

NOTE: SOME DETAILS IN THESE DRAWINGS ARE TO BE CONSIDERED TYPICAL AND MAY NOT BE CALLED OUT ON PLANS. CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DETAILS DURING CONSTRUCTION IN ALL TYPICAL AREAS.

ENGINEERING PLANS

FOR

COGBURN WAREHOUSE & OFFICE

FOR

COGBURN DEVELOPMENT & HOLTON CONSTRUCTION

COGBURN WAREHOUSE & OFFICE

COGBURN DEVELOPMENT & HOLTON CONSTRUCTION

RELEASED FOR CONSTRUCTION ___ BY ___

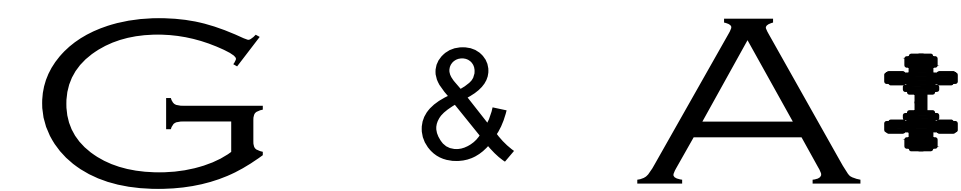
GILLETTE & ASSOCIATES, INC.

CIVIL & ENVIRONMENTAL ENGINEERING
MECHANICAL & STRUCTURAL ENGINEERING
PERMITTING & CONSTRUCTION MANAGEMENT

20 SOUTH 4TH STREET AMELIA ISLAND, FLORIDA 32034
PHONE: 904/261-8819

PERMITTING AGENCIES

FLORIDA DEPARTMENT OF TRANSPORTATION
ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT



ISSUE DATE: AUGUST 4TH, 2023

REVISION DATE: NOVEMBER 8TH 2023

G & A Project
No.: XX-XX-XX

SITE LOCATION MAP



REGISTERED DESIGN PROFESSIONAL

REV	DATE	ITEM
A	05/03/23	PRELIMINARY APPLICATION SUBMITTAL
B	08/04/23	PRELIMINARY BINDING SITE PLAN 1ST SUBMITTAL
C	10/05/23	PRELIMINARY BINDING SITE PLAN 2ND SUBMITTAL
D	11/08/23	PRELIMINARY BINDING SITE PLAN 3RD SUBMITTAL

GILLETTE & ASSOCIATES, INC.
CIVIL, ENVIRONMENTAL, MECHANICAL, & STRUCTURAL ENGINEERING

CERTIFICATE OF AUTHORIZATION NO. 9332
ASA R. GILLETTE, P.E. * FL. PE. NO. 56177

20 S. 4th STREET * FERNANDINA BEACH, FL 32034
PHONE: 904-261-8819 * www.gilletteassociates.com

COGBURN DEVELOPMENT
HOLTON CONSTRUCTION

541190 US HIGHWAY 1
CALLAHAN, FLORIDA 32011

ISSUE DATE: 11/08/23

COVER SHEET

North / Elev Key Sheet

CVR

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W E S N

Page 1 of X

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REGISTERED DESIGN PROFESSIONAL

ASA R. GILLETTE, P.E.
FLORIDA P.E. NO. 56177

SITE / GEOMETRY NOTES

- ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES OF HIS EMPLOYEES, AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTOR'S PRICE FOR PERFORMING THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING HIMSELF WITH THE NATURE AND THE EXTENT OF THE WORK AND LOCAL CONDITIONS, EITHER SURFACE OR SUBSURFACE, WHICH MAY AFFECT THE WORK TO BE PERFORMED, AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THIS CONTRACT. THE CONTRACTOR IS URGED TO TAKE COLOR PHOTOGRAPHS ALONG THE ROUTE OF THIS PROJECT TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND TO AID IN RESOLVING POSSIBLE FUTURE COMPLAINTS THAT MAY OCCUR DUE TO CONSTRUCTION OF THE PROJECT. ALL COSTS ASSOCIATED WITH PRELIMINARY INVESTIGATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE DEVELOPER.
- ELEVATIONS ARE BASED ON NAVD DATUM OF 1988.
- TOPOGRAPHIC AND BOUNDARY INFORMATION WAS PROVIDED BY: GLASS LAND SURVEYING (904-370-0318).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BUILDING, RIGHT-OF-WAY PERMITS NOT PROVIDED AND INSURANCE REQUIRED FOR THE PROJECT.
- THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN COUNTY OR STATE RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION & REPAIR.
- THE CONTRACTOR SHALL ADVISE THE OWNER'S AUTHORIZED REPRESENTATIVE OF PLANNED WORK SCHEDULE. THE CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD, AND THE OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- "AS-BUILT" DRAWINGS - AS-BUILTS ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR. THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION, AND SUBMITTAL OF AS-BUILT DRAWINGS.
- "AS-BUILT" RECORD DATA AND INFORMATION SHALL BE MAINTAINED BY THE CONTRACTOR. RECORD DRAWINGS SHALL BE SUPPLIED TO THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT.
- ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR ON A DAILY BASIS.
- ALL EXCESS SUITABLE AND UNSUITABLE MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
- ALL EXISTING TREES LISTED TO REMAIN SHALL BE PRESERVED AND PROTECTED.
- THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES, AND IMPROVEMENTS ON THE DRAWINGS ARE BASED ON LIMITED INFORMATION AND MAY NOT HAVE BEEN FIELD VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS AND FIELD VERIFY LOCATIONS OF EXISTING UTILITIES AND

SITE / GEOMETRY NOTES CONT.

OTHER IMPROVEMENTS PRIOR TO COMMENCING ANY CONSTRUCTION. IF THE LOCATIONS SHOWN ARE CONTRARY TO ACTUAL FIELD LOCATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF THE DISCREPANCY. THE DISCREPANCY SHOULD BE RESOLVED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS NEAR EXISTING UTILITY IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR REPAIRS OR PAYMENTS FOR ALL DAMAGE MADE TO EXISTING UTILITIES OR OTHER IMPROVEMENTS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES, INVERTS, AND TYPE OF MATERIAL OF EXISTING UTILITIES TO WHICH THEY SHALL CONNECT.

- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER ON ALL MATERIALS, FOR REVIEW AND APPROVAL, PRIOR TO PURCHASE OR CONSTRUCTION OF ANY UTILITY OR STRUCTURE.
- UNSUITABLE MATERIALS UNDER WATER, SEWER, OR STORM PIPE AND/OR STRUCTURES SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL COMPACTED TO 98% OF ITS MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D1557).
- ALL FINISH FLOORS SHOWN ON THE PLANS ARE MINIMUM ELEVATIONS
- GRADES SHOWN ON PLANS ARE EDGE OF PAVEMENT FINISHED GRADES UNLESS OTHERWISE NOTED.
- SHOULD THE SURFACE OR SUBSURFACE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED AND MULCHED UNLESS OTHERWISE SPECIFICALLY STATED. ALL DISTURBED AREAS WITHIN THE NASSAU COUNTY RIGHT OF WAY SHALL BE COVERED WITH BERMUDA SOO.
- THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF SEDIMENT-LADEN RUNOFF RESULTING FROM STORM EVENTS DURING THE CONSTRUCTION PHASE. EROSION CONTROL FACILITIES SHOULD BE INSTALLED EARLY DURING THE CONSTRUCTION PERIOD SO AS TO PREVENT THE TRANSPORT OF SEDIMENT INTO SURFACE WATERS. RE-VEGETATION AND STABILIZATION OF DISTURBED AREAS SHOULD BE ACCOMPLISHED IMMEDIATELY TO REDUCE THE POTENTIAL FOR FURTHER SOIL EROSION.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND COUNTRY BEFORE COMMENCING WORK.
- MINIMUM COVER OVER PIPES SHALL BE 36" UNLESS OTHERWISE INDICATED.
- ALL UNDERGROUND UTILITY COMPANIES SHALL BE CONTACTED AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- IN ADDITION TO THE SPECIFICATIONS AND DETAILS PROVIDED FOR THIS CONTRACT, THE NASSAU COUNTY STANDARD DETAILS AND SPECIFICATIONS (LATEST REVISION) SHALL ALSO BE USED FOR ANY ITEMS NOT COVERED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A SET OF STANDARD DETAILS AND SPECIFICATIONS FROM NASSAU COUNTY.
- BACKFILL MATERIAL SHALL BE COMPACTED TO 100% (2%) UNDER EXISTING AND PROPOSED ROADWAYS.
- NO FIELD CHANGES OR DEVIATIONS FROM DESIGN TO BE MADE WITHOUT PRIOR APPROVAL OF THE ENGINEER.
- STATIONING REFERS TO THE CENTERLINE OF THE ROADWAY EXCEPT AS NOTED ON PLANS. WHERE PAVEMENT SPLITS, THE STATIONING FOLLOWS THE INSIDE EDGE OF PAVEMENT UNTIL ROADWAY TRANSITIONS BACK TO THE TYPICAL ROADWAY SECTION
- ALL CONSTRUCTION, MATERIAL, AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH COUNTY STANDARDS.
- A PRECONSTRUCTION MEETING WITH NASSAU COUNTY ENGINEERING SERVICES CONSTRUCTION INSPECTOR IS REQUIRED (904-530-6225).

WATER NOTES

- ALL WATER & SEWER CONSTRUCTION SHALL BE ACCOMPLISHED BY AN UNDERGROUND UTILITY CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 489 FLORIDA STATUTES.
- WHEN DEWATERING CAPACITY REQUIRES A PERMIT (CUP), IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
- WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY HAZARD. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. WHERE PARALLEL WATER AND SEWER MAINS HAVE LESS THAN 10 FOOT HORIZONTAL SEPARATION, 20 FOOT LENGTHS OF C900 (DR18) WATER QUALITY PIPE SHALL BE USED WITH THE JOINTS STAGGERED AT 10 FOOT INTERVALS. THE PIPES SHALL BE PLACED IN SEPARATE TRENCHES WITH THE WATER MAIN AT LEAST 18 INCHES ABOVE THE SEWER.
- WATER MAINS CROSSING SANITARY HAZARDS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER MAIN. WHERE WATER AND SEWER MAINS CROSS WITH BETWEEN 18 INCHES AND 6 INCHES OF VERTICAL CLEARANCE, A 20 FOOT SECTION OF C900 (DR18) WATER QUALITY PIPE SHALL BE CENTERED ON THE POINT OF THE CROSSING. THE CONTRACTOR SHALL FIELD VERIFY THE VERTICAL SEPARATION. THE MINIMUM SEPARATION BETWEEN WATER AND SEWER PIPES IS TO BE 6 INCHES OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- NO WATER MAIN PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER MANHOLE.
- TRACER WIRE SHALL BE PROVIDED ON ALL WATER MAINS AND FORCE MAINS. TRACER WIRE SHALL BE #10 UF SOLID COPPER WIRE, COATED, AND SUITABLE FOR BURIAL. COATING SHALL BE BLUE FOR WATER AND GREEN FOR SEWER MAIN CONNECTIONS. WIRE SHALL BE ATTACHED DIRECTLY TO TOP OF PIPE AND BROUGHT INTO EACH VALVE BOX AND COILED TO ALLOW FOR EASY ACCESS AND EXTENSION ABOVE FINISHED GRADE FOR ATTACHMENT OF LOCATING EQUIPMENT.
- ALL PIPE LENGTHS ARE APPROXIMATE DIMENSIONS; ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM WITH TYPICAL SECTIONS AND DETAILS AS SHOWN ON THE MISCELLANEOUS DETAILS SHEET AND IN ACCORDANCE WITH THE SPECIFICATIONS.
- WATER MAINS TO HAVE AT MINIMUM 12" OF VERTICAL CLEARANCE FROM FORCE MAINS.
- ALL UNDERGROUND UTILITIES MUST BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT.

