with the Secretary of State as provided in Florida Statutes, Section 125.66.

**ADOPTED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023 BY THE BOARD OF COUNTY COMMISSIONERS OF NASSAU COUNTY, FLORIDA.**

BOARD OF COUNTY COMMISSIONERS  
NASSAU COUNTY, FLORIDA

\_\_\_\_\_  
KYLNT A. FARMER  
Chairman

ATTEST AS TO CHAIRMAN'S SIGNATURE:

\_\_\_\_\_  
JOHN A. CRAWFORD  
Its: Ex-Officio Clerk

Approved as to form by the Nassau County Attorney:

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DENISE C. MAY