LEGEND

	EXISTING VALVE		PROPOSED SPOT ELEVATION
	EXISTING WATER LINE		PROPOSED WATER LINE
	EXISTING FIRE HYDRANT		PROPOSED SANITARY SEWER
	EXISTING PROPERTY LINE		PROPOSED FIRE HYDRANT
			PROPOSED LOT LINE

SEWER NOTES

- THE CONTRACTOR SHALL PROVIDE, TO THE ENGINEER OF RECORD, A SCHEDULE OF INVERT ELEVATIONS OF ALL SANITARY MANHOLES PRIOR TO THE PLACEMENT OF THE LIME ROCK BASE COURSE. THIS SCHEDULE TO BE PROVIDED BY THE REGISTERED LAND SURVEYOR SUBMITTING THE "AS-BUILT" DRAWINGS FOR THIS PROJECT.
- SANITARY SEWER SERVICES SHALL BE 6" PVC WITH A MINIMUM SLOPE OF 0.006 FEET PER FOOT AND SHALL BE TERMINATED AT THE RIGHT-OF-WAY LINE WITH A DEPTH OF 24" TO 48" FROM THE FINAL FINISHED GRADE OF THE DEVELOPED LOTS. DEPTHS GREATER THAN 48" FROM FINAL FINISHED GRADE SHALL BE READJUSTED BY THE DEVELOPER AT HIS COST.
- GRAVITY SEWER TO BE CLEANED & TV TESTED BY DEVELOPER AT DEVELOPER'S EXPENSE
- ALL MANHOLE FRAMES AND COVERS TO BE ADJUSTED TO FINAL FINISHED GRADE.
- A SEPARATE SEWER SERVICE (6" MIN.) SHALL BE PROVIDED TO THE RIGHT-OF-WAY FOR EACH LOT BEING SERVED. AN "S" SHALL BE ETCHED INTO THE CURB DIRECTLY OVER EACH SERVICE LINE OR IN THE STREET SIDE OF A SIDEWALK IN LINE WITH THE CLEANOUT.
- GRAVITY SEWER TO BE GREEN IN COLOR
- NEW GRAVITY SEWER SYSTEM SHALL BE PLUGGED AT NEAREST EXISTING DOWNSTREAM MANHOLE AND SHALL NOT BE REMOVED WITHOUT AUTHORIZATION FROM THE UTILITY COMPANY. EXISTING MANHOLES TO BE COREBORED AND ARRANGEMENTS MADE TO BE REFURBISHED WITH COMPATIBLE MATERIALS IF THE EXISTING MANHOLE IS ALLOWED TO BE USED.
- FINISHED FLOOR ELEVATIONS SHALL BE GREATER (HIGHER) THAN THE ELEVATION OF THE MANHOLE NEAREST THE SERVICE LATERAL IN ORDER TO AVOID A POTENTIAL BACKUP OF SEWERAGE IN THE HOUSE OR BUILDING.
- ALL GRAVITY SEWER PIPE TO A 10 FOOT DEPTH OF COVER SHALL BE SDR-26 PVC PIPE (MINIMUM). GRAVITY SEWER PIPE WITH COVER OF 15 FEET (AND IN EASEMENTS) AND GREATER SHALL BE C900 - DR18. JOINT SHALL BE OF THE BELL AND SPIGOT TYPE AND MEET THE REQUIREMENTS OF THE PIPE REFERRED BEING USED.
- WHEN A PROPERTY LINE CAN NOT BE DEFINED, THE SEWER CLEANOUT SHALL BE PLACED IN AN UNPAVED AREA AT A DISTANCE NO GREATER THAN 30 FEET FROM THE SEWER MAIN.
- SEWER PLUGS USED DURING THE CONSTRUCTION OR CONNECTION TO A SYSTEM SHALL HAVE THE CONTRACTOR'S NAME PERMANENTLY STAMPED.
- THE MANHOLE LINER SHALL BE SPECTRA SHIELD OR APPROVED EQUIVALENT.
- IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) REQUIREMENTS, LEAKAGE TESTING SHALL BE PERFORMED ON ALL SEGMENTS OF THE SEWER SYSTEM. TESTING MAY INCLUDE APPROPRIATE WATER OR LOW PRESSURE AIR TESTING. TEST METHODS SHALL TAKE INTO CONSIDERATION THE RANGE IN GROUNDWATER ELEVATIONS DURING THE TEST AND ANTICIPATED DURING THE DESIGNED LIFE OF THE SEWER. NO LEAKAGE ALLOWED IN SYSTEM.

FIRE NOTES

- WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED AND IN SERVICE PRIOR TO COMMENCING CONSTRUCTION WORK ON ANY STRUCTURE. (NFPA 1, 16.4.3.1.3, 2020 EDITION)
- CLEARANCES OF SEVEN AND ONE HALF FEET (7 FT-6 IN.) IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT, WITH A FOUR FOOT CLEARANCE TO THE REAR OF THE HYDRANT. (NFPA 1, 18.3.4.1, 2020)
- NEW FIRE HYDRANT(S) SHALL BE INSTALLED SO THAT POSITIONED NOT MORE THAN 7 FEET 6 INCHES AWAY FROM CURB OR BERM OF THE ROADWAY.

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GE-1	GEOMETRY PLAN
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ALL PERMITTING ENTITIES		
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ISSUE DATE: 11/08/23

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North / Elev Key Sheet

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**COGBURN DEVELOPMENT
HOLTON CONSTRUCTION**

541190 US HIGHWAY 1
CALLAHAN, FLORIDA 32011

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Nassau County Development Review General Notes:

1. Engineering Plans approval does not constitute permission to violate any adopted Federal, State, or Local law, code, or ordinance.
2. All work within the public streets and right-of-ways shall conform to Nassau County Land Development Codes (LDC), FDOT Standard Indices, Florida Greenbook, Nassau County Roadway and Drainage Standards, and Nassau County Standard Details as necessary. For any discrepancy between standards, the most stringent shall prevail.
3. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 6.2.4, site shall be constructed per approved construction drawings. Any substantial deviation shall be concurrently reviewed by Engineer of Record and Nassau County Development Review Committee prior to field changes.
4. A pre-construction meeting with Nassau County Engineering Services Construction Inspector is required. Attendees shall be Nassau County, Engineer of Record, Contractor, Testing firm, Paving firm, and utility companies per Nassau County Ordinance 99-17 Section 7.2.3. Nassau County may cancel pre-construction meeting if attendee list is inadequate. Nassau County Engineering Services can be reached at 904-530-6225.
5. The contractor shall schedule and coordinate all work with the appropriate Nassau County Construction Inspector assigned to the project per Nassau County Ordinance 99-17 Section 7.2.
6. All work shall be performed in a safe manner. All safety rules and guidelines of O.S.H.A. shall be followed. The contractor shall be wholly responsible for any injuries to his employees and any damage to private property or persons during the course of this project.
7. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 11.8.1, any disturbed areas within Nassau County Right-of-Way shall be sodded.
8. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 7.4.1, at the time of final inspection, grassing shall be a minimum of seventy percent coverage and fully established and/or sodding to be one hundred percent coverage and stabilized.
9. Engineer of Record approved shop drawings shall be provided to Nassau County Construction Inspector a minimum of one week before beginning structure installation.
10. Parking at mail kiosks is required per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 8.4. Mail kiosk locations are subject to USPS Postmaster approval.
11. The developer's contractor is the single responsible party for the proper implementation of an Erosion Protection Sediment Control (EPSC) within each lot or construction site. This includes the responsibility for the actions/inactions of employees, subcontractors, and/or suppliers.
12. Sidewalks to be provided and built in accordance Florida Building Code. All proposed sidewalks shall meet ADA requirements.
13. The Contractor shall comply with current Florida accessibility standards for all work on this project.
14. Per Ordinance 99-17 Section 8.5.1, minimum cover for water lines and force mains under pavement shall 42" and 36" in green areas.
15. All water, sewer, and storm water construction within Nassau County ROW shall be accomplished by an underground utility contractor licensed under the provisions of Chapter 409 of the Florida Statutes.
16. No work shall be permitted between the hours of 7:00 PM - 7:00AM without prior approval from Nassau County Engineering Services.
17. All trees required to be protected shall be flagged for protection prior to clearing.
18. All grading and placement of compacted fill shall be in accordance with the latest Nassau County Specifications.
19. Any damages (sidewalk, curb, asphalt, ditch grading, et cetera) within Public Right-of-Way shall be repaired or replaced in accordance with Nassau County Specifications. Proposed repair method shall be approved by Nassau County Engineering Services.
20. Any asphalt millings from Nassau County ROW shall be delivered to the Road Department Laydown yard located on Gene Lasserre Boulevard or Pea Farm Road. Please contact the Road Department at (904) 530-6175.
21. Per Nassau County Ordinance 99-17 Section 7.4.2 and 7.4.4, as-built drawings shall be submitted to Nassau County before a final inspection can be scheduled. As-builts submittals will be in accordance with Nassau County as-built requirement checklist. As-built drawings shall be certified by required licensed surveyor and approved by Engineer of Record.

Nassau County Stormwater Drainage Notes:

1. All stormwater drainage facilities within Public Right-of-Way and paved areas, including Nassau County Right-of-Way, turn lanes, residential roadways, drive aisles for multi-family developments, and major drive aisles for commercial developments shall be laser profiled per FDOT Section 430.
2. A builder cannot modify the County's storm water management system including the pipes, inlets, area drains, ditches and related elements typically within the street or within a drainage easement without the prior written approval of the County Engineer or designee.
3. Drainage easements and ditches should remain free of stockpiled soil, sediment, mud, construction materials/waste, et cetera at all times. Positive stormwater flow must be maintained throughout construction.
4. The contractor shall temporarily or permanently stabilize bare soil areas and soil stockpiles when the area is inactive for fourteen days or more or has reached finished grade.
5. Per Ordinance 99-17 Section 11.11.5.4, all gravity flow pipe installations shall have a soil tight joint performance unless specific site factors warrant watertight joint performance.
6. Per Ordinance 99-17 Section 10.6.5.1, immediately install additional Erosion Protection Sediment Control measures if sediment is leaving your site. Failure to contain sediment to your site may result in delayed inspections, notices of violation, citations, fines, penalties, and/or stop work orders.
7. Per 99-17 Section 10.1.2.a-e, stormwater management for a project shall not have adverse effects on adjacent properties, downstream structures, or rights of other landowners.

Nassau County Paving Notes:

1. Per Nassau County Roadway and Drainage Standards, Ordinance 99-17 Section 12.2 and 12.4, a construction bond and 26-month maintenance bond will be required for all work within Nassau County Right-of-Way.
2. A pre-pave meeting is required prior to any paving operations within Nassau County ROW, residential subdivisions, or multi-family developments.
3. Approved mix designs shall be provided to Nassau County Construction Inspector 48 hours prior to pre-pave meeting or placement of concrete.
4. Contractor is required to have a Certified QC Asphalt Level II Technician during any asphalt operations within Nassau County ROW, residential subdivision, or multi-family developments.
5. All bases shall be primed in accordance with Ordinance 99-17 Section 11.5.2.3, Nassau County Standard Details, and FDOT Standard Specifications.
6. Signage and pavement markings shall be in compliance with Nassau County Standards, Manual on Uniform Traffic Control Devices (MUTCD), and FDOT Standard Plans.
7. Maintenance of Traffic (MOT) shall be in compliance with FDOT Standard Index 600 Series.
8. All work, materials, and testing performed within Nassau County right-of-way and single-family/multi-family developments shall be in accordance with the current revision of Nassau County's Ordinance 99-17 and all current Nassau County Standard Details.
9. Per Ordinance 99-17 Section 11.9.2, all pavement markings within Nassau County ROW shall be lead free thermoplastic meeting Nassau County and FDOT Standard Specification Latest Edition.
10. Removing pavement markings within Nassau County ROW shall be:
 - a. Grinding or hydro-blasting on weathered asphalt surfaces.
 - b. Hydro-blasting only on new asphalt surfaces.
 - c. Paint Blackout is prohibited.
11. Per Ordinance 99-17 Section 8.5.5, any damage to pavement resulting from construction or pavement marking removal within Public ROW not planned as part of the project shall be milled and overlaid for entire width of roadway and length of damage plus 50' in each direction.
12. All underground utilities, or appropriate conduit sleeves, that are to be installed under pavement must be installed prior to preparation of the subgrade for pavement.
13. Single Vertical Joints in roadway construction shall be avoided in Nassau County Right-of-Way using Nassau County Standard Detail #26.
14. All drainage structures shall have traffic bearing grates that meet or exceed the rating for the facilities expected traffic.
15. All concrete shall be a minimum of 3000 psi within Public Right-of-Way.

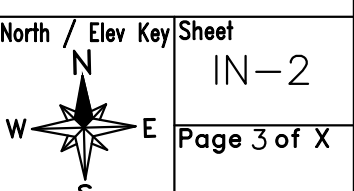
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**COGBURN DEVELOPMENT
 HOLTON CONSTRUCTION**
 541190 US HIGHWAY 1
 CALLAHAN, FLORIDA 32011

ISSUE DATE: 11/08/23
 NASSAU COUNTY
 NOTES



ASA R. GILLETTE, P.E.
 FLORIDA P.E. NO. 56177

PROPERTY INFORMATION:

- PID#: 04-1N-25-0000-0003-0000
- ACREAGE: 2.88 ACRES (125,531 SF)
- LOCATION: CALLAHAN, FL
- FLOOD ZONE: X
- ZONING: COMMERCIAL GENERAL
- FUTURE LAND USE: COMMERCIAL
- PROPOSED USE: OFFICE/STORAGE

DEVELOPMENT REQUIREMENTS:

- MAX BUILDING HEIGHT: 40- FEET
- MAX BUILDING LOT COVERAGE: 50%
- MAX IMPERVIOUS AREA: 67%
- PROPOSED BUILDING HEIGHT: 25- FEET
- PROPOSED BUILDING LOT COVERAGE: 13.90%
- PROPOSED F.A.R.(%): 13.90%
- PROPOSED IMPERVIOUS AREA: 48.45%

TOTAL LOT AREA: 125,531 SF
 WET POND IMP. AREA: 15,600 SF
 ASPHALT D/W & PL: 22,868 SF
 CONC. APRON/SIDEWALKS: 4,902 SF
 BUILDINGS IMP AREA: 17,450 SF
 TOTAL IMPERVIOUS AREA: 60,820 SF
 GRAVEL DRIVEWAY: 4,255 SF
 LANDSCAPE BUFFER: 23,678 SF
 OPEN GREEN SPACE: 36,778 SF
 TOTAL PERVIOUS AREA: 64,711 SF

SETBACKS:

- FRONT: 25- FEET
- SIDE: 20- FEET
- REAR: 20- FEET

UTILITIES:

WATER: PRIVATE WELL
 SEWER: SEPTIC SYSTEM
 ELECTRIC: F.P.U.

PARKING NOTES:

- REQ'D PARKING PER BUILDING:
- 6,250 SF OFFICE/STORAGE BUILDING
- 5,000 SF OF OFFICE SPACE
- 1,250 SF OF STORAGE SPACE

1,250 SF OF STORAGE INCLUDES SAME EMPLOYEES THAT RESIDE WITHIN OFFICE SPACE

OFFICE = (1) SPACE PER 300SF OF BLDG, PLUS (1) SPACE PER (2) EMPLOYEES

5,000 SF / 300 SF PER SPACE = (17) SPACES REQ'D

(6) EMPLOYEES = (3) SPOTS REQ'D

STORAGE/SHOP = (1) SPACE PER (2) EMPLOYEES ON PEAK SHIFTS, PLUS (1) SPACE FOR EACH VEHICLE BASED AT THE FACILITY

(6) EMPLOYEES = 3 SPOTS REQ'D

TOTAL SPACES REQ'D = (23) PARKING SPOTS

- PROVIDED PARKING:
- (21) PARKING SPOTS
- (2) ADA PARKING SPOT

FIRE NOTES:

- NEAREST FIRE HYDRANT IS APPROXIMATELY 6,500-FT NORTHWEST OF PROPERTY

- DRY HYDRANT PROPOSED TO FACILITATE FIRE PROTECTION FOR SITE

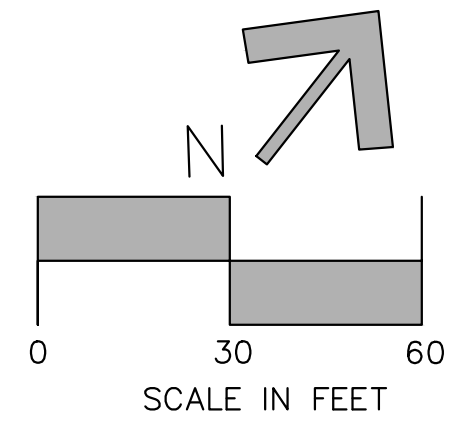
- FIRE SPRINKLE IS NOT REQUIRED:

WAREHOUSE FALLS UNDER FBC.306.2: MODERATE HAZARD FACTORY INDUSTRIAL, GROUP F-1. THE BUILDING IS UNDER 12,000 SF AND DOES NOT APPLY FOR THE OTHER THREE (3) CONDITIONS STATED IN FBC.903.2.4 FOR REQ'D FIRE SPRINKLE

THE STORAGE AREAS FALL UNDER FBC.311.2: MODERATE HAZARD STORAGE, GROUP S-1. THE BUILDING(S) STORAGE AREA(S) ARE UNDER 12,000 SF AND DOES NOT APPLY FOR THE OTHER FOUR (4) CONDITIONS STATED IN FBC.903.2.9 FOR REQ'D FIRE SPRINKLE

NOT FOR CONSTRUCTION

NOTE: SOME DETAILS IN THESE DRAWINGS ARE TO BE CONSIDERED TYPICAL AND MAY NOT BE CALLED OUT ON PLANS. CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DETAILS DURING CONSTRUCTION IN ALL TYPICAL AREAS.



REGISTERED DESIGN PROFESSIONAL
 ASA R. GILLETTE, P.E.
 FLORIDA P.E. NO. 56177

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B	08/04/23	PRELIMINARY BINDING SITE PLAN 1ST SUBMITTAL
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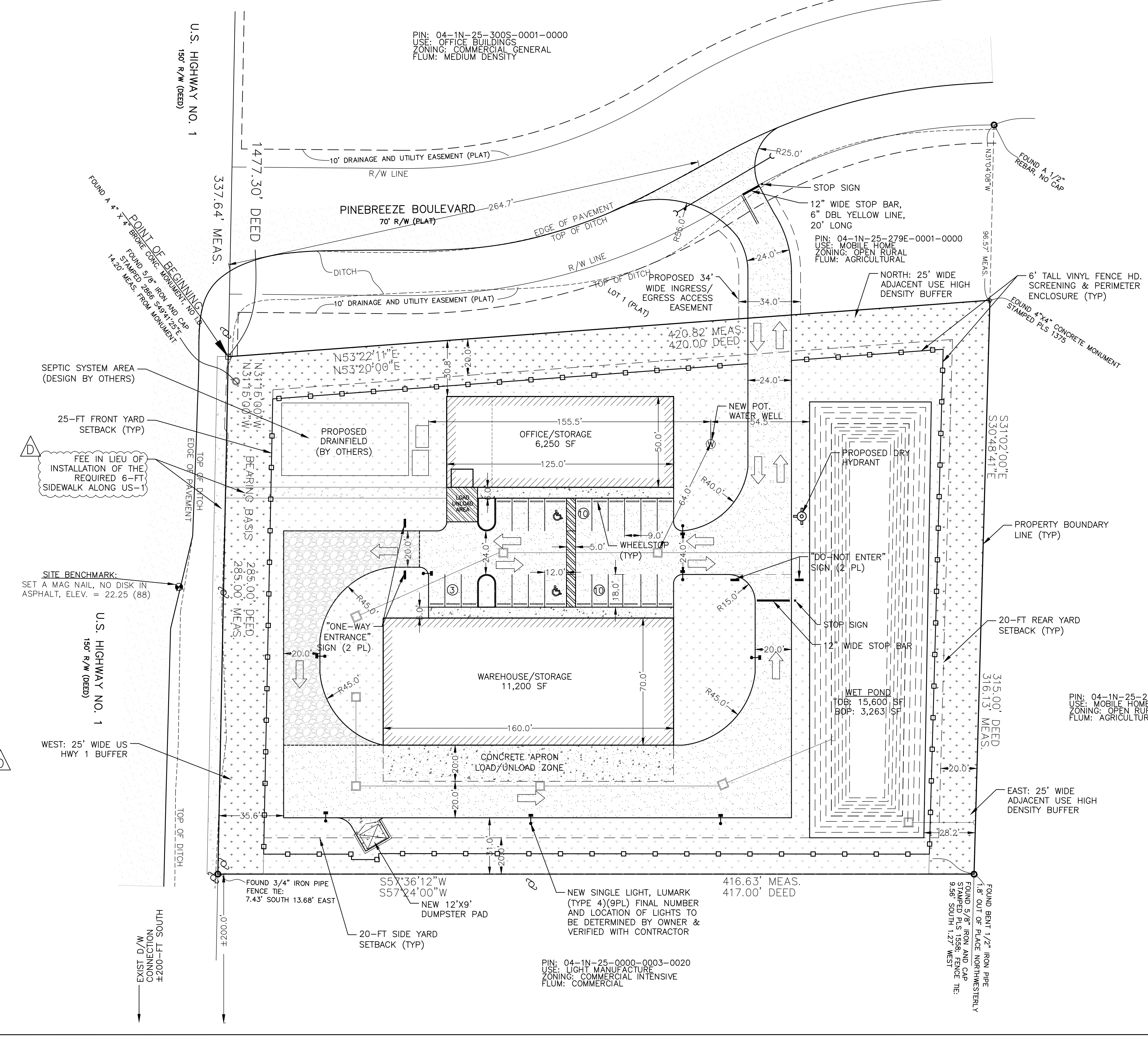
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 CERTIFICATE OF AUTHORIZATION NO. 9332
 ASA R. GILLETTE, P.E. • FL. PE. NO. 56177
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HOLTEN CONSTRUCTION
 541190 US HIGHWAY 1
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ISSUE DATE: 11/08/23

GEOMETRY PLAN

North / Elev Key/Sheet
 GE-1
 Page 5 of X



PIN: 04-1N-25-0000-0003-0020
 USE: LIGHT MANUFACTURE
 ZONING: COMMERCIAL INTENSIVE
 FLUM: COMMERCIAL

PIN: 04-1N-25-279E-0001-0000
 USE: MOBILE HOME
 ZONING: OPEN RURAL
 FLUM: AGRICULTURAL

PIN: 04-1N-25-300S-0001-0000
 USE: OFFICE BUILDINGS
 ZONING: COMMERCIAL GENERAL
 FLUM: MEDIUM DENSITY

PROPERTY INFORMATION:

- PID#: 04-1N-25-0000-0003-0000
- ACREAGE: 2.88 ACRES (125,531 SF)
- LOCATION: CALLAHAN, FL
- FLOOD ZONE: X
- ZONING: COMMERCIAL GENERAL
- FUTURE LAND USE: COMMERCIAL
- PROPOSED USE: OFFICE/STORAGE

LANDSCAPING NOTES:

- MINIMUM 10% OF TOTAL LOT AREA TO BE LANDSCAPED
- 10% * TOTAL LOT = 12,553 SF

LANDSCAPE BUFFER REQUIREMENTS

EAST PROPERTY LINE:
ADJACENT USE: ONE FAMILY DWELLING
REQUIRED BUFFER: HIGH DENSITY, 25 FT MIN.
FRONTAGE LENGTH: 316 FT

- REQUIRED TREES PER 100 FT OF FRONTAGE:**
- 5 CANOPY TREES = 16 TREES REQ'D
 - 90 SHRUBS = 285 SHRUBS REQ'D
 - PLANTED TREES MUST BE A MINIMUM OF 3" CAL
- PROPOSED PLANTED TREES:**
- 16 CANOPY TREES
 - 285 SHRUBS

NORTH PROPERTY LINE:
ADJACENT USE: ONE FAMILY DWELLING
REQUIRED BUFFER: HIGH DENSITY, 25 FT MIN.
FRONTAGE LENGTH: 420.8 FT

- REQUIRED TREES PER 100 FT OF FRONTAGE:**
- 5 CANOPY TREES = 21 TREES REQ'D
 - 90 SHRUBS = 379 SHRUBS REQ'D
 - PLANTED TREES MUST BE A MINIMUM OF 3" CAL
- PROPOSED PLANTED TREES:**
- 21 CANOPY TREES
 - 379 SHRUBS

WEST PROPERTY LINE:
ADJACENT ROAD: US HWY 1
REQUIRED BUFFER: 25 FT MIN.
FRONTAGE LENGTH: 285 FT

- REQUIRED TREES PER 100 FT OF FRONTAGE:**
- 3 CANOPY TREES = 9 TREES REQ'D
 - 3 UNDERSTORY TREES = 9 TREES REQ'D
 - PLANTED TREES MUST BE A MINIMUM OF 3" CAL
- PROPOSED PLANTED TREES:**
- 0 CANOPY TREES
 - 28 UNDERSTORY TREES*

* = DUE TO PROXIMITY OF UTILITY LINES, REQUIRED CANOPY TREES WILL BE REPLACED WITH UNDERSTORY TREES AT A RATE OF 1 TREE/15-FT OF FRONTAGE

(285-FT FRONTAGE/15-FT PER TREE = 19 UNDERSTORY REQ'D IN-LIEU OF CANOPY TREES)

SOUTH PROPERTY LINE
ADJACENT ZONING: COMMERCIAL
REQUIRED BUFFER: NONE

NOTE: TREES SHOWN ALONG SOUTHERN PROPERTY LINE ARE TOWARDS OPEN/GREEN SPACE REQ'D TREES

DUMPSTER SCREENING REQUIREMENTS:

- DUMPSTER WALL: 40 LINEAR FT
- REQUIRED PLANTINGS:**
- (1) SHRUB EVERY 2 FEET = 20 SHRUBS REQ'D
 - (1) CANOPY OR UNDERSTORY TREE PER 10 LINEAR FEET OF WALL = 4 TREES REQ'D

- PROPOSED PLANTINGS:**
- (20) SHRUBS
 - (4) CANOPY TREES

GREEN SPACE NOTES:

SECTION 37.05.C.3: "NON-RESIDENTIAL DEVELOPMENTS IN ADDITION TO THE BUFFER AND PERIMETER LANDSCAPING ADJACENT TO A RIGHT-OF-WAY REQUIREMENTS FOUND IN THIS SECTION, EACH COMMERCIAL AND/OR INDUSTRIAL DEVELOPMENT MUST PROVIDE A MINIMUM OF TEN (10) PERCENT OF THE LOT OR PARCEL AS PERVIOUS GREEN SPACE PLANTED WITH ONE OR MORE SPECIES OF TREE LISTED IN TABLES 37-1 OR 37-2 FOR EVERY FIVE HUNDRED (500) SQUARE FEET OF SUCH GREEN SPACE."

- REQUIRED GREEN SPACE:** 10% OF THE TOTAL LOT
- 10% * 125,531 SF = 12,553 SF REQ'D
- 36,778 SF GREEN SPACE PROVIDED
- GREEN SPACE TREE REQ: 12,553SF/500SF = 25.106 TREES
- REQUIRED: (26) CANOPY TREES
- PROVIDED: (5) INTERIOR LANDSCAPE ISLAND TREES
(21) GREEN SPACE TREES

TOTAL PROVIDED = 26 CANOPY TREES

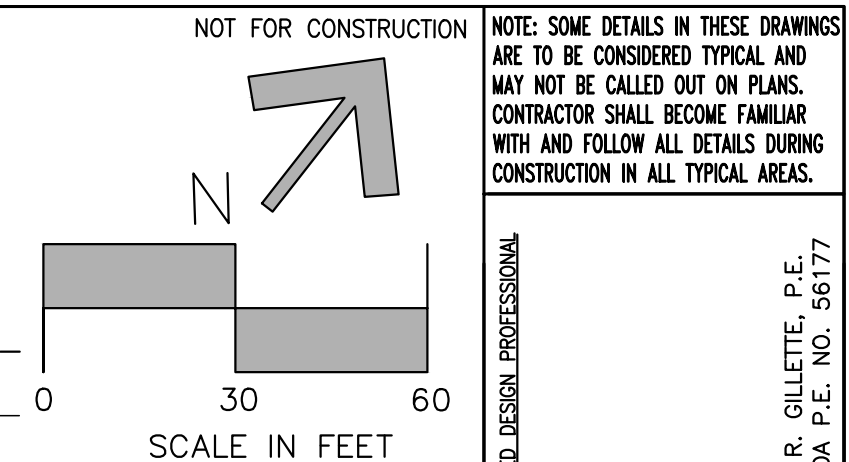
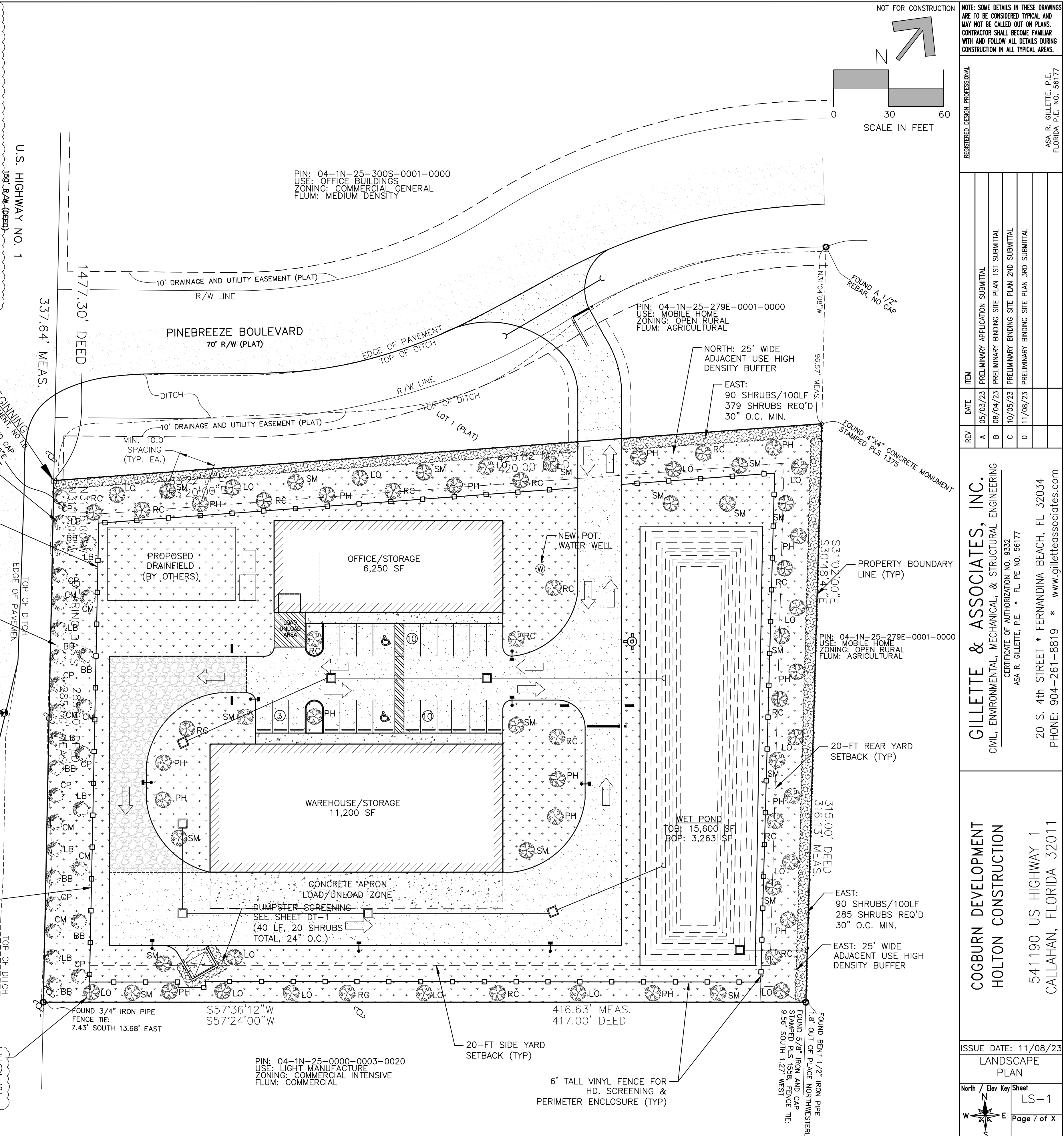
- PROPOSED GREEN SPACE TREES PLANTED NEAR SOUTHERN BOUNDARY AND AROUND INTERIOR OF SITE

PLANT SCHEDULE				
SYMBOL	QTY.	KEY	SPECIES	SIZE/REMARKS
			COMMON NAME	
CANOPY TREE	17	RC	JUNIPERUS VIRGINIANA	3' DBH MIN. AND 6' HT. MIN. (CANOPY TREE). SEE ALSO LANDSCAPE NOTES
	17	SM	EASTERN RED CEDAR	
	16	LD	MAGNOLIA GRANDIFLORA	
			SOUTHERN MAGNOLIA	
			QUERCUS VIRGINIANA	
UNDERSTORY TREE	16	PH	LIVE OAK	3' DBH MIN. AND 6' HT. MIN. (UNDERSTORY TREE). SEE ALSO LANDSCAPE NOTES
	7	CP	ILEX ATTENUATA	
	7	BB	EAST PALATKA HOLLY	
	7	CM	PRUNUS ANGUSTIFOLIA	
	7	LB	CHICKASAW PLUM	
777' LF SHRUBS (684 SHRUBS TOTAL)			WALTERS VIBURNUM	18" HT. MIN. PLANTED AT 30" O.C. ALONG OTHER SCREENING HEDGES
			VIBURNUM OBOVATUM	
64,878 SF			STENOCTAPHRUM SECUNDATUM	SEED GRASS OVER HATCHED AREAS AS SHOWN ON SHEET LS-1
			ST. AUGUSTINE GRASS	

SCHEDULE NOTES:

1. THE FINAL APPROVAL OF SPECIES MUST BE GIVEN BY NASSAU COUNTY, AND PROPOSED SPECIES SHOWN ON THE LANDSCAPE PLANS ARE THE SPECIES THAT ARE REQUIRED TO BE PLANTED ON SITE.
2. CHANGES TO THE LANDSCAPE PLAN ARE PROCESSED AS A REVISION OF THE PLANS APPROVED BY NASSAU COUNTY.
3. SPECIES SHOWN MAY BE SUBSTITUTED BY WITH APPROVED SPECIES PER L.D.C. SECTION 37.05 BASED ON AVAILABILITY, SOIL CONDITIONS, ETC.
4. IF DRAWING MODIFICATIONS ARE UNDERTAKEN, CHANGES IN THE L.D.C. MAY APPLY.

LEGEND	
	CONCRETE
	ASPHALT



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ISSUE DATE: 11/08/23
LANDSCAPE PLAN
North / Elev Key/Sheet
W E S Page 7 of X
LS-1

REGISTERED DESIGN PROFESSIONAL

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ASA R. GILLETTE, P.E.
FLORIDA P.E. NO. 56177

LANDSCAPE NOTES AS REQUESTED BY NASSAU COUNTY:

1. LDC SECTION 37.05 (B) (1) - ALL TREES SHALL BE PLANTED IN A MINIMUM OF TEN (10) FEET. THIS MINIMUM PLANTING AREA MUST BE FREE OF OBSTACLES AND VEHICLE OVERHANGS IN ORDER TO PREVENT POSSIBLE TREE DAMAGE.
2. LDC SECTION 37.05 (B) (2) - SHRUBS SHALL HAVE A MINIMUM HEIGHT OF EIGHTEEN (18) INCHES WHEN PLANTED. WHEN PLANTED AS A HEDGE, THE MAXIMUM SPACING IS 30 INCHES ON CENTER. ALL SHRUBS USED FOR VISUAL SCREENING SHALL BE A PLANT SPECIES THAT IS CAPABLE OF REACHING A HEIGHT OF FOUR (4) FEET WITHIN TWENTY-FOUR (24) MONTHS UNDER NORMAL GROWING CONDITIONS. SHRUBS USED AS ACCENT GROUND COVER AND VINES MAY VARY IN SIZE DEPENDING ON THE TYPE OF PLANT MATERIAL AND THE DESIRED EFFECT.
3. LDC SECTION 37.05 (B) (3) - GROUNDCOVERS SHALL BE PLANTED IN SUCH A MANNER AS TO PRESENT A FINISHED APPEARANCE AND COMPLETE COVERAGE WITHIN ONE (1) YEAR AFTER PLANTING.
4. LDC SECTION 37.05 (H)(4) - ALL PLANTING AREAS SHALL BE MULCHED WITH APPROXIMATELY THREE INCHES OF ORGANIC MULCH, SUCH AS PINE BARK OR SHREDDED HARDWOOD CHIPS.
5. LDC SECTION 37.05 (K) - THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING AREAS REQUIRED BY THIS SECTION. MAINTENANCE INCLUDES IRRIGATING, TRIMMING, FERTILIZING AND CARRYING OUT THOSE ACTIVITIES NECESSARY TO KEEP THE PLANT MATERIAL IN HEALTHY AND GROWING CONDITION, MAINTAIN VISUAL CLEARANCE AND ALLOW PASSAGE OF VEHICLES AND PEDESTRIANS ON PUBLIC ROADS AND NON-EXCLUSIVE EASEMENTS.
6. LDC SECTION 37.05 (K) (1) - UPON DETERMINATION BY THE COUNTY THAT A REQUIRED TREE OR PLANT IS DAMAGED OR DISEASED, THE TREE OR PLANT SHALL BE REPLACED BY THE OWNER WITH PLANT MATERIAL MEETING THE REQUIREMENTS OF THIS SECTION.
7. LDC SECTION 37.05 (K) (2) - ALL BUFFER AREAS REQUIRED AS PART OF DEVELOPMENT PLAN, WHETHER IN COMMON OR PRIVATE OWNERSHIP, SHALL BE THE RESPONSIBILITY OF THAT DEVELOPMENT'S PROPERTY OWNERS ASSOCIATION. WHERE THERE ARE NO PROPERTY OWNERS ASSOCIATION, SUCH LANDSCAPED AREAS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
8. LDC SECTION 37.05 (K) (3) - TREES ON DEVELOPED PROPERTIES MAY BE PRUNED TO MAINTAIN SHAPE AND PROMOTE THEIR SHADE GIVING QUALITIES. THEY SHOULD BE PRUNED TO REMOVE DISEASED OR DYING PORTIONS IN A MANNER WHERE FALLING LIMBS COULD BE A HAZARD TO PEOPLE OR PROPERTY. LOWER LIMBS MAY BE REMOVED TO PROVIDE CLEARANCE. IN ADDITION, TREES LOCATED IN ASSOCIATION WITH VEHICULAR USE AREAS SHALL ALSO BE PRUNED TO AVOID POTENTIAL FOR DAMAGE OR INJURY TO PEDESTRIANS AND CLEARED TO THIRTEEN (13) ABOVE PAVEMENT LEVEL FOR VEHICLES. HOWEVER, THE EXCESS PRUNING OR POLLARDING OF TREES INTO ROUND BALLS OF CROWN OR BRANCHES RESULTING IN AN UNNECESSARY REDUCTION OF SHADE IS PROHIBITED AND MAY REQUIRE SUPPLEMENTAL PLANTINGS. ALL PRUNING SHALL BE DONE FOLLOWING THE AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS (TREES, SHRUBS, AND OTHER WOODY PLANT MAINTENANCE - STANDARD PRACTICES).
9. LDC SECTION 37.05 (E) (1) AT THE INTERSECTION OF TWO (2) TREES, ALL LANDSCAPING WITHIN THAT AREA DEFINED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION SIGHT TRIANGLE AS OUTLINED IN THE FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM SHALL BE INSTALLED AND MAINTAINED BELOW THREE (3) FEET IN HEIGHT OR ABOVE EIGHT (8) FEET IN HEIGHT.
10. LDC SECTION 37.05 (E) (2) - WHEN A DRIVEWAY INTERSECTS A RIGHT-OF-WAY CLEAR UNOBSTRUCTED CROSS VISIBILITY SHALL BE PROVIDED WITHIN THE SITE TRIANGLE FORMED BY SUCH INTERSECTION. THE SIGHT TRIANGLE SHALL BE MEASURED FROM THE POINT OF INTERSECTION, FIFTEEN (15) FEET ALONG THE ACCESS WAY AND THEN FIFTEEN (15) ALONG THE RIGHT-OF-WAY WITH THE THIRD SIDE BEING A LINE CONNECTING THE TWO (2) POINTS. CROSS VISIBILITY WITHIN THE SIGHT TRIANGLE SHALL BE UNOBSTRUCTED BETWEEN THE HEIGHT OF THREE (3) FEET AND EIGHT (8) FEET MEASURED FROM THE GROUND LINE. TREES AND PALMS SHALL HAVE THEIR LIMBS AND FOLIAGE TRIMMED IN A MANNER THAT NO LIMBS OR FOLIAGE WILL EXTEND IN THE CROSS VISIBILITY AREA. TO ENSURE PROPERTY VISIBILITY AT THE INTERSECTION OF ACCESS WAYS WITH PUBLIC RIGHTS-OF-WAY, EXCLUDING PROPERLY TRIMMED TREES AS PREVIOUSLY STATED, ONLY GROUND COVER TYPE PLANTS SHALL BE ALLOWED WITHIN THE SIGHT TRIANGLE.
11. LDC SECTION 37.05 (D) - THE USE OF A WALL OR FENCE IS PERMITTED PROVIDED THE WALL OR FENCE IS LOCATED ON THE INNER MOST BOUNDARY (BEHIND THE VEGETATION AS VIEWED FROM OUTSIDE THE DEVELOPMENT) OF THE PERIMETER LANDSCAPING ADJACENT TO RIGHTS-OF-WAY/STREETS. REQUIRED UNCOMPLIMENTARY LAND USE BUFFER OR OTHER LANDSCAPED AREA.

D

LANDSCAPE NOTES CONT'D:

- HAND REMOVAL OF VINES AND REMOVAL OF INVASIVE SPECIES WILL BE PERMITTED.
- STAGGER SHRUBS TO PROVIDE GREATER DEPTH TO THE SCREENING WHILE STILL MAINTAINING THE REQUIRED 30' SPACING. PROVIDE MORE DIVERSITY IN THE SHRUBS. PER 37.05.D.6 DUMPSTERS AND MECHANICAL EQUIPMENT SHALL BE SCREENED THROUGH THE USE OF A WALL WHICH IS ONE HUNDRED (100) PERCENT OPAQUE IN CONJUNCTION WITH LANDSCAPING. MINIMUM LANDSCAPING SHALL INCLUDE ONE (1) SHRUB EVERY TWO (2) FEET. THE SHRUB SHALL BE MAINTAINED AT A MINIMUM OF FOUR (4) FEET IN HEIGHT, ONE (1) CANOPY TREE OR UNDERSTORY TREE PER TEN (10) LINEAR FEET OF WALL OR FENCE UNLESS SAID FENCE OR WALL IS LESS THAN EIGHT (8) FEET IN LENGTH. THEY SHALL BE LOCATED AT THE SIDE OR REAR OF THE BUILDING AND SCREENED FROM ALL RIGHTS-OF-WAY.

TREE PLANTING:

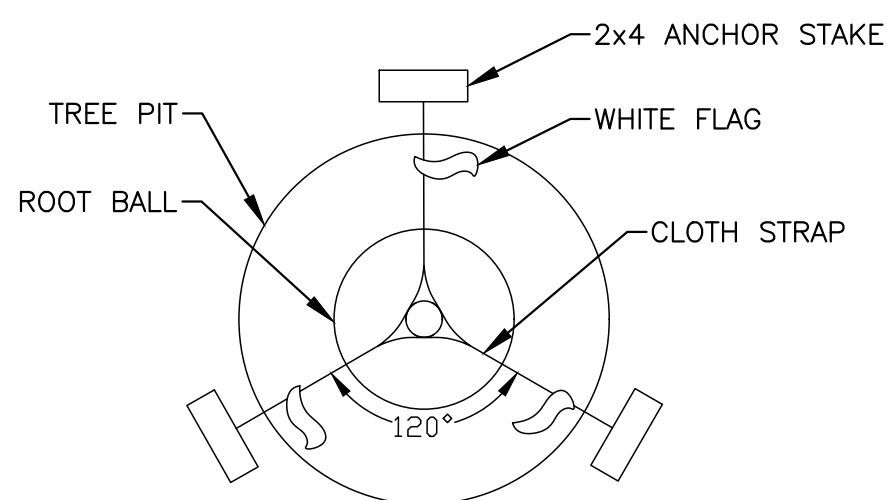
- ALL TREES SHALL BE STAKED OR GUYED FOR A PERIOD OF AT LEAST SIX (6) MONTHS IN ACCORDANCE WITH THE DETAILS ON THIS SHEET.

MAINTENANCE REQUIREMENTS:

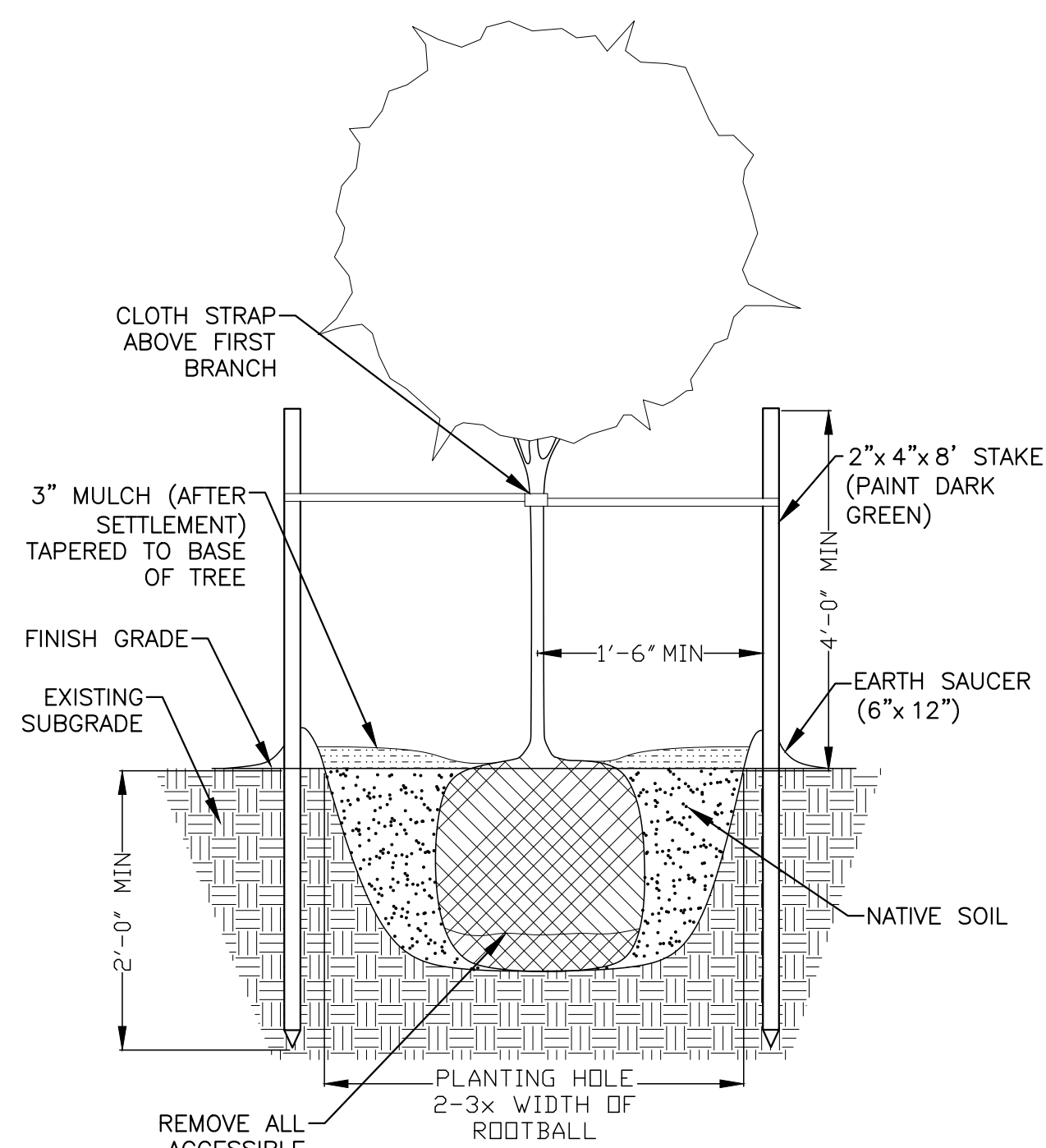
- NASSAU COUNTY LAND DEVELOPMENT CODE SECTION 37.05 (J): THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE AREAS REQUIRED BY THIS SECTION. MAINTENANCE INCLUDES IRRIGATING, TRIMMING, FERTILIZING AND CARRYING OUT THOSE ACTIVITIES NECESSARY TO KEEP THE PLANT MATERIAL IN A HEALTHY AND GROWING CONDITION, MAINTAIN VISUAL CLEARANCE AND ALLOW PASSAGE OF VEHICLES AND PEDESTRIANS ON PUBLIC ROADS AND NON-EXCLUSIVE EASEMENTS.

PLANT MATERIAL:

- NASSAU COUNTY LAND DEVELOPMENT CODE SECTION 37.05 (B): ALL INSTALLED TREES, SHRUBS AND GROUND COVERS SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE #1 OR BETTER ACCORDING TO THE CURRENT EDITION OF "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY. SYNTHETIC OR ARTIFICIAL TREES, SHRUBS, GROUNDCOVERS OR VINES ARE NOT ACCEPTABLE SUBSTITUTES. IN CHOOSING PLANT MATERIALS, CONSIDERATION SHOULD BE GIVEN TO THE AMOUNT OF SUN OR SHADE, THE WETNESS OR DRYNESS OF THE SOIL, THE EFFECTS OF SALT SPRAY (WHERE APPLICABLE), THE AMOUNT OF IRRIGATION REQUIRED AND THE MATURE SIZE AND SPATIAL NEEDS OF PLANTS CHOSEN.



DETAIL 1
TREE STAKING PLAN



DETAIL 2
TREE PLANTING ELEVATION

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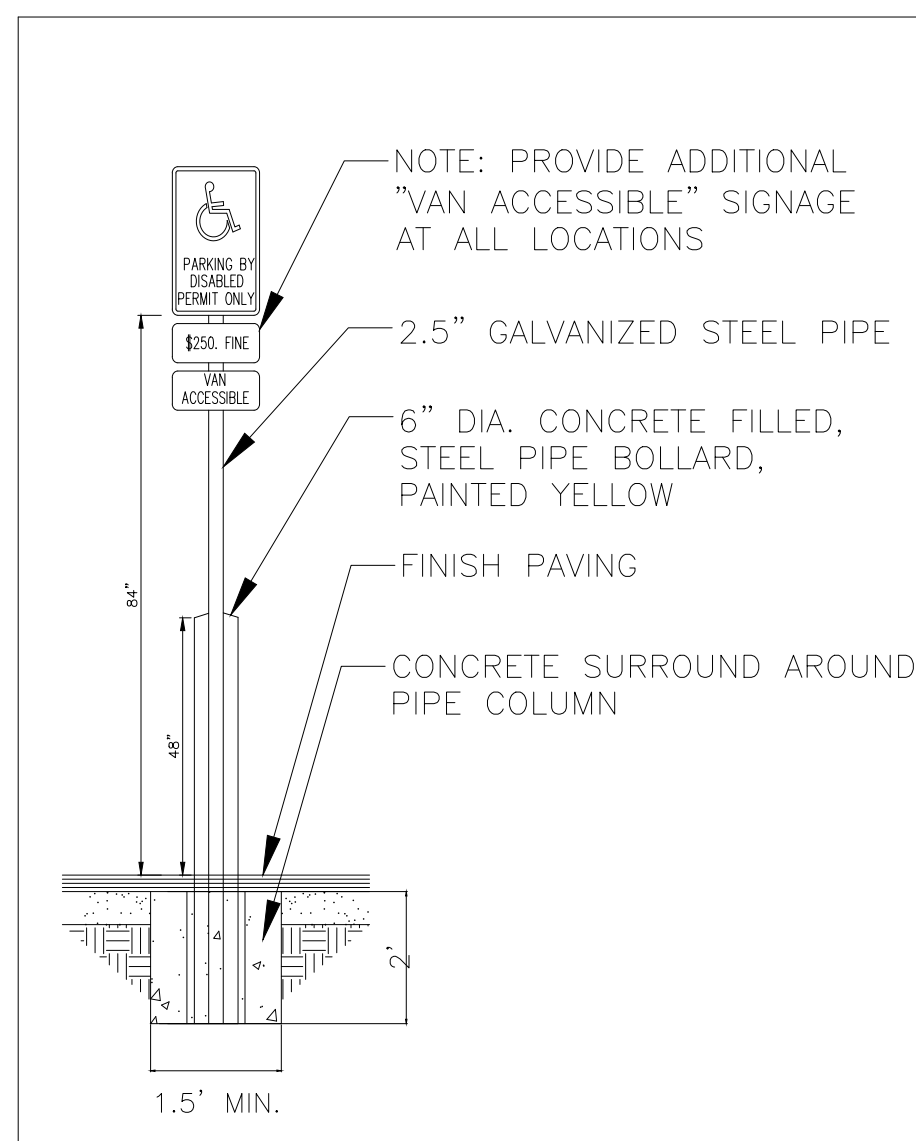
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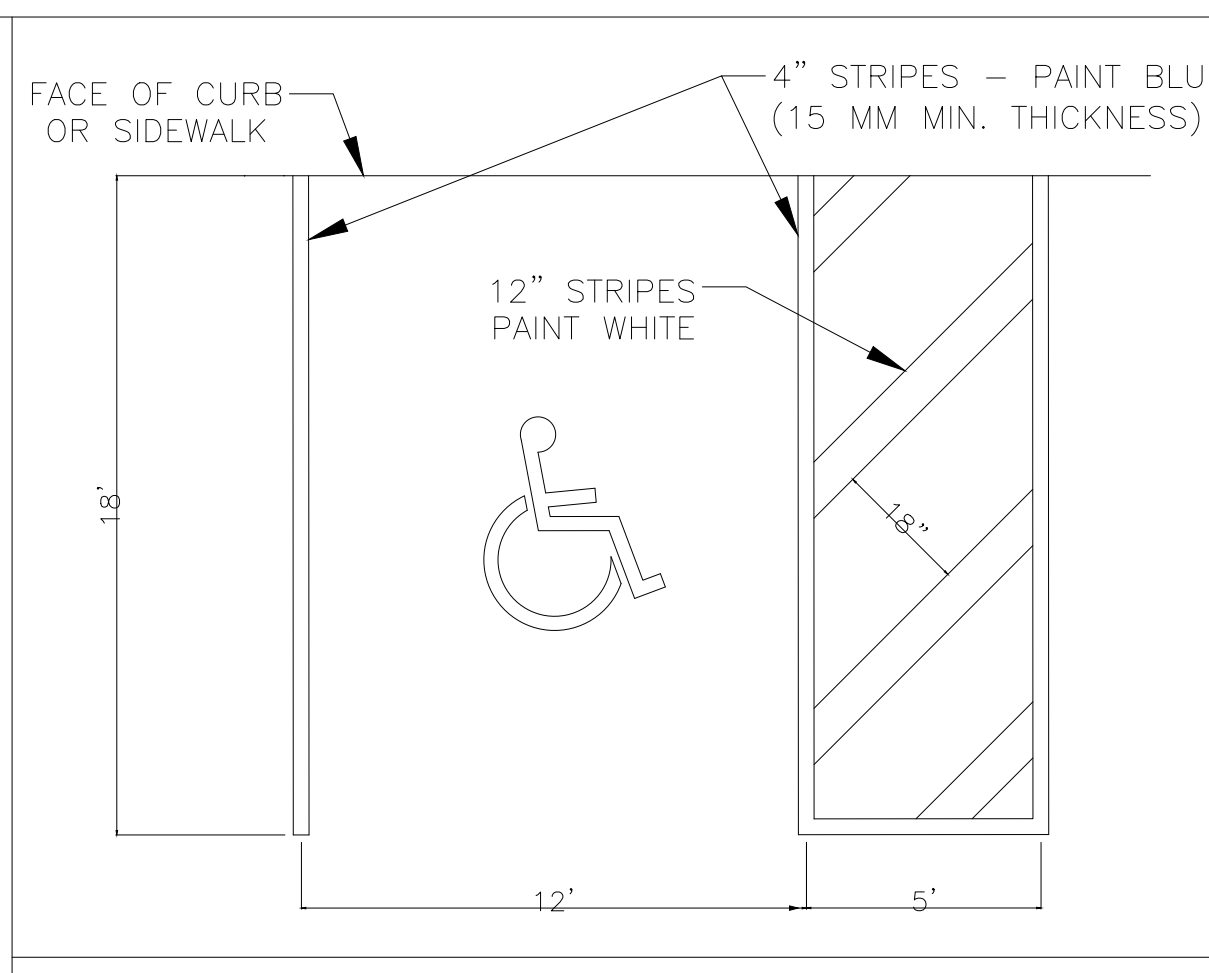
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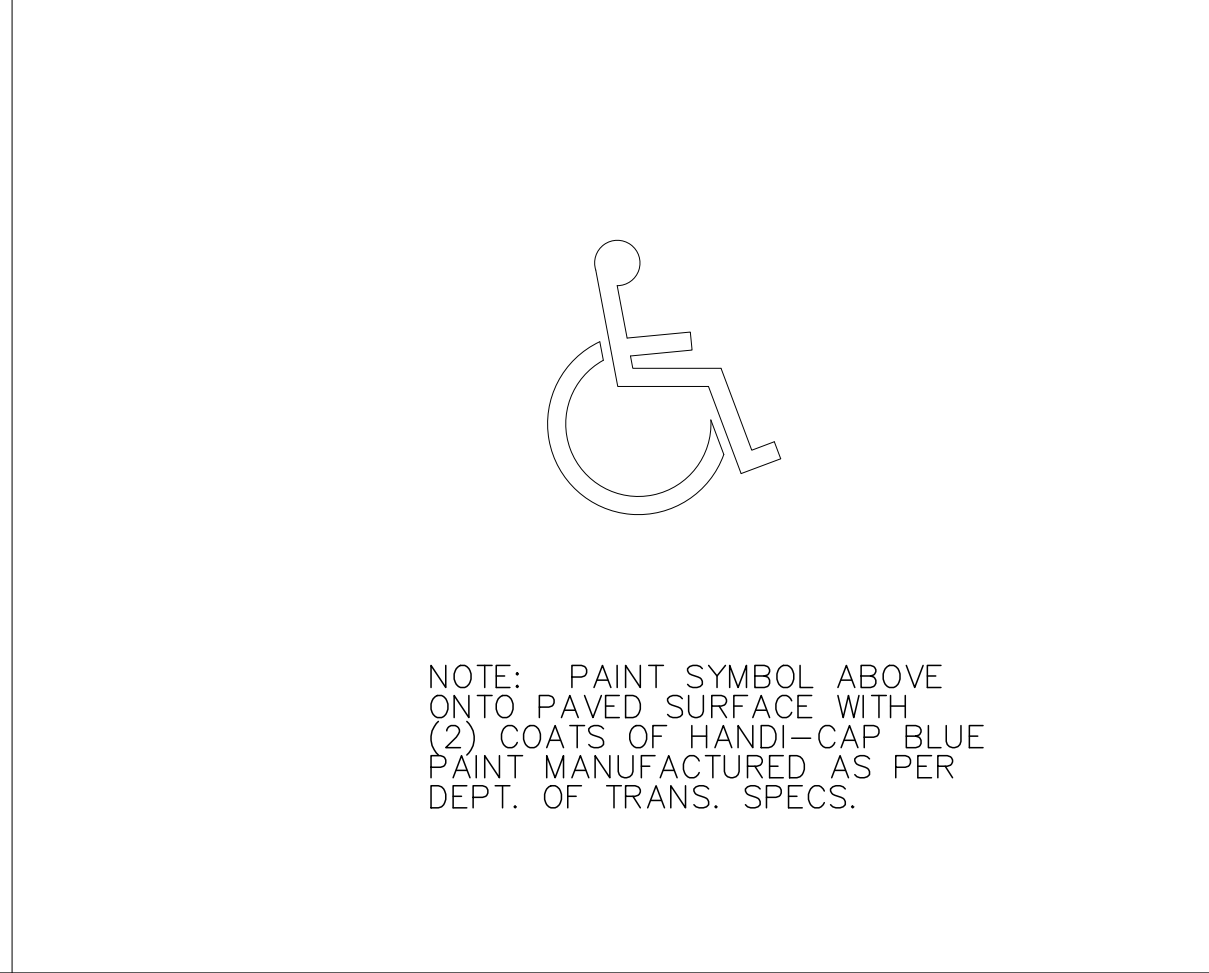


- NOTES:
1. ALL SIGNS SHOWN SHALL CONFORM TO FEDERAL ACCESSIBILITY SPECIFICATIONS.
 2. ALL SIGNS SHOWN SHALL BE REFLECTORIZED TO SHOW THE SAME COLOR BY NIGHT AS BY DAY.
 3. ALL SIGNS SHALL BE SECURELY MOUNTED ON GALVANIZED STEEL CHANNEL POSTS.
 4. INSTALL QUANTITY AND AT LOCATIONS REQUIRED BY CODE AND/OR AS INDICATED ON DRAWINGS. CONFIRM ALL HANDICAPPED SIGNAGE CODES.

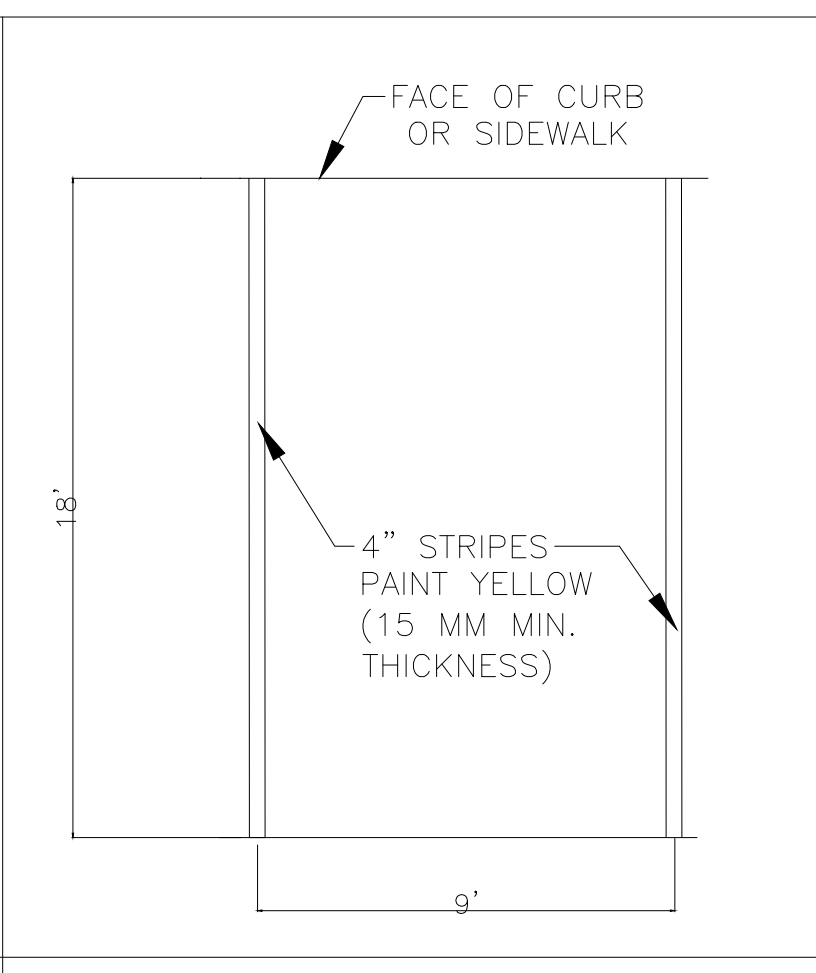
HANDICAP SIGN DETAIL



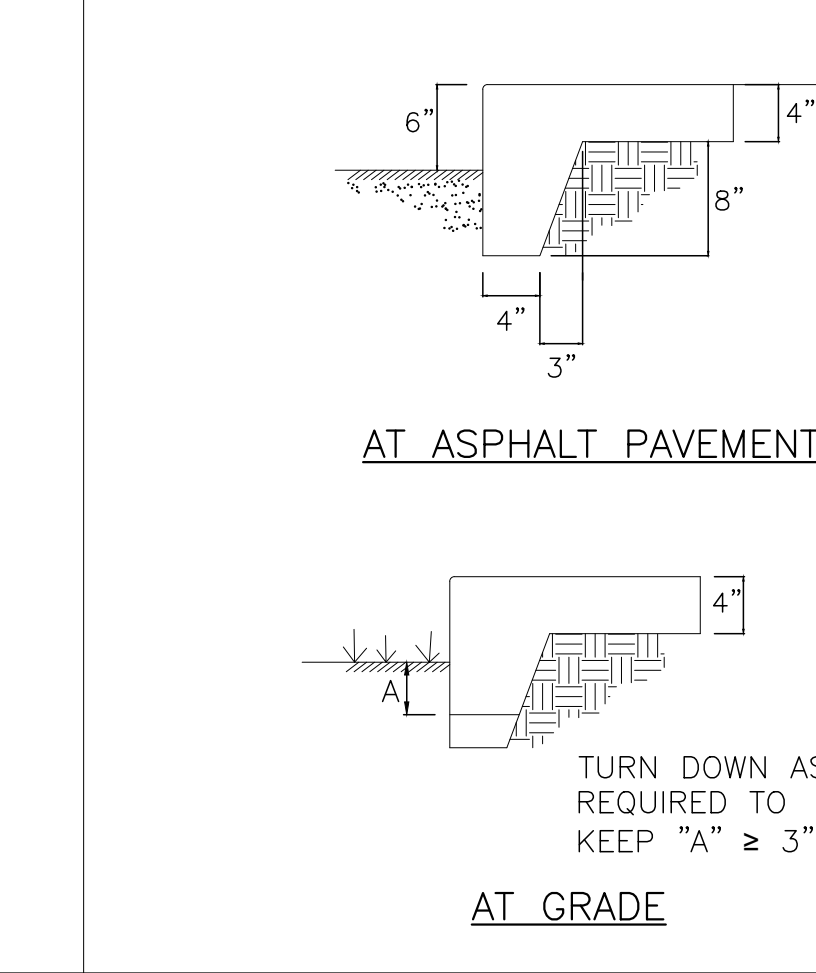
TYPICAL DISABLED PARKING



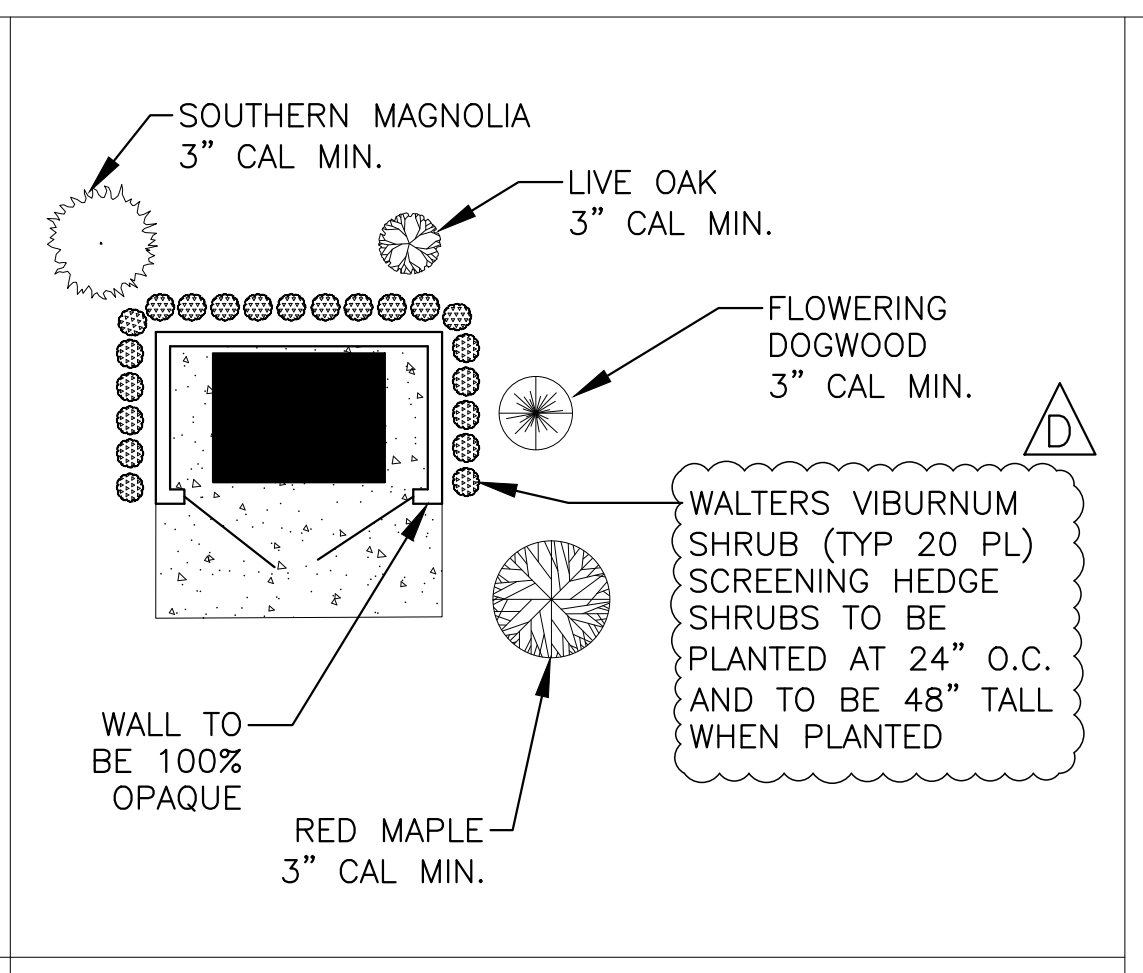
HANDICAPPED SYMBOL



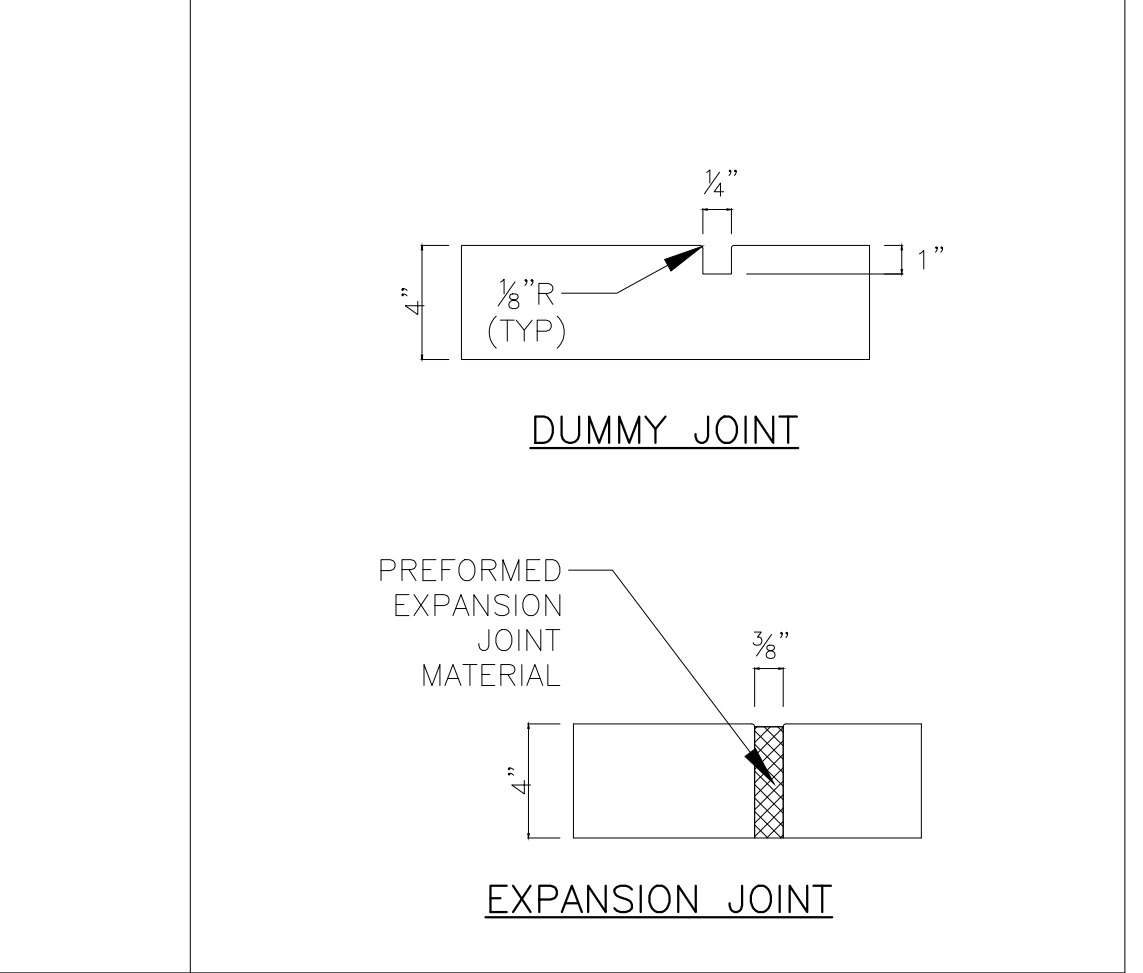
TYPICAL PARKING DETAIL



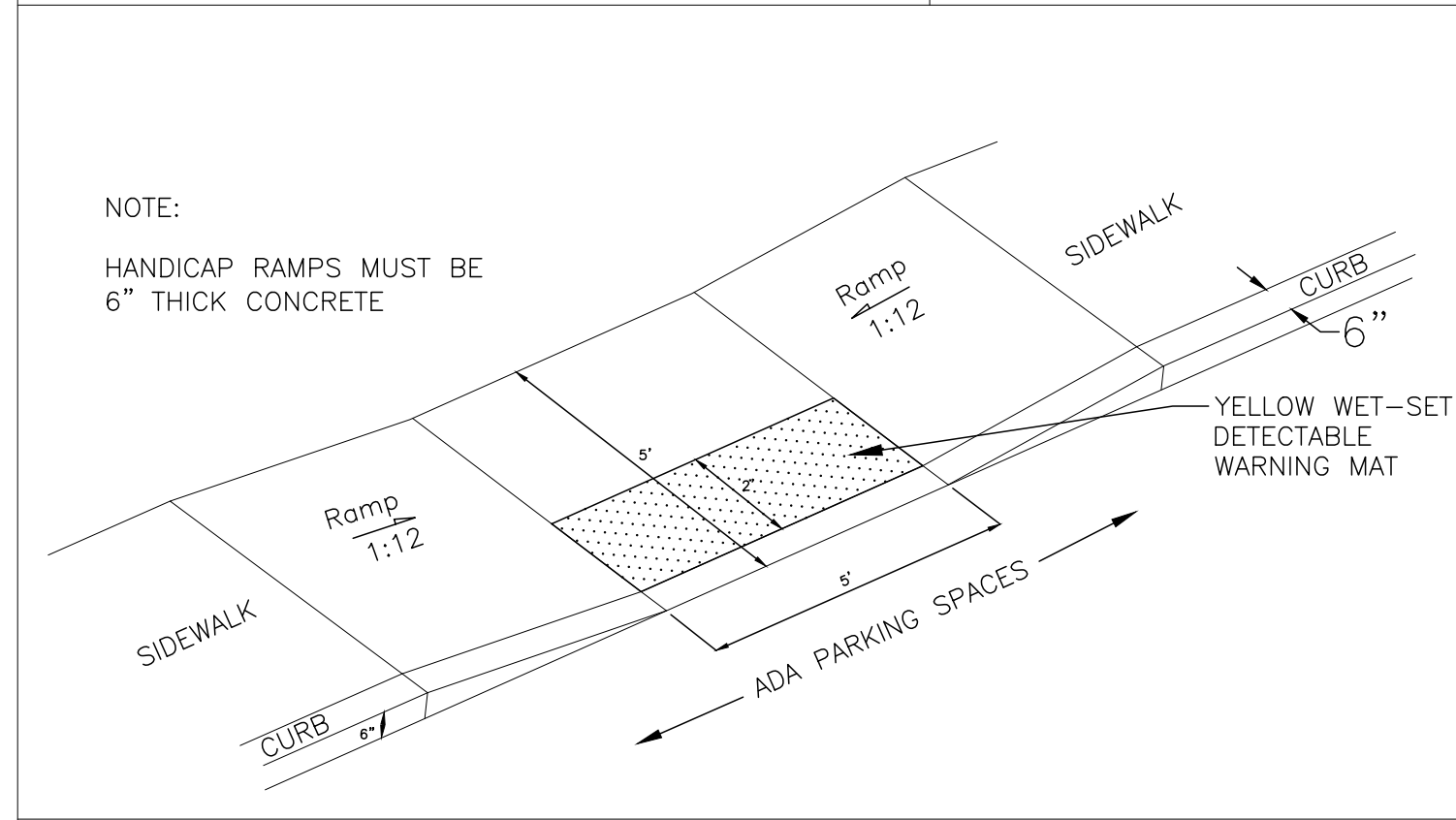
SIDEWALK TURNDOWN DETAILS



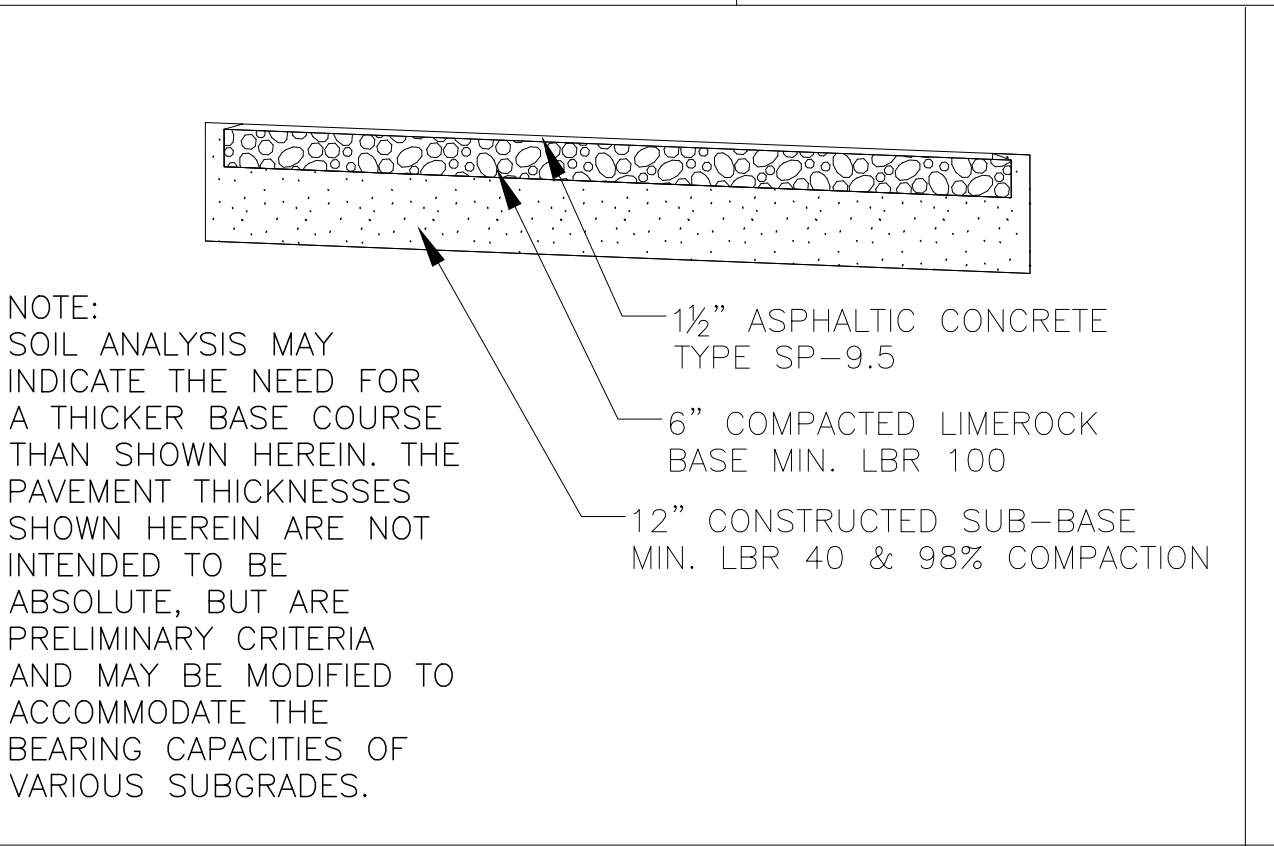
DUMPSTER SCREENING DETAIL



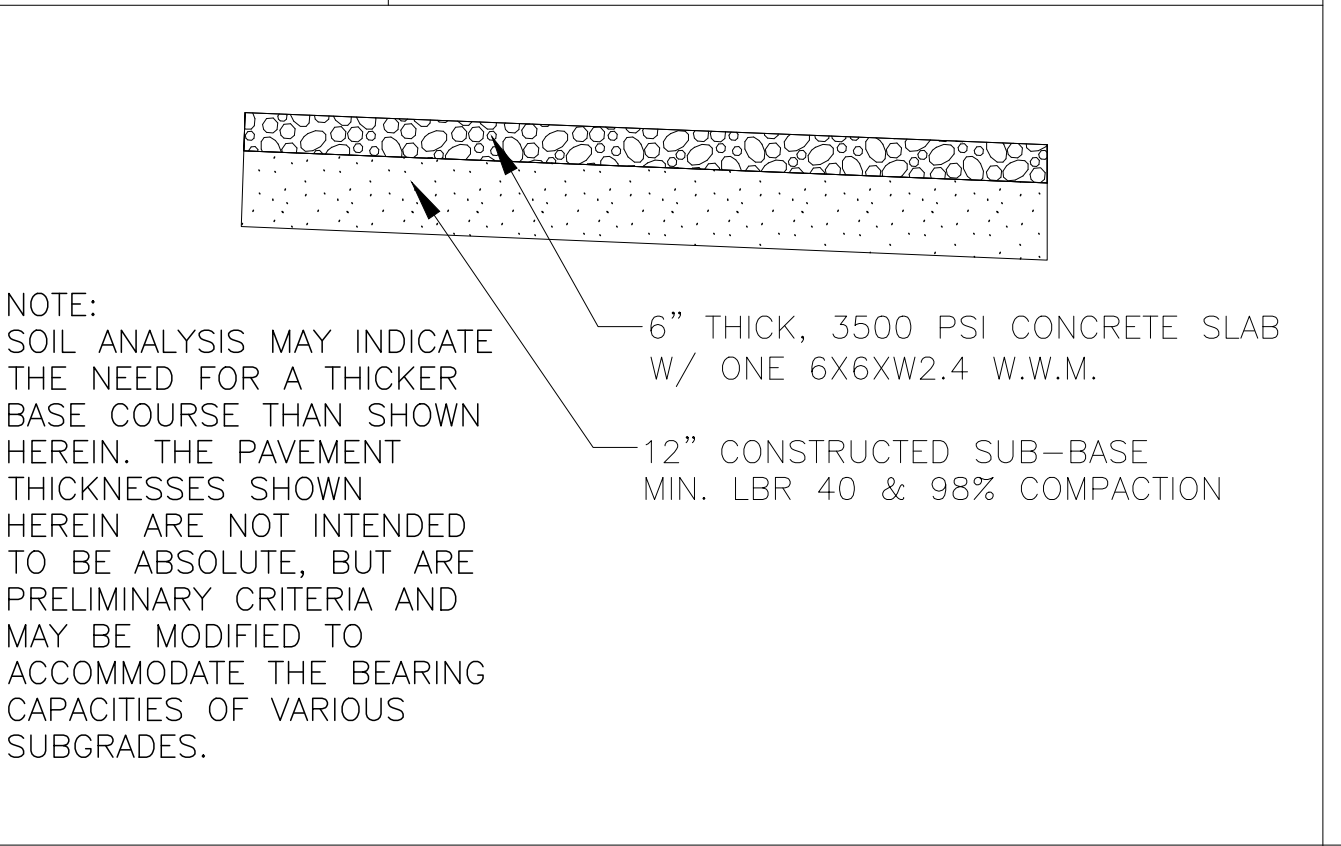
SIDEWALK JOINT DETAILS



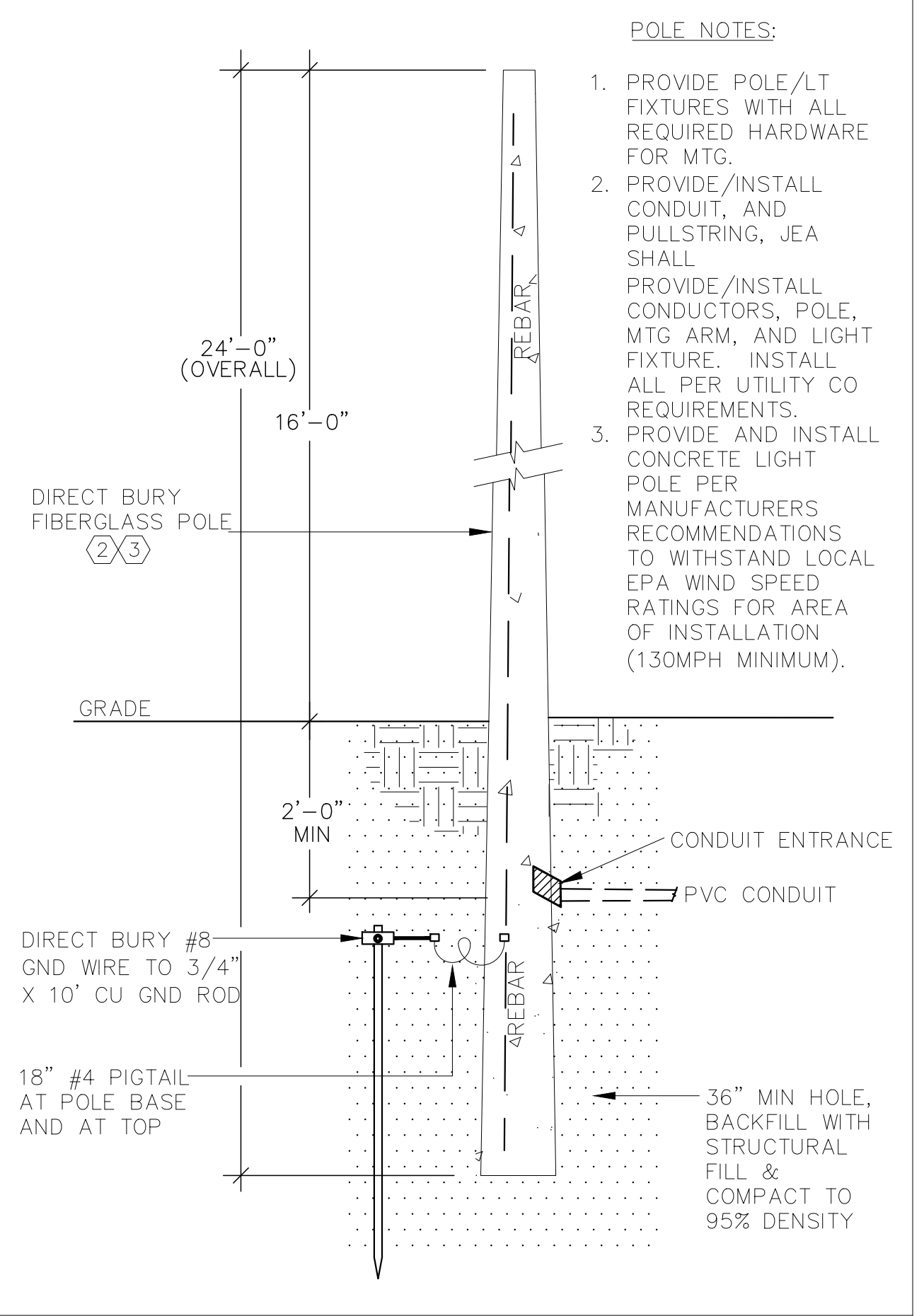
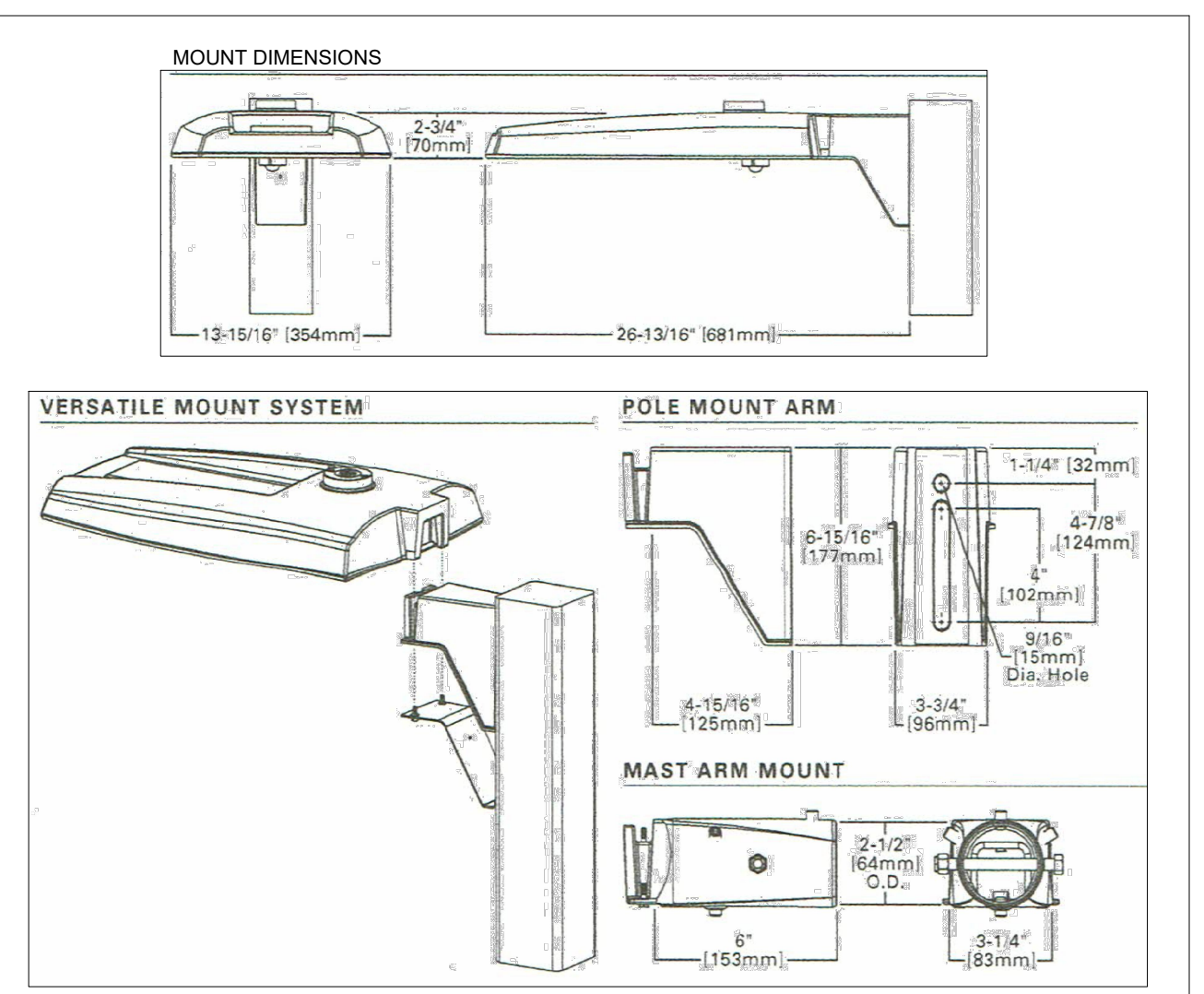
PARKING LOT CURB RAMP DETAIL



TYPICAL ASPHALT PAVEMENT DETAIL



TYPICAL CONCRETE DETAIL



SITE LIGHTING DETAIL

REV	DATE	ITEM
A	05/03/23	PRELIMINARY APPLICATION SUBMITTAL
B	08/04/23	PRELIMINARY BINDING SITE PLAN 1ST SUBMITTAL
C	10/05/23	PRELIMINARY BINDING SITE PLAN 2ND SUBMITTAL
D	11/08/23	PRELIMINARY BINDING SITE PLAN 3RD SUBMITTAL

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ISSUE DATE: 11/08/23
MISCELLANEOUS
DETAILS

